

NOTICE OF PLAN COMMISSION MEETING

DATE: Tuesday, August 12, 2025

TIME: 5:15pm

LOCATION: Combined Locks Civic Center,
Council Chambers, 405 Wallace Street

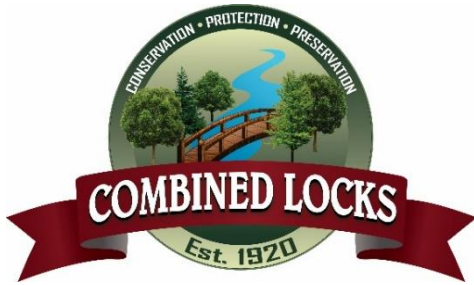
AGENDA

1. Review and consider approval of minutes from 06/10/25 meeting
2. Review plans for Culver's Office Building on lot 10 in The Locks Business Park; recommendation
3. Discuss potential for mountain bike trail at Lindberg Park with members of NEWT/MTN bike community
4. Review updated format of 5-Year Comprehensive Outdoor Recreation Plan & provide feedback
5. Schedule next meeting – may include park/trail tours
6. Adjourn

Public Notice: Agendas are posted in the following locations: Combined Locks Civic Center main entrance and Village website: www.combinedlocks.wi.gov. 2015 Wisconsin Act 79 allows the publication of certain legal notices on an internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an internet site maintained by the local government.

Special Accommodations: Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 405 Wallace Street, 920-788-7740 extension 203 or email at gieser@combinedlocks.wi.gov.

Notice of Possible Quorum: A quorum of the Village Board, Zoning Board of Appeals, or other Village committee may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Village Board, Board of Review, Zoning Board of Appeals, or other Village committee will be taken at this meeting.



MINUTES OF PLAN COMMISSION MEETING

DATE: Tuesday, June 10, 2025

TIME: 5:15pm

LOCATION: Combined Locks Civic Center,
Trail Entrance by Horseshoe Court,
405 Wallace Street

MINUTES

- A. Call to order: Meeting** called to order at 5:20pm.
- B. Attendance:** Plan Commission members present – Mulry, Carney, Mader, Maynard, Talbot, and Romberg. Plan Commission members absent – Heckner & Weyenberg. Staff present – Administrator Shampo-Giese. Others present – none
- 1. Review and consider approval of minutes from 05/13/25 meeting:** K. Carney made a motion to approve the minutes as presented. N. Romberg seconded the motion, and it passed unanimously.
 - 2. Tour trails in Memorial Park and Lindberg Park as part of Comprehensive Outdoor Recreation Plan updates:** Commission members toured the trails and noted conditions, short-term improvements, long-term improvements, tree removals and plantings, potential safety features, and visibility of the trails from various points along Memorial Park and Lindberg Park. Colored trail markers for emergency response, moving the ice rink to the bottom of the sled hill, moving park and trail signs for better visibility, adding a small amphitheater with restrooms, and a mountain bike trail were all added to the list of potential future improvements. It was noted that Lindberg Park has a large amount of underutilized space that could be improved for active and passive activities.
 - 3. Schedule next meeting – may include park/trail tours:** The next meeting is scheduled for 5:15pm on 08/12/25.
 - 4. Adjourn:** K. Carney made a motion to adjourn the meeting. RJ Talbot seconded the motion, and it passed unanimously. The meeting adjourned at 6:56pm.

June 25, 2025

Ms. Racquel Shampo-Giese
VILLAGE OF COMBINED LOCKS
405 Wallace Street
Combined Locks, WI 54113

RE: Site Plan Application – Culver's Regional Office Building

Dear Ms. Shampo-Giese:

On behalf of Bayland Buildings, Inc. and Culvers, Robert E. Lee & Associates, Inc. is formally requesting a site plan application review for the Culver's Regional Office Building located on parcel 230154500 in the Village of Combined Locks, Wisconsin. The scope of development is to build a 4,140 SF Office Building, paved parking lot, and installation of water, sanitary, and storm utilities. Please see the attached civil design documents, elevations, floor plans, and landscape plan for reference.

Please do not hesitate to contact me regarding any questions.

Sincerely,

ROBERT E. LEE & ASSOCIATES, INC.



Kyle D. Clark
GIS/CAD Technician

KDC

ENC.

PROPOSED PROJECT FOR:
GROWING & MAKING DREAMS
COMBINED LOCKS, WI

PROJECT LOCATION MAP

ENLARGED MAP



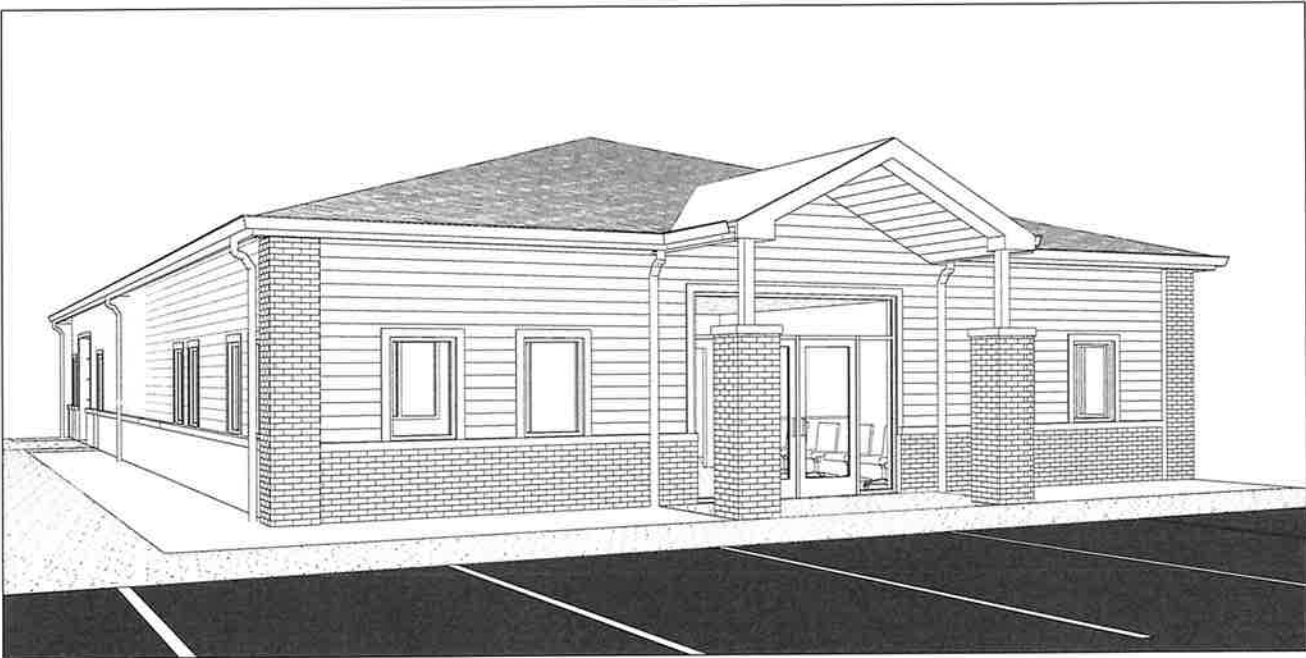
BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

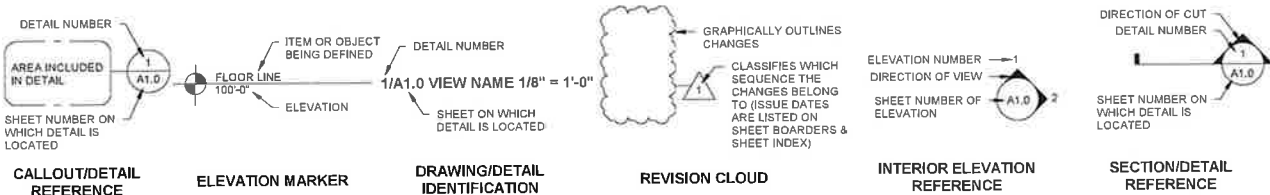
DESIGN & BUILD GENERAL CONTRACTOR

PROJECT PERSPECTIVE (NTS)

- FOR CONCEPTUAL PROPOSES ONLY!
REFERENCE FLOOR PLANS, ELEVATIONS, SECTIONS, ETC. FOR MORE INFORMATION



SYMBOLS LEGEND



SHEET INDEX

NUMBER	SHEET NAME / DESCRIPTION	LATEST SHEET REVISION		
		DATE	ISSUED BY	NUMBER
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7	MISCELLANEOUS DETAILS			
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12	EROSION CONTROL SHEET FLOW DETAILS			
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A2.0	ELEVATION - EXTERIOR			
A2.1	ELEVATION - EXTERIOR			
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S0.1	STRUCTURAL DESIGN CRITERIA			
S1.0	FOUNDATION PLAN - OVERALL			
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S4.0	STRUCTURAL SCHEDULES & DETAILS			

PROJECT INFORMATION

OWNER INFORMATION:
GROWING & MAKING DREAMS INC.
N250 EASTOWNE LN
APPLETON, WI
CONTACT: MAGGIE KAUER
TENANT: CULVERS OFFICE
DIS NO. 920-205-7769

PROJECT LOCATION:
MARTINEAU RD & DEBRUIN RD
COMBINED LOCKS, WI
MUNICIPALITY
OUTAGAMIE COUNTY

ARCHITECTURAL DATA:
BUILDING CODES
IBC 2015
SCOPE OF WORK: NEW BUILDING
BUILDING USE: OFFICE & STORAGE

OCCUPANCY GROUP:
BUSINESS GROUP B
STORAGE GROUP S-1

CONSTRUCTION TYPE:
NEW BUILDING VB

FIRE PROTECTION SYSTEM:
BUILDING IS NOT PROTECTED BY AN AUTOMATIC
FIRE SPRINKLER

FIRE & SMOKE PROTECTION FEATURES:
ALLOWABLE AREA DETERMINED BY IBC 508.3
NONSEPARATED OCCUPANCIES

BUILDING IS SURROUNDED AND ADJOINED BY
PUBLIC WAY OR YARDS NOT LESS THAN 60 FT IN
WIDTH

BUILDING AREA:
FIRST FLOOR (PROPOSED)
OCCUPANCY B AREAS 1,586 SQ. FT.
OCCUPANCY S-1 AREAS 2,216 SQ. FT.

TOTAL BUILDING AREA 3,802 SQ. FT.

OCCUPANT LOAD TABULATED
FIRST FLOOR (PROPOSED)

OCCUPANCY BUSINESS	590 SQ. FT.	100 GROSS	6 OCC
ACCESSORY KITCHEN	172 SQ. FT.	200 GROSS	1 OCC
ACCESSORY ASSEMBLY	261 SQ. FT.	15 NET	14 OCC
ACCESSORY STORAGE	643 SQ. FT.	300 GROSS	2 OCC
OCCUPANCY STORAGE (1)	1,840 SQ. FT.	500 GROSS	4 OCC
ACCESSORY GARAGE	375 SQ. FT.	200 GROSS	2 OCC

TOTAL OCCUPANT LOAD 29 OCC

OCCUPANT LOAD (ACTUAL)
VERIFY w/ OWNER

PLUMBING FIXTURE REQUIRED
OCCUPANCY B
23 / 2 = 12 MEN AND 12 WOMEN
12 / 1 PER 25 FIRST 50 THEN 1 PER 50 = 0.48 WATER CLOSETS FOR MEN
12 / 1 PER 25 FIRST 50 THEN 1 PER 50 = 0.48 WATER CLOSETS FOR WOMEN
12 / 1 PER 40 FIRST 80 THEN 1 PER 80 = 0.3 LAVATORIES FOR MEN
12 / 1 PER 40 FIRST 80 THEN 1 PER 80 = 0.3 LAVATORIES FOR WOMEN
23 / 100 = 0.23 DRINKING FOUNTAINS

OCCUPANCY S-1
6 / 2 = 3 MEN AND 3 WOMEN
3 / 1 PER 100 = 0.03 WATER CLOSETS FOR MEN
3 / 1 PER 100 = 0.03 WATER CLOSETS FOR WOMEN
3 / 1 PER 100 = 0.03 LAVATORIES FOR MEN
3 / 1 PER 100 = 0.03 LAVATORIES FOR WOMEN
6 / 1,000 = 0.01 DRINKING FOUNTAINS

TOTAL PLUMBING FIXTURES REQUIRED
0.51 (1) WATER CLOSETS FOR MEN
0.51 (1) WATER CLOSETS FOR WOMEN
0.33 (1) LAVATORIES FOR MEN
0.33 (1) LAVATORIES FOR WOMEN
0.24 (1) DRINKING FOUNTAINS

PLUMBING FIXTURE PROVIDED
(1) WATER CLOSETS FOR WOMEN
(1) LAVATORIES FOR WOMEN
(1) WATER CLOSETS FOR MEN
(1) LAVATORIES FOR MEN
(0) H/L/O DRINKING FOUNTAIN
FILTERED WATER PROVIDED
(1) SERVICE SINK

PROPOSED PROJECT FOR:
GROWING & MAKING DREAMS
COMBINED LOCKS, WISCONSIN;
COUNTY OF: OUTAGAMIE

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL
ADJUST SCALE ACCORDINGLY

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COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
SEC. 102 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED
DECEMBER 1990 AND KNOWN AS "ARCHITECTURAL WORKS"
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INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL
AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION
UNAUTHORIZED USE OF THESE PLANS, WORK OR BUILDING
REPRESENTED, CAN LEGALLY RESULT IN THE CEASEMENT OF
CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 25-6060
PROJECT EXECUTIVE: TOM AMBROSIOUS
(920) 371-2544
DRAWN BY: JRG / AGS
DATE: 6/5/2025

Revision Schedule
Rev. No. Revision Description Rev. Date

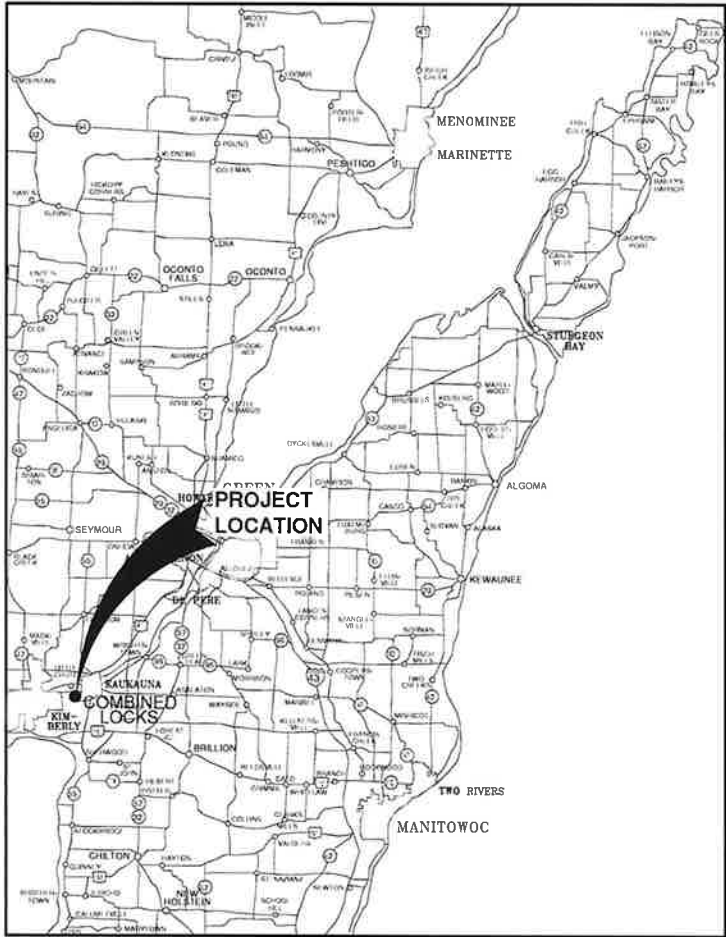
ISSUED FOR: CHECKED BY: DATE:
☐ PRELIMINARY
☐ BID SET
☐ DESIGN REVIEW SM/TAJAS 5/14/25
☐ CHECKSET
☒ CONSTRUCTION

TITLE SHEET

T1.0

CULVER'S OFFICE SITE DEVELOPMENT
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



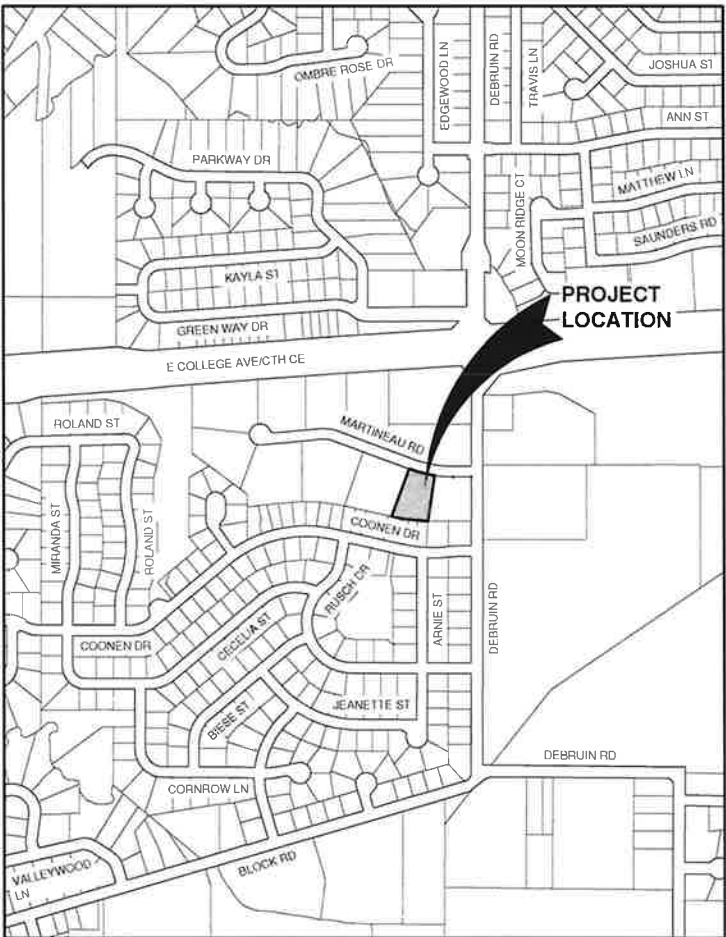
VICINITY MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES,
WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY
OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO
EXCAVATION.

NOTE:
ALL EROSION CONTROL MEASURES SHALL
BE IN PLACE PRIOR TO CONSTRUCTION
AND SHALL CONFORM TO THE WISCONSIN
DEPARTMENT OF NATURAL RESOURCES
CONSTRUCTION SITE EROSION CONTROL
AND TECHNICAL STANDARDS.

INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	GENERAL NOTES
2	EXISTING SITE CONDITIONS
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15	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS



LOCATION MAP

LAND OF DREAMS IV
N250 EASTWONE LANE
APPLETON, WI 54915

(920) 427-9897

BAYLAND BUILDINGS, INC.
P.O. BOX 13571
GREEN BAY, WI 54307

(920) 680-8110

VILLAGE OF COMBINED LOCKS DEPARTMENT OF PUBLIC WORKS, KAUKAUNA UTILITIES, WE ENERGIES, AT&T, TIME WARNER, NET LEC AND TDS METROCOM.

DIGGER'S HOTLINE TICKETS NUMBERED 20251827838 AND 2025182784, BOTH DATED 05/12/2025 VISIBLE OBSERVATION (05/14/2025) AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
VILLAGE OF COMBINED LOCKS
405 WALLACE ST.
COMBINED LOCKS, WI 54113

(920) 788-7740

WATER/ELECTRIC:
KAUKAUNA UTILITIES
777 ISLAND ST.
KAUKAUNA, WI 54130

(920) 766-5721

**GAS & ELECTRIC:
WE ENERGIES**
800 S. LYNNDAL DR.
APPLETON, WI 54914

(800) 242-9137

TELECOMMUNICATIONS:
AT & T / SBC
221 W. WASHINGTON ST.
APPLETON, WI 54911

(920) 221-5969

TELECOMMUNICATIONS:
SPECTRUM / TIME WARNER / CHARTER
12405 POWERSCOURT DR.
ST. LOUIS MO 63131

(262) 446-9821

TELECOMMUNICATIONS:
NET LEC / NSIGHT / CELLCOM
C/O MI TECH SERVICES
221 W. WASHINGTON ST.
APPLETON, WI 54911

(920) 739-7659

TELECOMMUNICATIONS:
TDS METROCOM / TDS TELECOM
W6174 AEROTECH DR. - SUITE A
APPLETON, WI 54914

(920) 882-3342



TO OBTAIN LOCATION OF PARTICIPANTS
UNDERGROUND FACILITIES BEFORE YOU
DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

- FIRE HYDRANT
- ⊗ WATER VALVE
- ⊙ CURB STOP
- Ⓜ WATER MANHOLE
- ▽ REDUCER/INCREASER
- SANITARY MANHOLE
- AIR RELIEF MANHOLE
- ⊙ STORM MANHOLE
- ⊗ STORM INLET (NOT IN CURB AND GUTTER)
- Ⓜ STORM INLET (IN CURB AND GUTTER)
- Ⓜ STORM INLET MANHOLE
- Ⓜ TANK COVER
- ⊕ SOIL BORING
- POST
- ▲ IRON PIPE/ROD
- ▲ PK NAIL

- ② POWER POLE
- ②-1 POWER POLE W/GUY WIRE
- Ⓐ LIGHT POLE
- ⓧ TRAFFIC SIGNAL POLE
- Ⓢ ELECTRIC MANHOLE
- Ⓢ ELECTRIC METER
- ① TELEPHONE MANHOLE
- Ⓢ TELEPHONE PEDESTAL
- Ⓢ CABLE TV MANHOLE
- Ⓢ CABLE TV PEDESTAL
- Ⓔ GAS VALVE
- Ⓢ GAS METER
- Ⓢ MAILBOX
- Ⓢ SIGN
- Ⓒ BOLLARD

	DECIDUOUS TREE
	CONIFEROUS TREE
	BUSH
	RIP RAP
	CULVERT
	WETLANDS
	HANDICAP PARKING
	TO BE REMOVED
	TO BE DEMOLISHED

EDGE OF ASPHALT

EDGE OF GRAVEL

CURB & GUTTER

TREE/BRUSH LINE

CONTOUR LINE

RETAINING WALL

GUARD RAIL

FENCE

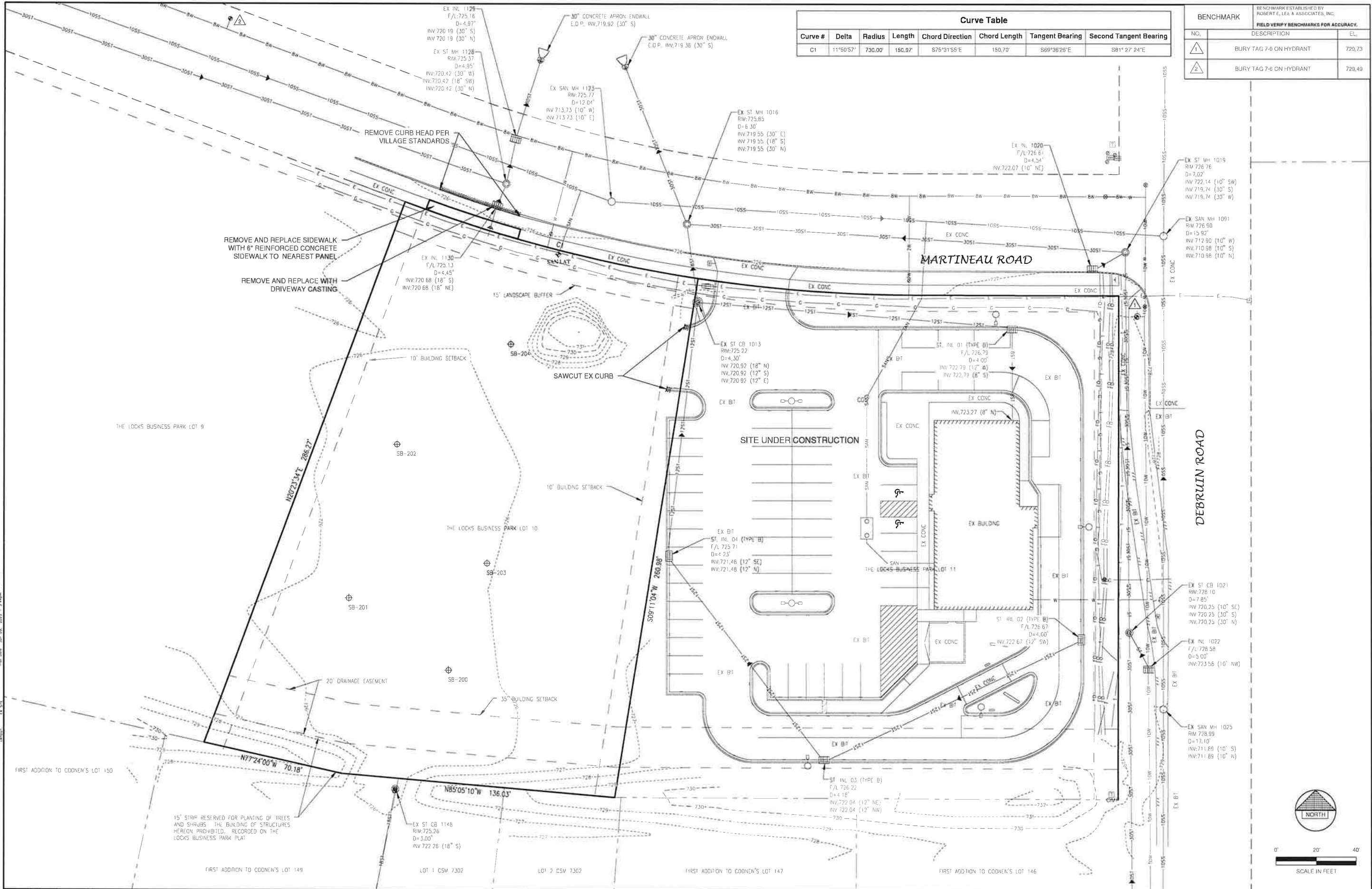
_____	SANITARY SEWER (SIZE NOTED)
_____	FORCEMAIN (SIZE NOTED)
_____	STORM SEWER (SIZE NOTED)
_____	WATERMAIN (SIZE NOTED)
_____	GAS LINE
_____	OVERHEAD TELEPHONE LINE
_____	UNDERGROUND TELEPHONE LINE
_____	OVERHEAD ELECTRIC LINE
_____	UNDERGROUND ELECTRIC LINE
_____	OVERHEAD CABLE TV LINE
_____	CABLE TV LINE
_____	FIBER OPTIC LINE
_____	R/W LINE
_____	PROPERTY LINE
_____	EASEMENT LINE
_____	BUILDING SETBACK LINE
_____	SECTION LINE

GR.	GRAVEL	WM	WATERMAIN
BIT.	BITUMINOUS	HYD.	HYDRANT
ASPH	ASPHALT	WV	WATER VALVE
CONC	CONCRETE	SAN	SANITARY SEWER
SW	SIDEWALK	MH	MANHOLE
BLDG	BUILDING	ST	STORM SEWER
HSE	HOUSE	CB	CATCH BASIN
PED	PEDESTAL	TELE	TELEPHONE
PP	POWER POLE	ELEC	ELECTRIC
LP	LEACH POLE	TV	TELEVISION
BM	BENCH MARK	STA.	STATION

VPC	VERTICAL POINT OF CURVATURE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENCY
PC	POINT OF CURVATURE
PI	POINT OF INTERSECTION
PT	POINT OF TANGENCY
R	RADIUS
EX	EXISTING
PR	PROPOSED
EOR	END OF RADIUS
BOC	BACK OF CURB

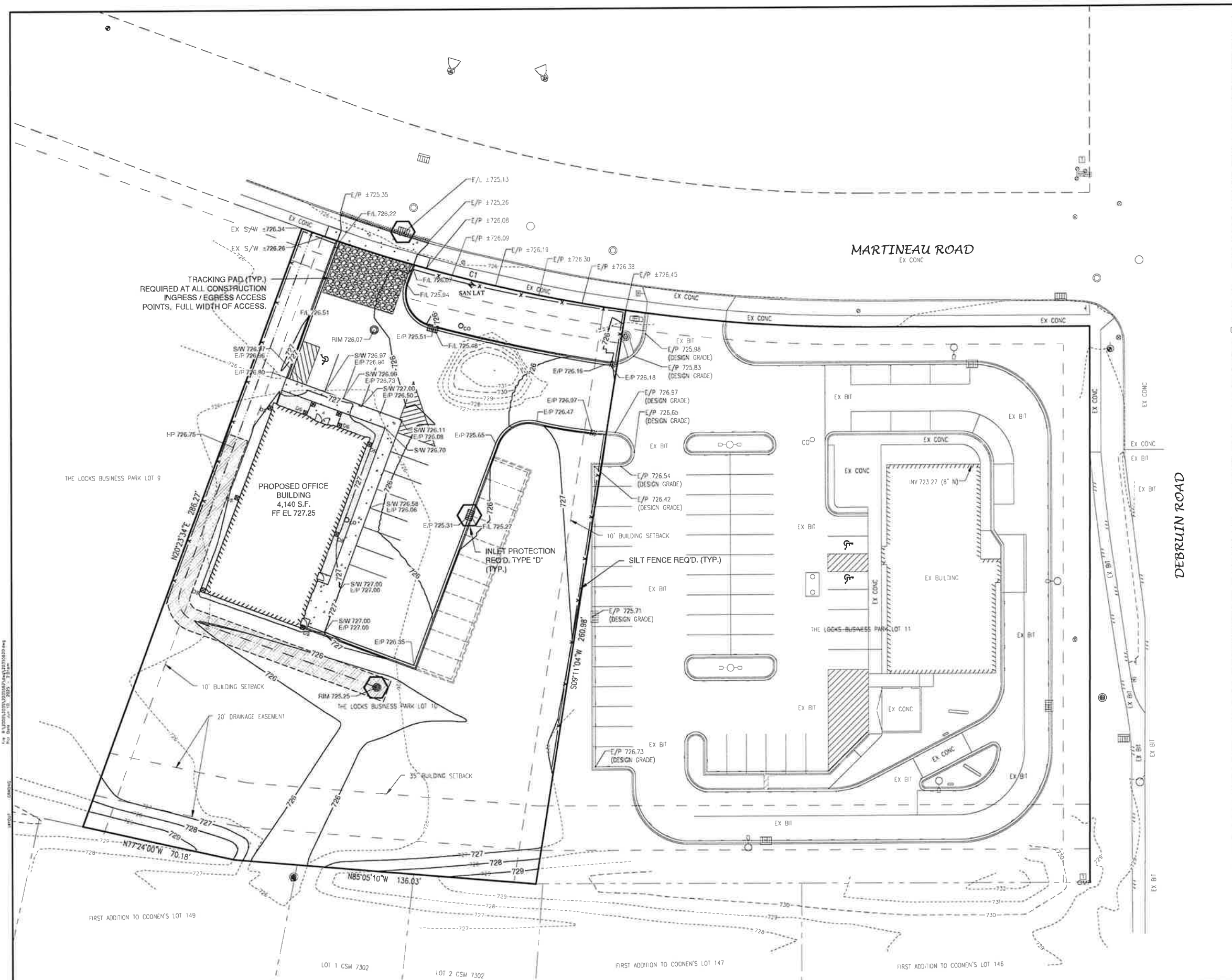
B-B	BACK TO BACK (OF CURB)
F-F	FACE TO FACE (OF CURB)
R/W	RIGHT OF WAY
T/C	TOP OF CURB
F/L	FLOW LINE
C/L	CENTERLINE
R/L	REFERENCE LINE
INV	INVERT
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
CULV	CULVERT

[illegible]



Curve Table							
Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing	Second Tangent Bearing
C1	11°50'57"	730.00'	150.97'	S75°31'55"E	150.70'	S69°36'26"E	S81°27'24"E

BENCHMARK		
BENCHMARK ESTABLISHED BY ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	ELEVATION
1	BURY TAG 7-0 ON HYDRANT	720.73
2	BURY TAG 7-6 ON HYDRANT	729.49



LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								CHECKED
								DESIGNED

CULVER'S OFFICE SITE DEVELOPMENT
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF COMBINED LOCKS
OUTAGAMIE COUNTY, WISCONSIN

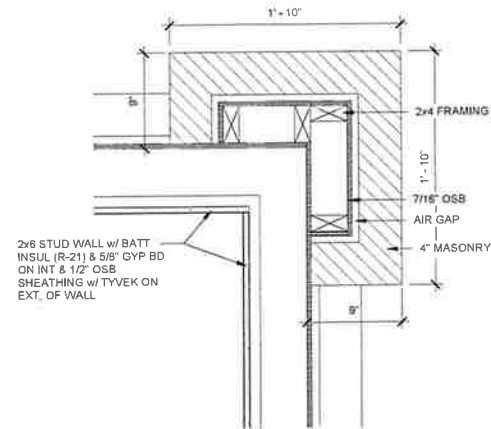
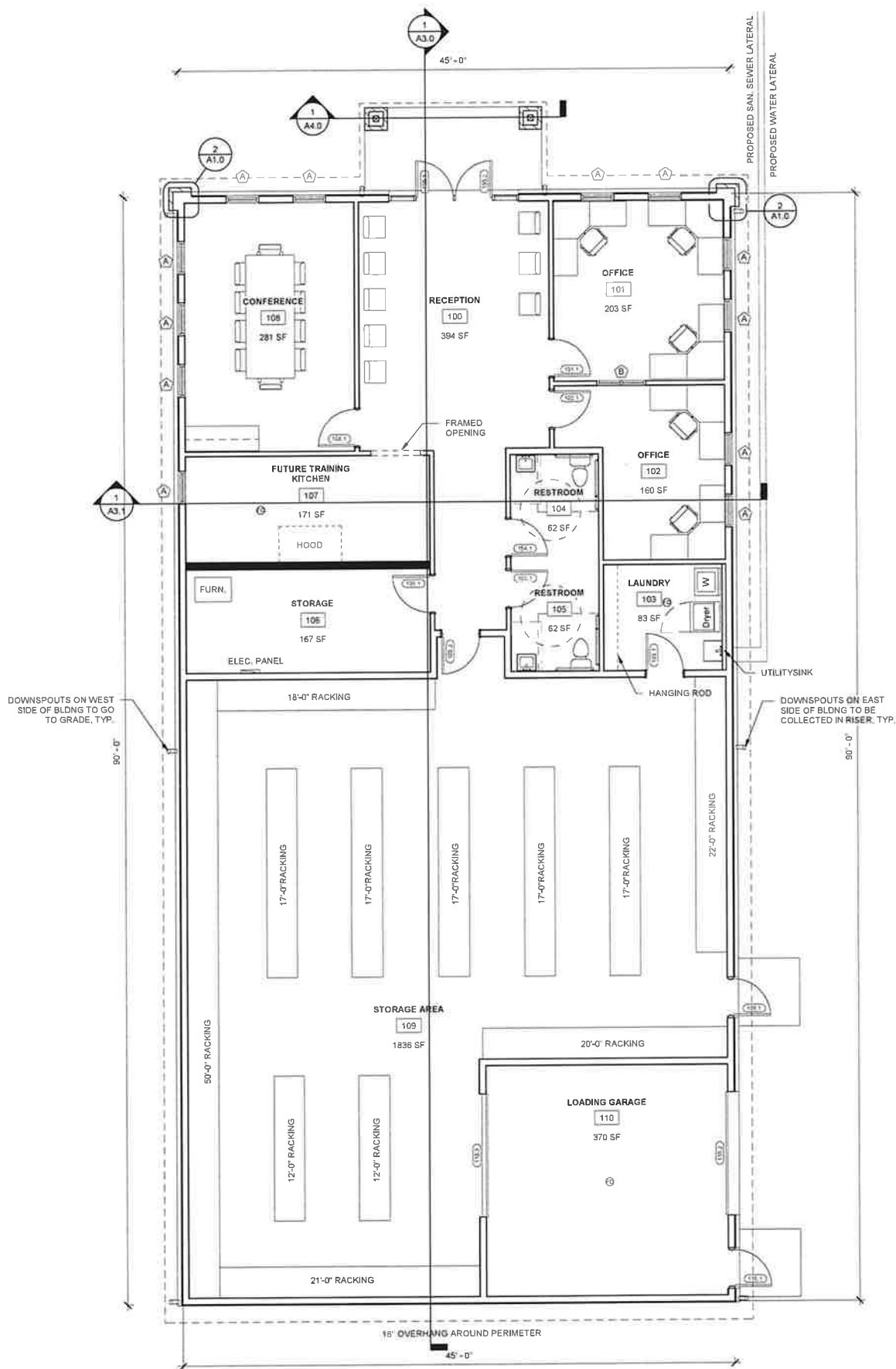
GRADING AND EROSION CONTROL PLAN

DATE
25/03/25
FILE
20150420
JOB NO.
2035567

REL Robert E. Lee
& Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO.

5



FLOOR PLAN - BRICK CORNER
2 / A1.0 SCALE = 1 1/2" = 1'-0"

FLOOR PLAN - OVERALL
1 / A1.0 SCALE = 3/16" = 1'-0"



PROPOSED BUILDING FOR:
GROWING & MAKING DREAMS
COMBINED LOCKS, WISCONSIN; COUNTY OF:
OUTAGAMIE

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL
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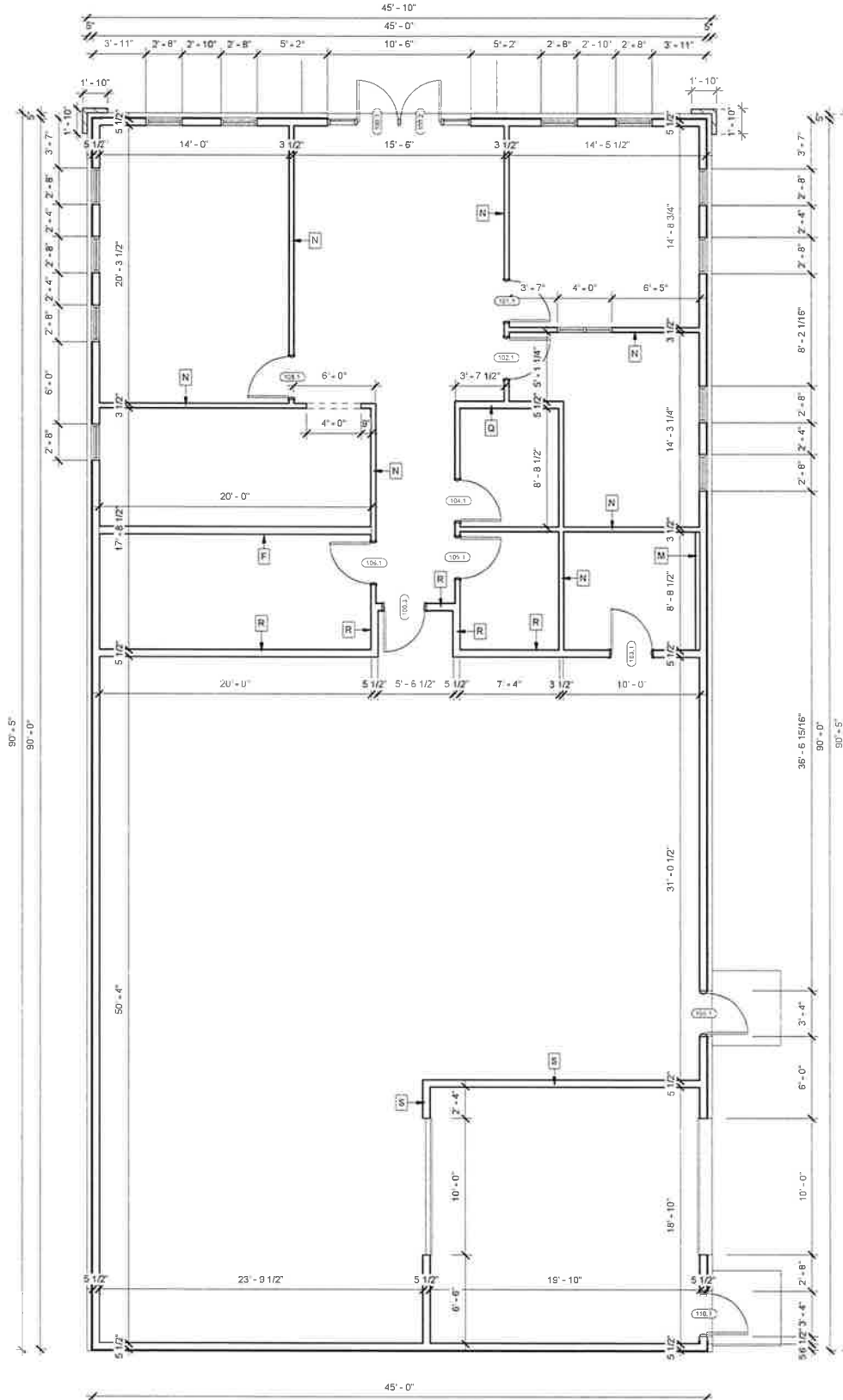
JOB NUMBER: 25-6060
PROJECT EXECUTIVE: TOM AMBROSIOUS
(920) 371-2544
DRAWN BY: JRG / AGS
DATE: 6/5/2025
REVISIONS:

ISSUED FOR: CHECKED: DATE:
BY:
☐ PRELIMINARY
☐ BID SET
☐ DESIGN REVIEW SMITAJAS 5/14/25
☐ CHECKSET
☒ CONSTRUCTION

FLOOR PLAN - OVERALL
A1.0

6/12/2025 7:41:02 AM

NOTE:
- ALL GYP BD TO BE RAN TO 1'-0\"/>



PLAN NOTES:
1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD (U.N.O.)
2) PROVIDE BACKING FOR ANY/ALL PLUMBING FIXTURES
3) PROVIDE BACKING FOR ALL CASEWORK

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
GROWING & MAKING DREAMS
COMBINED LOCKS, WISCONSIN; COUNTY OF:
OUTAGAMIE

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COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER:	25-6060
PROJECT EXECUTIVE:	TOM AMBROSIOUS (920) 371-2544
DRAWN BY:	JRG / AGS
DATE:	6/5/2025
REVISIONS:	

ISSUED FOR: CHECKED DATE:
BY:

- ☐ PRELIMINARY
- ☐ BID SET
- ☐ DESIGN REVIEW SMT/IAS 5/14/25
- ☐ CHECKSET
- ☒ CONSTRUCTION

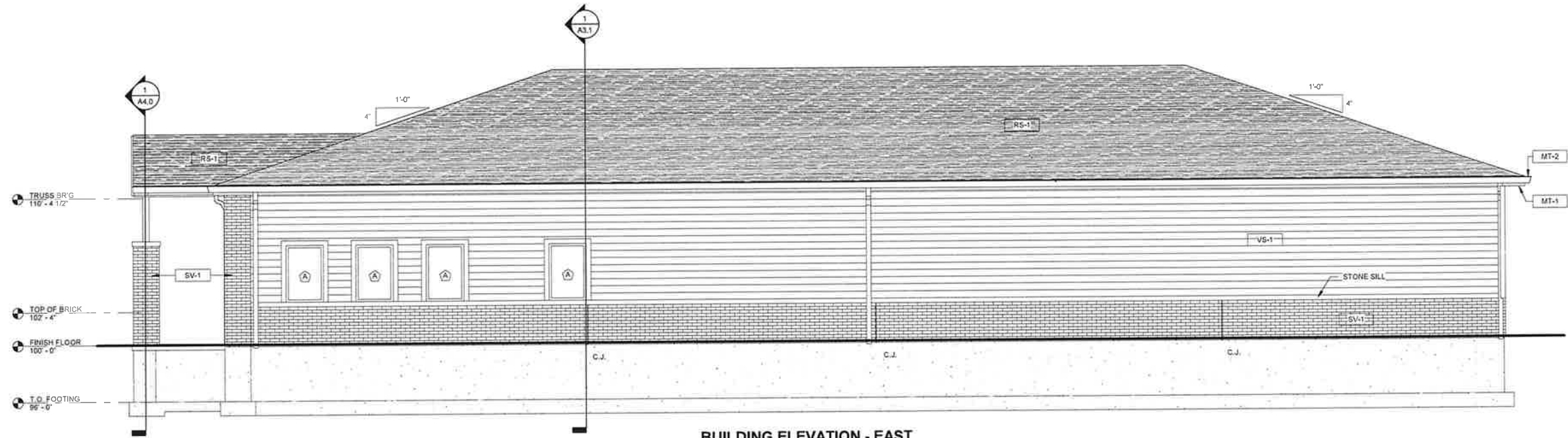
FLOOR PLAN - DIMENSION

FLOOR PLAN - DIM
1 / A1.1 SCALE = 3/16" = 1'-0"



A1.1

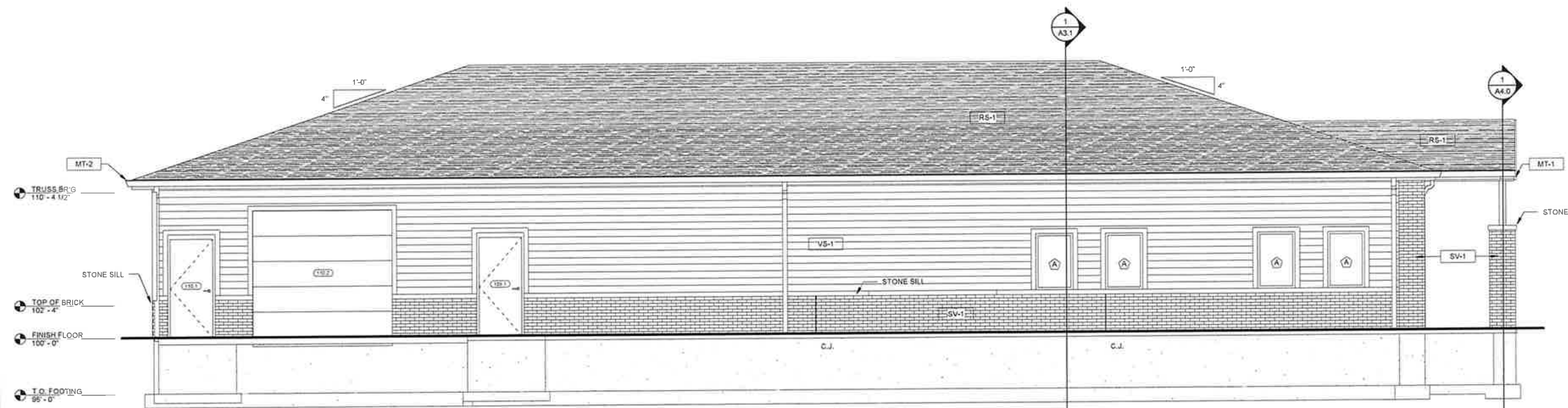
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BUILDING ELEVATION - EAST

1/A2.0 SCALE = 1/4" = 1'-0"

ALTERNATE VINYL SIDING



BUILDING ELEVATION - WEST

2/A2.0 SCALE = 1/4" = 1'-0"

ALTERNATE VINYL SIDING

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
VS-1	LOCATION HORIZ. EXTERIOR SIDING MATERIAL VINYL SIDING SUPPLIER VERIFY COLOR VERIFY COMMENTS
MT-1	LOCATION FASCIA TRIMS & SOFFITS MATERIAL VERIFY SUPPLIER VERIFY COLOR VERIFY COMMENTS
MT-2	LOCATION RAKE, GUTTERS & TRIMS MATERIAL VERIFY SUPPLIER VERIFY COLOR VERIFY COMMENTS
SV-1	LOCATION FACE BRICK MATERIAL 4" FACE BRICK SUPPLIER VERIFY COLOR VERIFY COMMENTS
RS-1	LOCATION ROOF SHINGLES MATERIAL ASPHALT SHINGLE SUPPLIER VERIFY COLOR VERIFY COMMENTS



BAYLAND BUILDINGS

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www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
**GROWING & MAKING
DREAMS**
COMBINED LOCKS, WISCONSIN; COUNTY OF:
OUTAGAMIE

SCALE VERIFICATION

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ADJUST SCALE ACCORDINGLY

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PROJECT EXECUTIVE: TOM AMBROSIOUS
(920) 371-2544

DRAWN BY: JRG / AGS

DATE: 6/5/2025

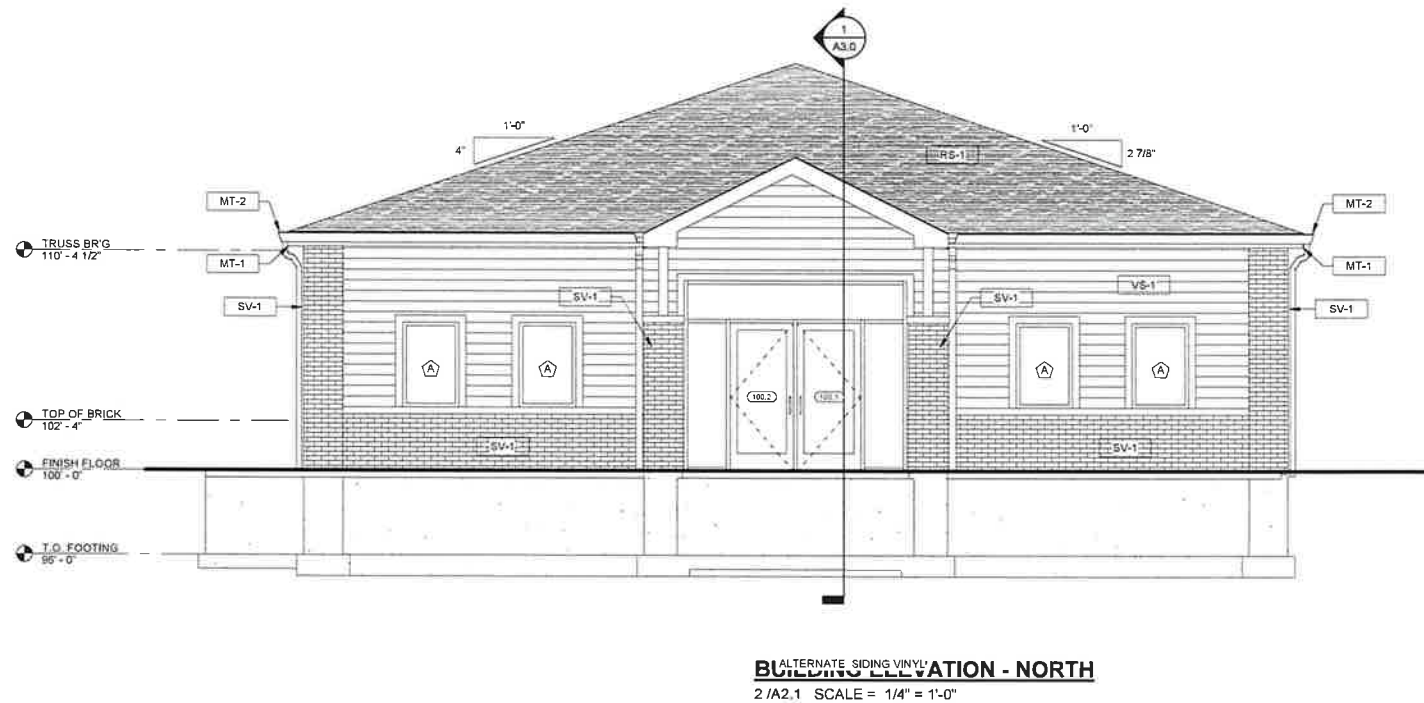
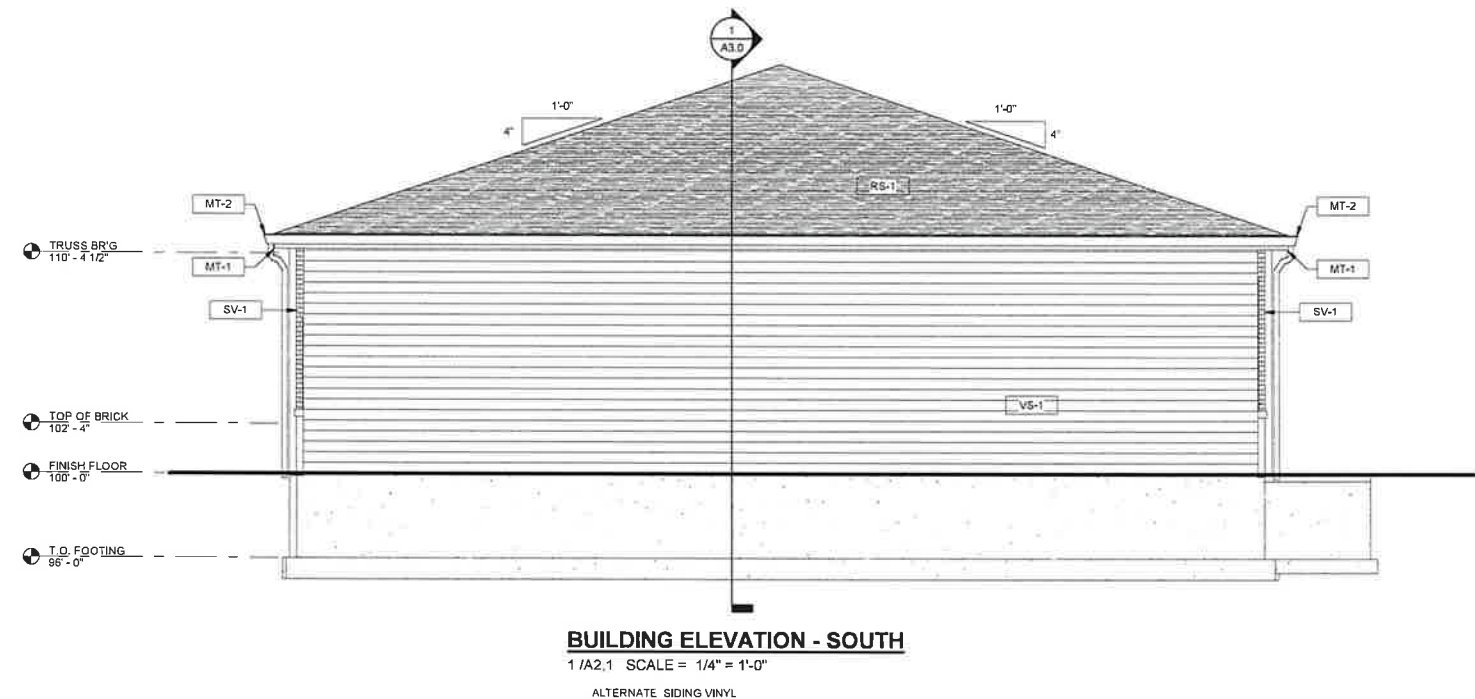
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BY:

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☐ BID SET
☐ DESIGN REVIEW SM/TA/AS 5/14/25
☐ CHECKSET
☒ CONSTRUCTION

ELEVATION - EXTERIOR

A2.0



EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
VS-1	LOCATION: HORIZ. EXTERIOR SIDING MATERIAL: VINYL SIDING SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-1	LOCATION: FASCIA TRIMS & SOFFITS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-2	LOCATION: RAKE, GUTTERS & TRIMS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
SV-1	LOCATION: FACE BRICK MATERIAL: 4" FACE BRICK SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
RS-1	LOCATION: ROOF SHINGLES MATERIAL: ASPHALT SHINGLE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:



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JOB NUMBER: 25-6060

PROJECT
EXECUTIVE: TOM AMBROSIO
(920) 371-2544

DRAWN BY: JRG / AGS

DATE: 6/5/2025

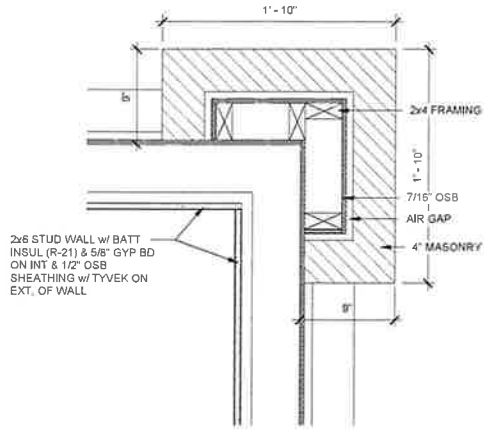
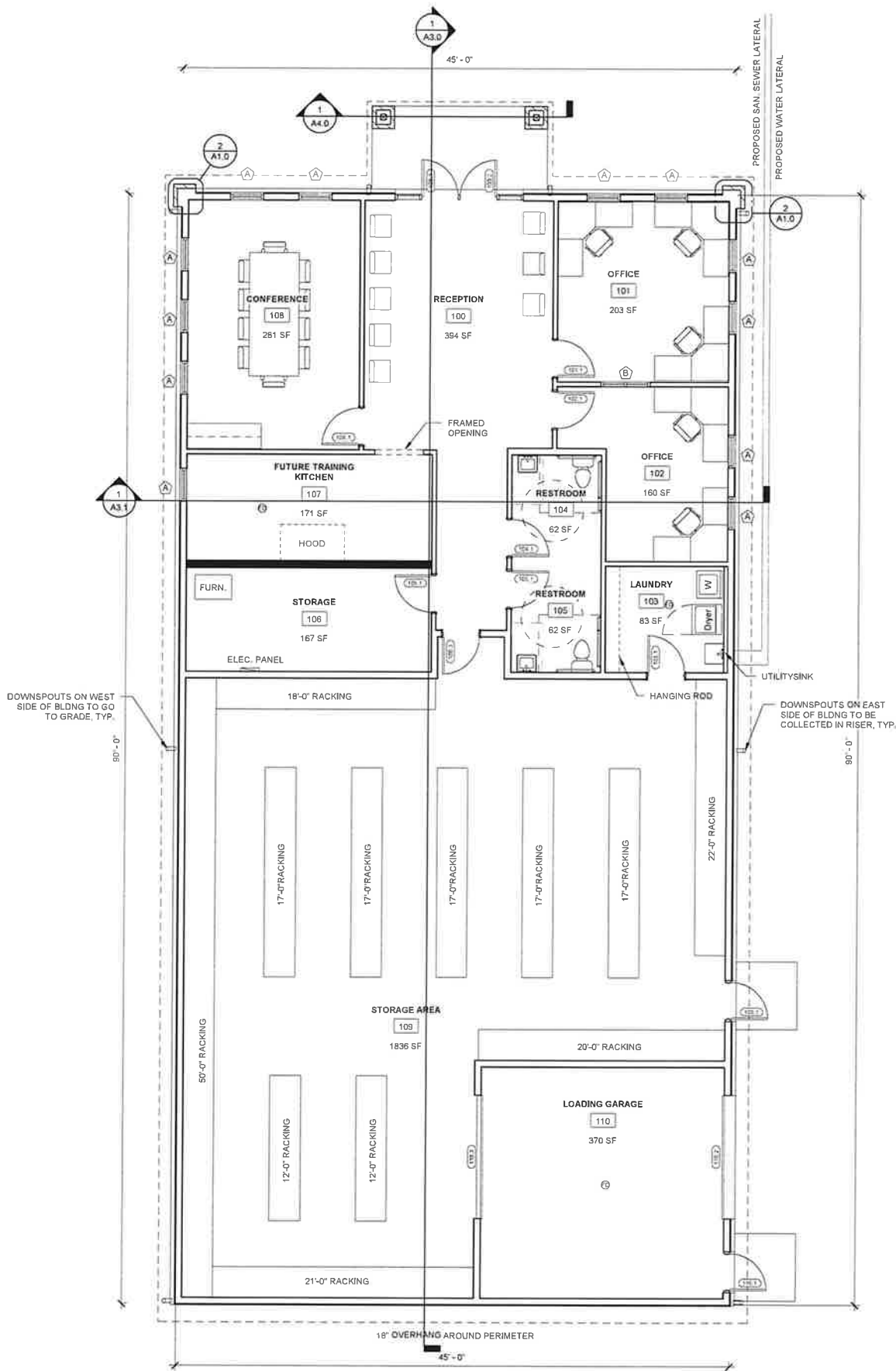
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- ☐ CHECKSET
- ☒ CONSTRUCTION

ELEVATION - EXTERIOR

A2.1



FLOOR PLAN - BRICK CORNER
2/A1.0 SCALE = 1 1/2" = 1'-0"

FLOOR PLAN - OVERALL
1/A1.0 SCALE = 3/16" = 1'-0"



PROPOSED BUILDING FOR:
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(920) 371-2544
DRAWN BY: JRG / AGS
DATE: 6/5/2025
REVISIONS:

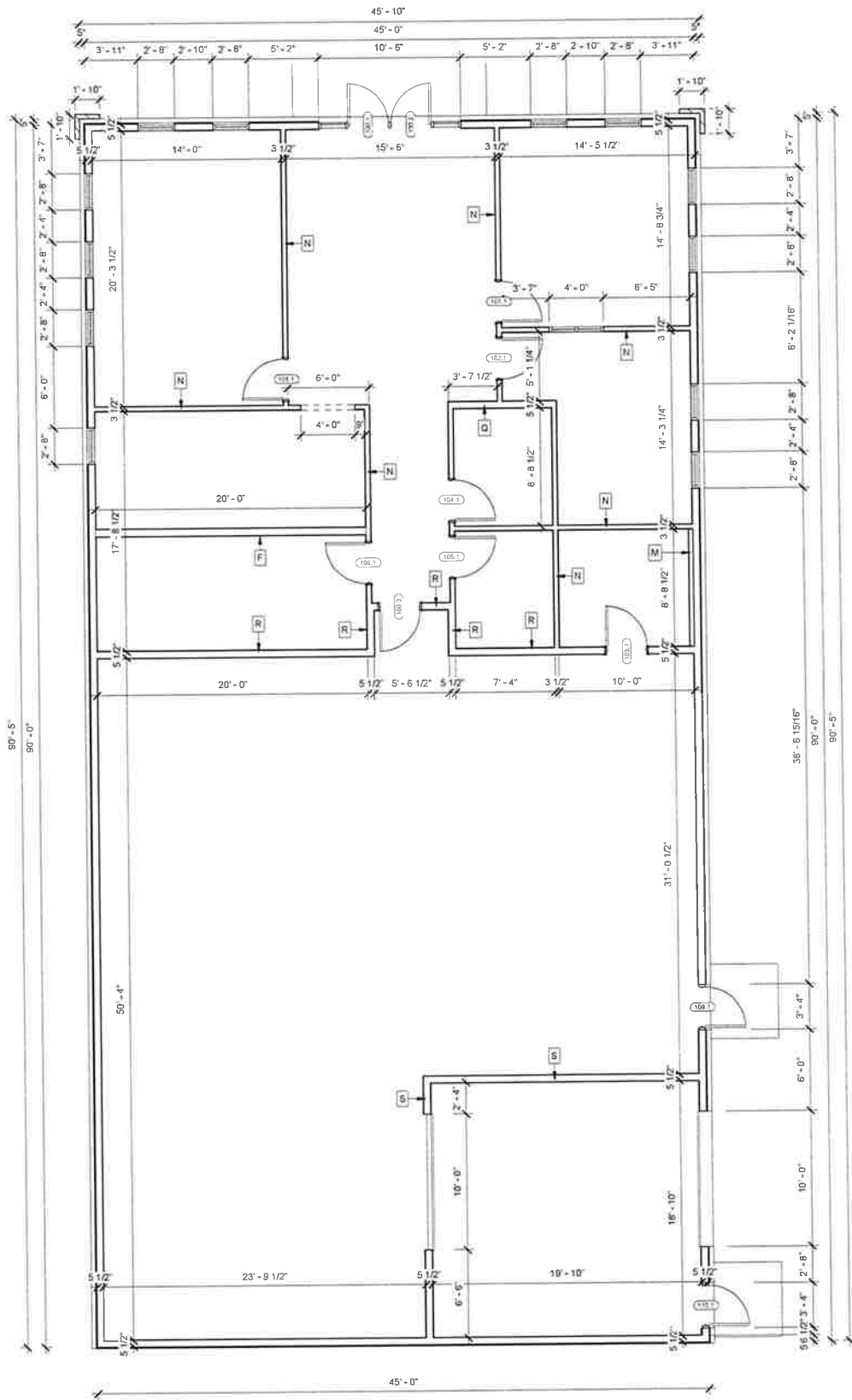
ISSUED FOR: CHECKED: DATE: BY:
☐ PRELIMINARY
☐ BID SET
☐ DESIGN REVIEW SM/TA/AS 5/14/25
☐ CHECKSET
☒ CONSTRUCTION

FLOOR PLAN - OVERALL

A1.0

6/12/2025 7:41:02 AM

NOTE:
- ALL GYP BD TO BE RAN TO 1'-0" ABOVE CEILING FINISH
(SEE R.C.P. FOR ADD'T DTLs)



PLAN NOTES:
1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD (U.N.O.)
2) PROVIDE BACKING FOR ANY/ALL PLUMBING FIXTURES
3) PROVIDE BACKING FOR ALL CASEWORK

FLOOR PLAN - DIM
1/A1.1 SCALE = 3/16" = 1'-0"



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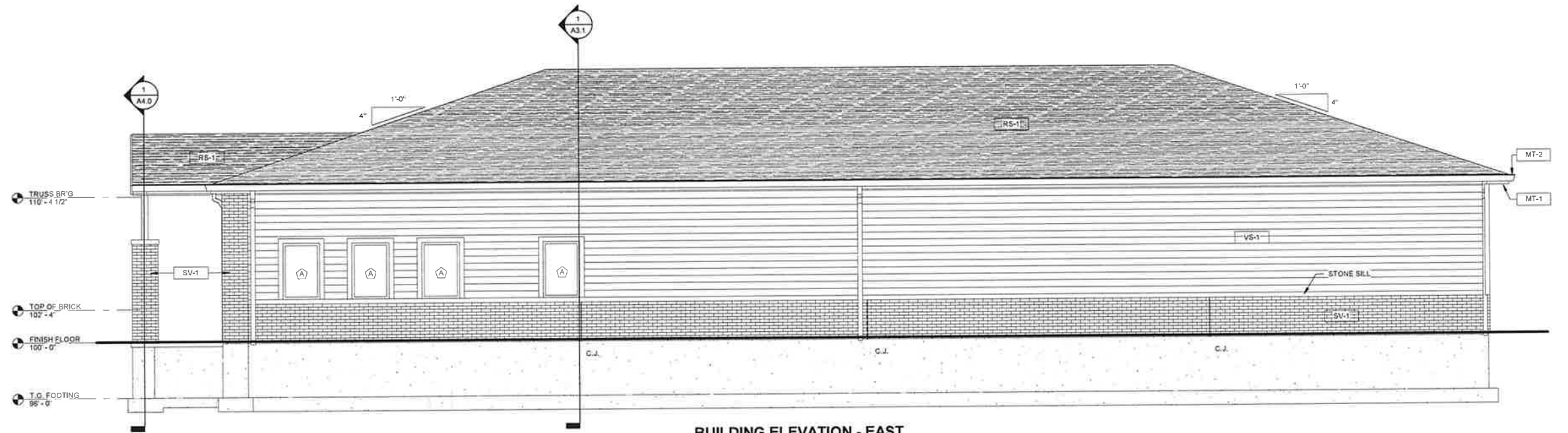
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☒ CONSTRUCTION

FLOOR PLAN - DIMENSION

A1.1

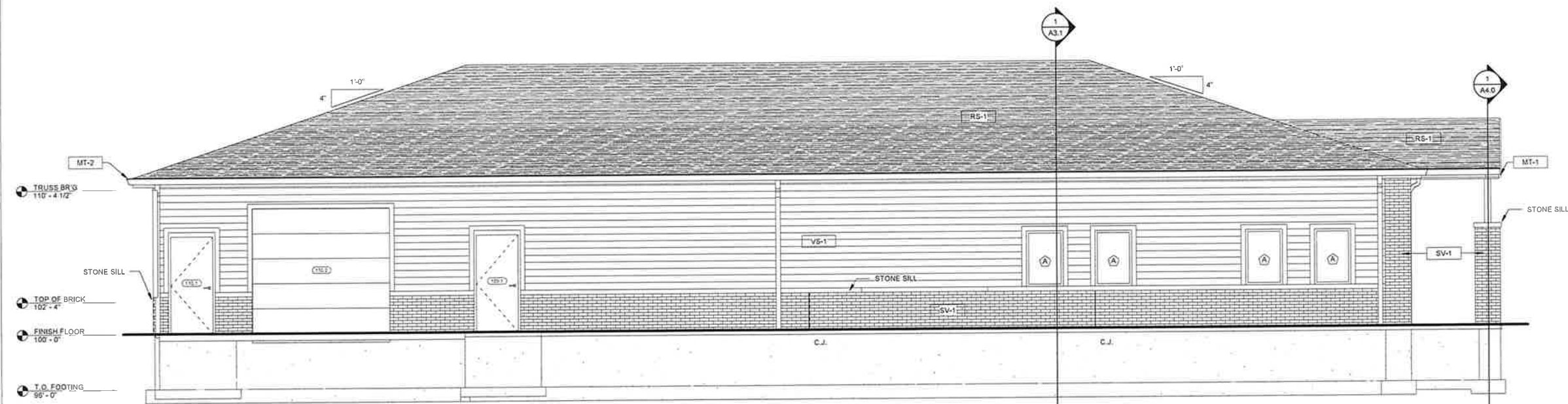
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BUILDING ELEVATION - EAST

1 / A2.0 SCALE = 1/4" = 1'-0"

ALTERNATE VINYL SIDING



BUILDING ELEVATION - WEST

2 / A2.0 SCALE = 1/4" = 1'-0"

ALTERNATE VINYL SIDING

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
VS-1	LOCATION: HORIZ. EXTERIOR SIDING MATERIAL: VINYL SIDING SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-1	LOCATION: FASCIA TRIMS & SOFFITS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-2	LOCATION: RAKE, GUTTERS & TRIMS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
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RS-1	LOCATION: ROOF SHINGLES MATERIAL: ASPHALT SHINGLE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:



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(920) 371-2544

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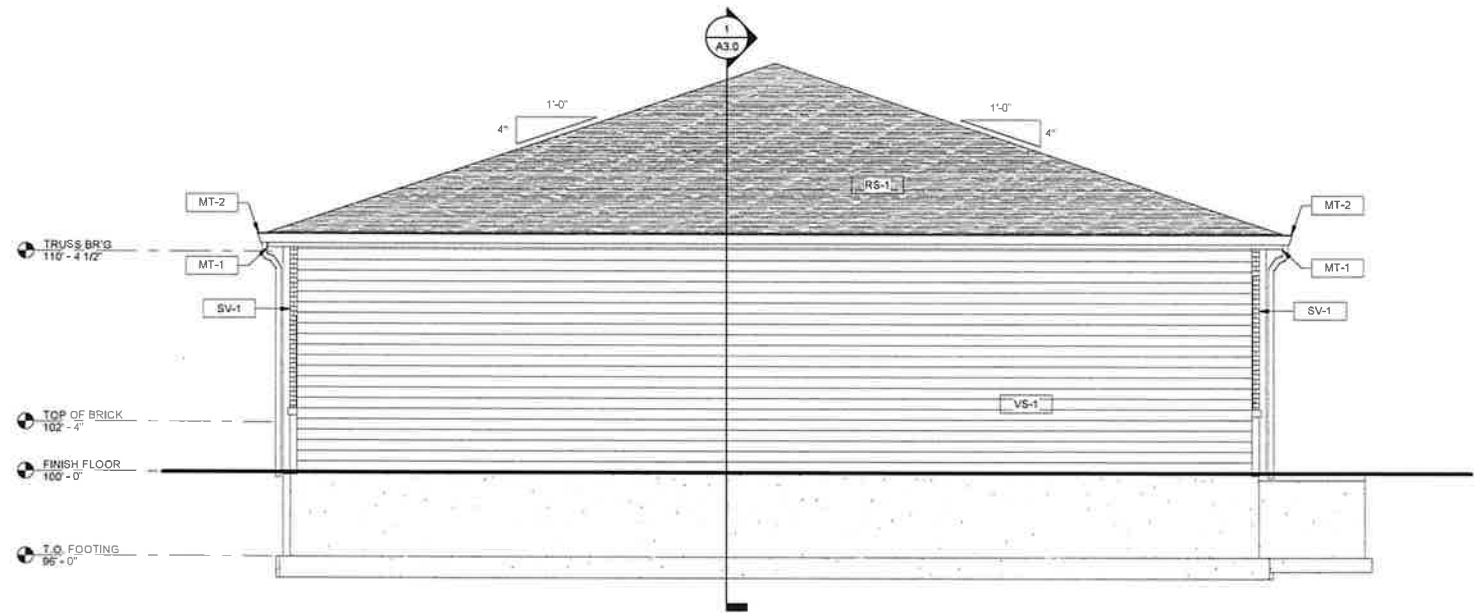
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☐ BID SET
☐ DESIGN REVIEW SM/TAJAS 5/14/25
☐ CHECKSET
☒ CONSTRUCTION

ELEVATION - EXTERIOR

A2.0



BUILDING ELEVATION - SOUTH

1/A2.1 SCALE = 1/4" = 1'-0"

ALTERNATE SIDING VINYL



BUILDING ELEVATION - NORTH

2/A2.1 SCALE = 1/4" = 1'-0"

EXTERIOR FINISH LEGEND

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RS-1	LOCATION: ROOF SHINGLES MATERIAL: ASPHALT SHINGLE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:



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ELEVATION - EXTERIOR

A2.1



Planting Schedule				
	Qty	Common Name	Botanical Name	Scheduled Size
Shrubs				
	14	Allegheny Viburnum	Viburnum acerifolium Allegheny	45 - 18"
	22	Green Velvet Boxwood	Buxus Green Velvet	45 - 18"
	14	Little Lime Punch Hydrangea	Hydrangea Little Lime	45"
Trees				
	11	Prague Viburnum	Viburnum x pragensis	45 - 18"
	1	Red Maple, Burmese Maple	Acer rubrum	2" Cal

Landscape Installation Notes

GENERAL

- Landscape Contractor is responsible for coordinating work with general contractor to ensure the landscape scope of work doesn't interfere with existing or built conditions. They should note any discrepancies to the general contractor.
- Landscape Contractor is responsible for verifying the location of underground utilities by calling their local utility marking service.
- All plant material should be inspected by Landscape Contractor prior to installation to determine overall appearance and condition. Plant material that is damaged or has clear signs of stress should be rejected.
- Quantities of material shown on plan take precedence over the specification list or legend.
- If plant substitutions are required, Landscape Contractor is responsible for submitting recommendations to the client or client's representative.
- Irrigation system required and to be designed by qualified Irrigation Contractor - system must be programmable and capable of odd/even day use.
- This proposed landscape plan will mitigate/enhance site conditions in accordance to city requirements.

PLANTING

- When excavating for plant pits, any excess rock or building material should be removed and replaced with specified soil mix backfill.
- All plant tags should be removed from material by Landscape Contractor.
- All planting beds should receive a minimum 3" deep layer of shredded hardwood mulch, unless otherwise noted.
- Edge all beds with a spade cut edge unless otherwise noted.
- All backfill around plant material should be removed during planting.
- All wire baskets and stakes should be removed during planting.
- Cut and remove top half of burlap around rootballs and cut and remove any twine around trunk or root flare.
- All stakes and guy wires and tree wrap are to be removed no more than 1 year after installation.
- Tree wrap, if used, is to be installed by November 1 and to be removed by April 1.

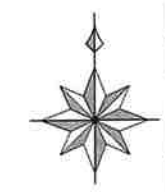
Village of Combined Locks Landscaping Standards:

580-14. Landscape Buffer: The landscape buffer area shall not be less than eight feet in width measured at right angles to property lines and shall be established along the entire length of and contiguous to the designated property lines. The area shall be so designed, planted, and maintained as to be 75% or more opaque between two and six feet above average ground level.

Contiguous landscape buffer provided along full length of South Property line.

580-22. Business Park District: A landscaped strip not less than 15 feet in depth if at the front, shall be required along any lot line adjacent to an intersecting street. Due to easement, a 6' wide landscape strip provided.

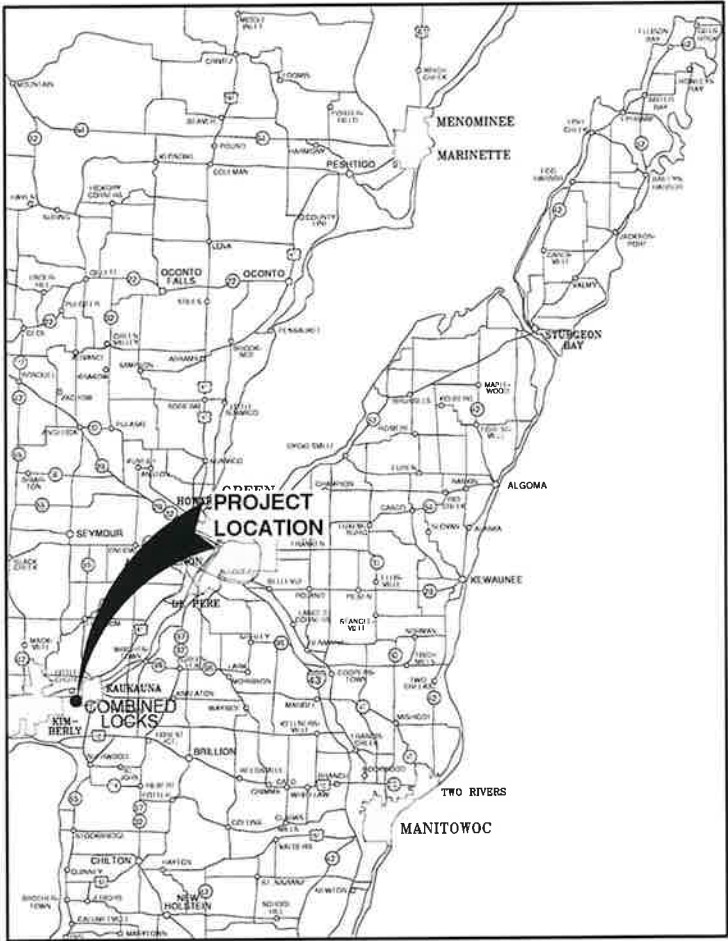
1" = 20'



No.	Date	By	Revision Notes
Project Address		Culver's Office Development Martineau Road Village of Combined Locks Wisconsin, 54113	
<div></div> <div>elevate outdoor</div>			
Design Firm		Elevate Outdoor LLC. 1112 Bryan Road O'Fallon, Missouri 63366	
Consultant		Mark Gawriluk	
Project Title		Culver's Office Development	
Sheet Title		Landscape Plan	
Project Manager		Project ID	
Drawn By MVG		Scale 1" = 20'	
Reviewed By		Sheet No.	
Date 6/17/2025		L-1	
		_____ of _____	
		1	

CULVER'S OFFICE SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



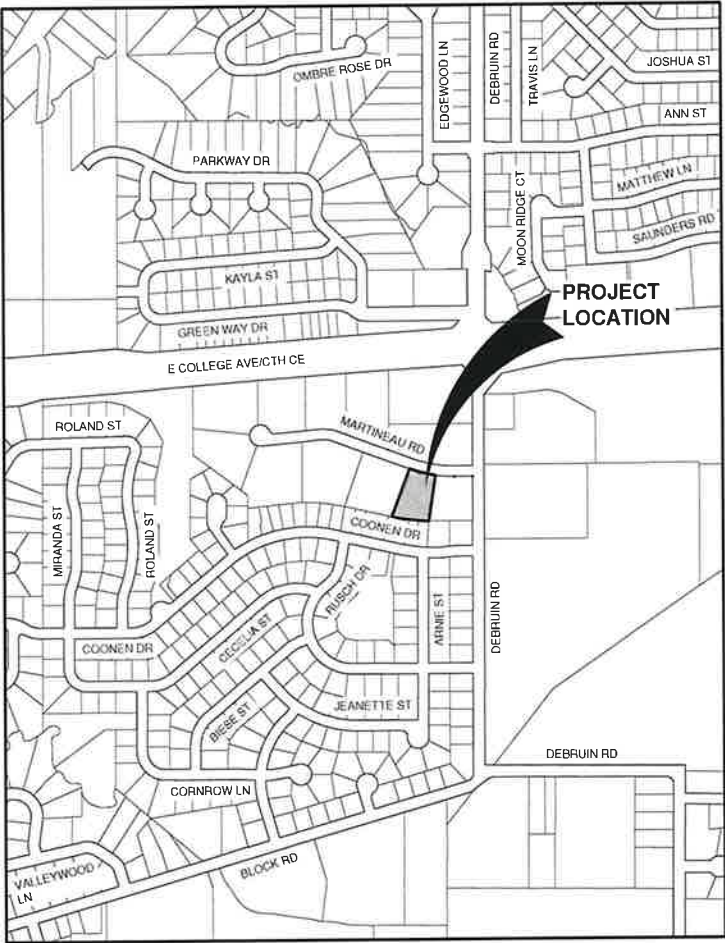
VICINITY MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES,
WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY
OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO
EXCAVATION.

NOTE:
ALL EROSION CONTROL MEASURES SHALL
BE IN PLACE PRIOR TO CONSTRUCTION
AND SHALL CONFORM TO THE WISCONSIN
DEPARTMENT OF NATURAL RESOURCES
CONSTRUCTION SITE EROSION CONTROL
AND TECHNICAL STANDARDS.

INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	GENERAL NOTES
2	EXISTING SITE CONDITIONS
3	SITE PLAN
4	UTILITY PLAN
5	GRADING AND EROSION CONTROL PLAN
6	MISCELLANEOUS DETAILS
7	MISCELLANEOUS DETAILS
8	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
9	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
10	EROSION CONTROL - DITCH CHECK DETAILS
11	EROSION CONTROL - SHEET FLOW DETAILS
12	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
13	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
14	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS



LOCATION MAP

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CULVER'S OFFICE SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF COMBINED LOCKS OUTAGAMIE COUNTY, WISCONSIN	LOCATION MAPS AND INDEX TO DRAWINGS	DATE 06/20/24 FILE 20231420C JOB NO. 20231420	REL Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO. C
1								CHECKED					
								DESIGNED					

OWNER INFORMATION:

LAND OF DREAMS IV
N250 EASTWONE LANE
APPLETON, WI 54915

(920) 427-9897

CONTACT: MAGGIE KAUER

CONTRACTOR INFORMATION:

BAYLAND BUILDINGS, INC.
P.O. BOX 13571
GREEN BAY, WI 54307

(920) 680-8110

CONTACT: DAVID O'BRIEN

UTILITY INFORMATION:

UTILITIES PRESENT:

VILLAGE OF COMBINED LOCKS DEPARTMENT OF PUBLIC WORKS, KAUKAUNA UTILITIES, WE ENERGIES, AT&T, TIME WARNER, NET LEC AND TDS METROCOM.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKETS NUMBERED 20251827838 AND 2025182784, BOTH DATED 05/12/2025 VISIBLE OBSERVATION (05/14/2025) AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
VILLAGE OF COMBINED LOCKS
405 WALLACE ST.
COMBINED LOCKS, WI 54113

(920) 788-7740

WATER/ELECTRIC:
KAUKAUNA UTILITIES
777 ISLAND ST.
KAUKAUNA, WI 54130

(920) 766-5721

GAS & ELECTRIC:
WE ENERGIES
800 S. LYNDALE DR.
APPLETON, WI 54914

(800) 242-9137

TELECOMMUNICATIONS:
AT & T / SBC
221 W. WASHINGTON ST.
APPLETON, WI 54911

(920) 221-5969

TELECOMMUNICATIONS:
SPECTRUM / TIME WARNER / CHARTER
12405 POWERS COURT DR.
ST. LOUIS MO 63131

(262) 446-9821

TELECOMMUNICATIONS:
NET LEC / NSIGHT / CELLCOM
C/O MI TECH SERVICES
221 W. WASHINGTON ST.
APPLETON, WI 54911

(920) 739-7659

TELECOMMUNICATIONS:
TDS METROCOM / TDS TELECOM
W6174 AEROTECH DR. - SUITE A
APPLETON, WI 54914

(920) 882-3342



TO OBTAIN LOCATION OF PARTICIPANTS
UNDERGROUND FACILITIES BEFORE YOU
DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

LEGEND

- FIRE HYDRANT

WATER VALVE

CURB STOP

WATER MANHOLE

REDUCER/INCHREASER

SANITARY MANHOLE

AIR RELIEF MANHOLE

STORM MANHOLE

STORM INLET (NOT IN CURB AND GUTTER)

STORM INLET (IN CURB AND GUTTER)

STORM INLET MANHOLE

TANK COVER

SOIL BORING

POST

IRON PIPE/ROD

PK NAIL
- POWER POLE

POWER POLE W/GUY WIRE

LIGHT POLE

TRAFFIC SIGNAL POLE

ELECTRIC MANHOLE

ELECTRIC METER

TELEPHONE MANHOLE

TELEPHONE PEDESTAL

CABLE TV MANHOLE

CABLE TV PEDESTAL

GAS VALVE

GAS METER

MAILBOX

SIGN

BOLLARD
- DECIDUOUS TREE

CONIFEROUS TREE

BUSH

RIP RAP

CULVERT

WETLANDS

HANDICAP PARKING

TO BE REMOVED

TO BE DEMOLISHED

- EDGE OF ASPHALT

EDGE OF GRAVEL

CURB & GUTTER

TREE/BRUSH LINE

CONTOUR LINE

RETAINING WALL

GUARD RAIL

FENCE
- SANITARY SEWER (SIZE NOTED)

FORCEMAIN (SIZE NOTED)

STORM SEWER (SIZE NOTED)

WATERMAIN (SIZE NOTED)

GAS LINE

OVERHEAD TELEPHONE LINE

UNDERGROUND TELEPHONE LINE

OVERHEAD ELECTRIC LINE

UNDERGROUND ELECTRIC LINE

OVERHEAD CABLE TV LINE

CABLE TV LINE

FIBER OPTIC LINE

R/W LINE

PROPERTY LINE

EASEMENT LINE

BUILDING SETBACK LINE

SECTION LINE

- GR. GRAVEL

BIT. BITUMINOUS

ASPH ASPHALT

CONC CONCRETE

SW SIDEWALK

BLDG BUILDING

HSE HOUSE

PED PEDESTAL

PP POWER POLE

LP LIGHT POLE

BM BENCH MARK

WM WATERMAIN

HYD. HYDRANT

WV WATER VALVE

SAN SANITARY SEWER

MH MANHOLE

ST STORM SEWER

CB CATCH BASIN

TELE TELEPHONE

ELEC ELECTRIC

TV TELEVISION

STA. STATION

VPC VERTICAL POINT OF CURVATURE

VPI VERTICAL POINT OF INTERSECTION

VPT VERTICAL POINT OF TANGENCY

PC POINT OF CURVATURE

PI POINT OF INTERSECTION

PT POINT OF TANGENCY

R RADIUS

EX EXISTING

PR PROPOSED

EOR END OF RADIUS

BOC BACK OF CURB
- B-B BACK TO BACK (OF CURB)

F-F FACE TO FACE (OF CURB)

R/W RIGHT OF WAY

T/C TOP OF CURB

F/L FLOW LINE

C/L CENTERLINE

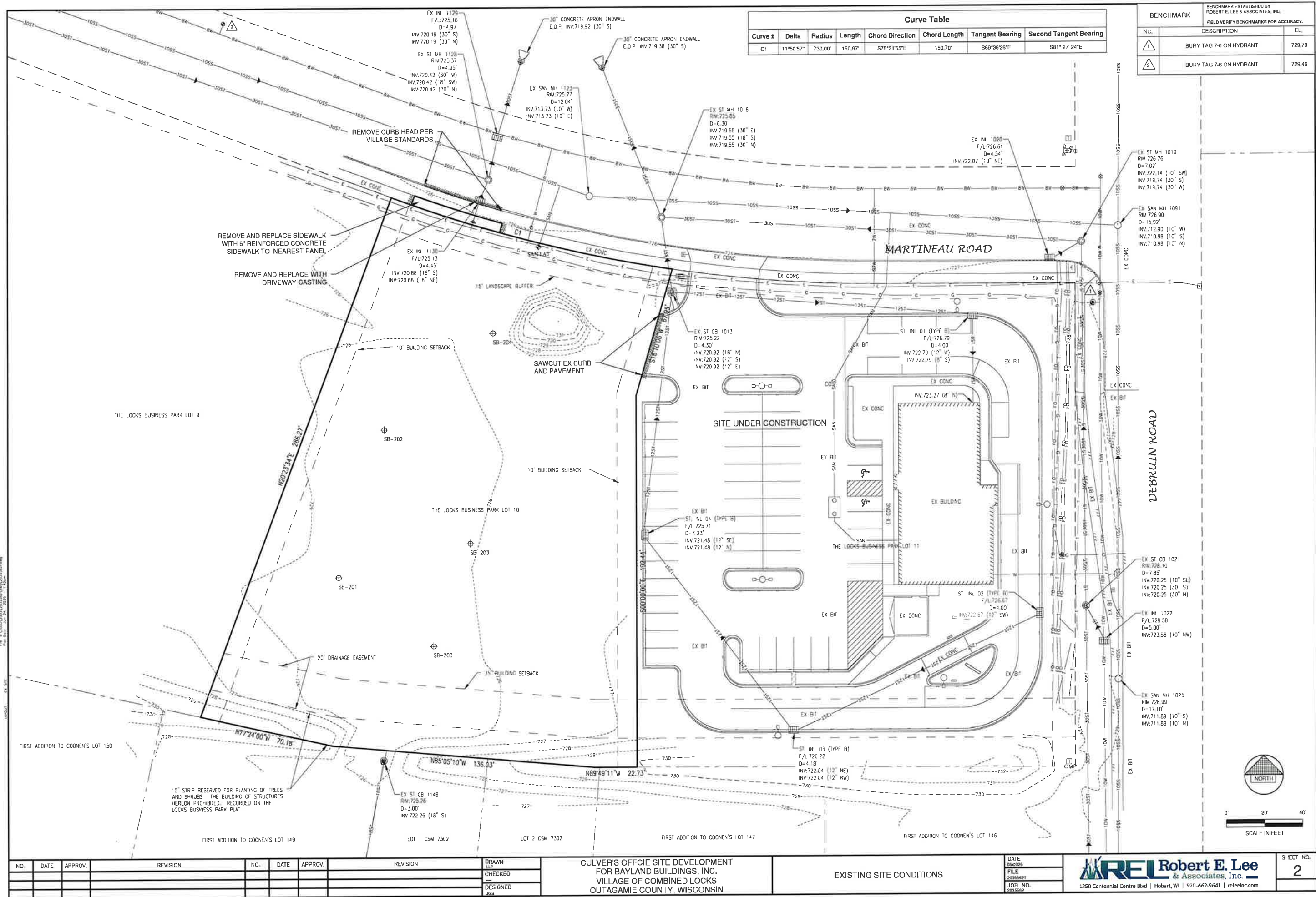
R/L REFERENCE LINE

INV INVERT

CMP CORRUGATED METAL PIPE

RCP REINFORCED CONCRETE PIPE

CULV CULVERT



Curve Table						
Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing
C1	11°50'57"	730.00'	150.97'	S75°31'55"E	150.70'	S68°36'26"E

BENCHMARK		
BENCHMARK ESTABLISHED BY ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	EL.
1	BURY TAG 7-0 ON HYDRANT	729.73
2	BURY TAG 7-6 ON HYDRANT	729.49

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

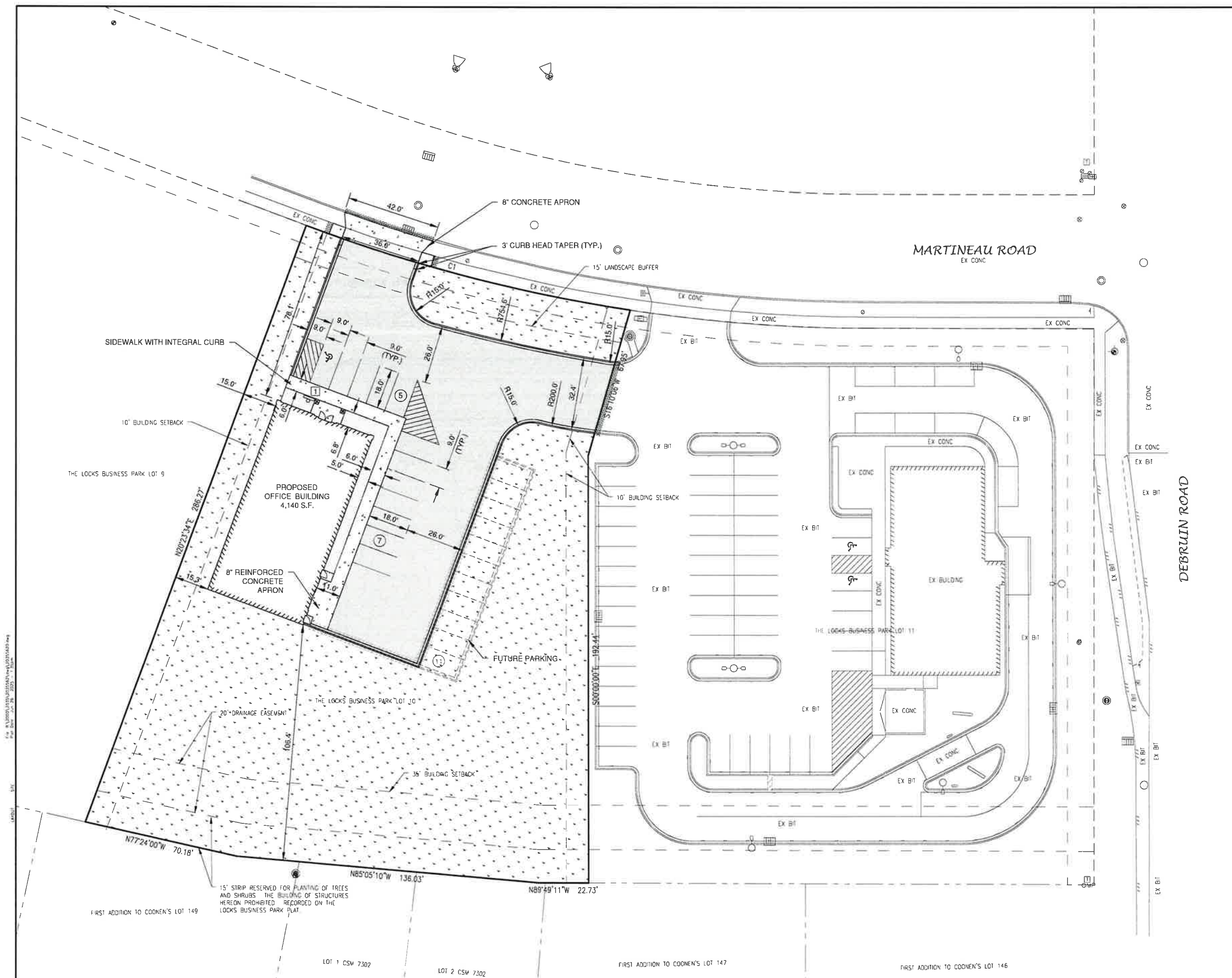
DRAWN LUP	CHECKED	DESIGNED JES
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CULVER'S OFFICE SITE DEVELOPMENT
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF COMBINED LOCKS
OUTAGAMIE COUNTY, WISCONSIN

EXISTING SITE CONDITIONS

DATE 06/20/25
FILE 20250627
JOB NO. 2025062

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | rel@relinc.com



LEGEND

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT (10,79 S.F.)
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" STANDARD CURB AND GUTTER
- PROPOSED 18" MOUNTABLE CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- SIGN
- INDICATES NUMBER OF PARKING STALLS
- WALL PACK

***NOTE:** ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

NOTE
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDING AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

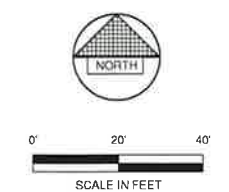
PARKING DATA
TOTAL PARKING STALLS PROVIDED = 12
HANDICAP ACCESSIBLE PARKING STALLS = 1
TOTAL PARKING STALLS REQUIRED = 10

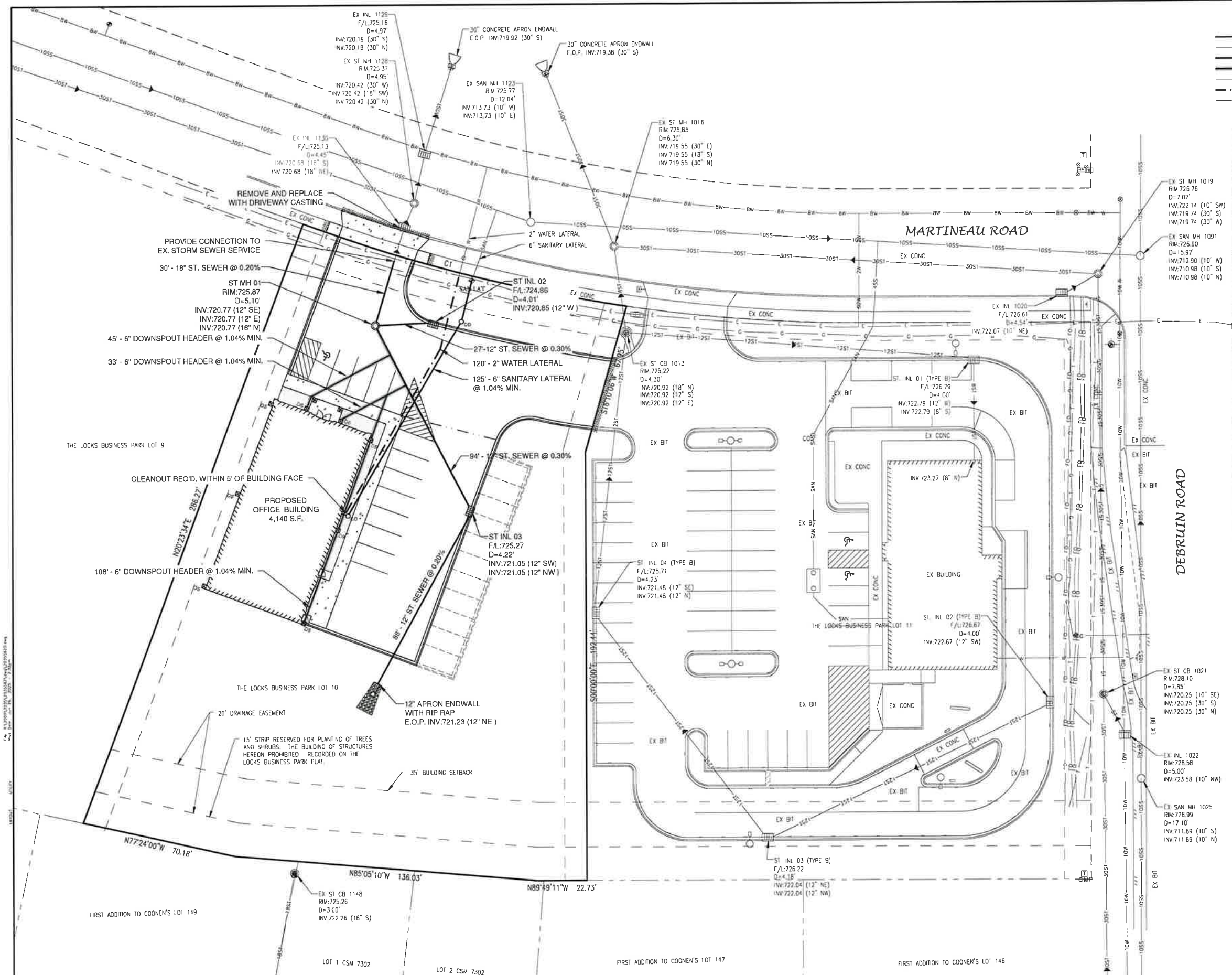
SITE DATA
TOTAL AREA = 1.14 ACRES, 49,654 S.F.
BUILDING AREA = 0.10 ACRES, 4,140 S.F. (8.3%)
SIDEWALK/PARKING LOT AREA = 0.28 ACRES, 12,484 S.F. (25.2%)
GREEN SPACE = 0.76 ACRES, 33,030 S.F. (66.5%)

ZONING
BUSINESS PARK

PARCEL NO.
230154500

CONSTRUCTION CLASSIFICATION
VB





LEGEND

— BSS —	PROPOSED SANITARY SEWER
— BSS —	EXISTING SANITARY SEWER (SIZE NOTED)
— 10ST —	PROPOSED STORM SEWER
— 10ST —	PROPOSED STORM SEWER WITH INSULATION
— 10ST —	EXISTING STORM SEWER (SIZE NOTED)
— 6W —	PROPOSED WATERMAIN
— 6W —	EXISTING WATERMAIN (SIZE NOTED)

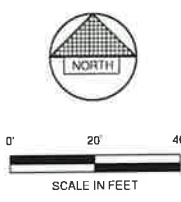
PROPOSED

- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- LIFT STATION
- TRACER WIRE SIGNAL CONNECTION BOX
- CLEANOUT
- STORM MANHOLE
- STORM INLET (NOT IN CURB AND GUTTER)
- STORM INLET (IN CURB AND GUTTER)
- STORM INLET MANHOLE
- YARD DRAIN
- STANDPIPE
- ROOF DOWNSPOUT
- DISCHARGE STRUCTURE

EXISTING

- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- LIFT STATION
- TRACER WIRE SIGNAL CONNECTION BOX
- CLEANOUT
- STORM MANHOLE
- STORM INLET (NOT IN CURB AND GUTTER)
- STORM INLET (IN CURB AND GUTTER)
- STORM INLET MANHOLE
- YARD DRAIN
- STANDPIPE
- ROOF DOWNSPOUT
- DISCHARGE STRUCTURE

- NOTE**
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
 3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
 4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
 5. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
 6. DOWNSPOUTS WEST SIDE OF BUILDING DRAIN TO GRADE.
 7. STORM SEWER TO HAVE GRANULAR BACKFILL.



NO.	DATE	APPROV.	REVISION

NO.	DATE	APPROV.	REVISION

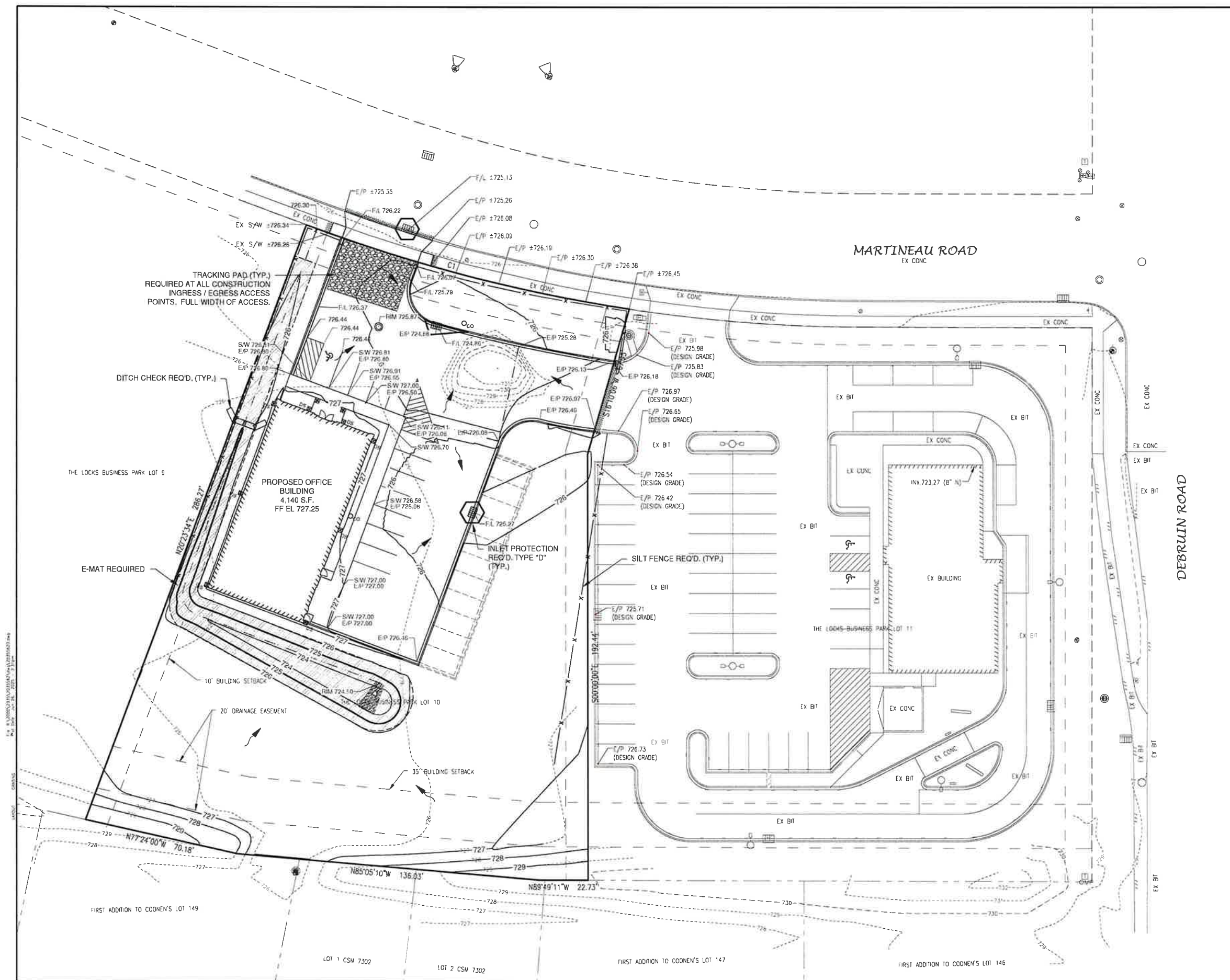
DRAWN	
CHECKED	
DESIGNED	

CULVER'S OFFICE SITE DEVELOPMENT
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF COMBINED LOCKS
OUTAGAMIE COUNTY, WISCONSIN

UTILITY PLAN

DATE	05/20/20
FILE	20155420
JOB NO.	2015542

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releecinc.com



LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- - - DRAINAGE DIVIDE
- FLOW ARROW
- x- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- [Symbol] DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- [Symbol] TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- [Symbol] EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- [Symbol] INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

During the public participation exercise for redevelopment of Van Zeeland and Lindberg Parks, a popular addition to Lindberg Park was a mountain bike trail. Plan Commission members are gathering information on this possibility with the help of NEWT (Northeast Wisconsin Trails). The following is information for our research:

REFERENCES:

Here is NEWTs website: newtrailswi.org

We are a chapter of the International Mountain Bicycle Association - IMBA: imba.com

There are likely to be a lot of questions from the unknowing public. The Sheboygan group summarized great responses backed up with highly regarded references:

<https://sheboygancountycycling.org/clearing-up-misconceptions-trails-evergreen-park/>

Example urban projects:

Green Bay - Baird Creek Skills Park: <https://bairdcreek.org/skillspark/>

Sheboygan - Evergreen Park: <https://sheboygancountycycling.org/our-trails/evergreen-park-trails-campaign/>

Janesville - Palmer Urban Mountain Bike Park:

https://www.janesvillecvb.com/recreation/details/4371/273711/Palmer_Urban_Mountain-Bike_Park_PUMP

Example MOU is attached for a NEWT trail at Waukau Dam out near Omro. There are some similarities between sites with the creek, clay soil, etc.

Like I mentioned, the trail construction industry is really developing. The old days of volunteers slowly building good trail on weekends (like all current NEWT trails) are giving way to professionals installing great trails in a fraction of the time. Here are some links to learn more:

Trade association <https://www.trailbuilders.org/>

Contractors doing recent work in Wisconsin:

<https://rocksolidtrails.com/>

Dynamic Trailworx <https://www.facebook.com/dynamictrailworx>

Traction Trailworx: <https://www.facebook.com/p/Traction-Trailworx-LLC-100057315255216/>

Imba trail solutions <https://www.imba.com/programs/trail-solutions>

Village of Combined Locks
Comprehensive Outdoor Recreation Plan
2025-2030

DRAFT



ACKNOWLEDGEMENTS

The preparation of the Village of Combined Locks *Outdoor and Recreation Plan 2025-2030* was formulated by the Plan Commission and Village Staff.

The Combined Locks Village Board adopted it on February XX, 2026

VILLAGE BOARD OF TRUSTEES

John Neumeier, President
Justin Krueger
Al Leicht
Tim Stutzman
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RJ Talbot

VILLAGE PLAN COMMISSION

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Jeff Maynard
Tim Mulry
Nate Romberg
RJ Talbot

VILLAGE STAFF

Racquel Shampo-Giese, Administrator/Clerk/Treasurer
Keith Weyenberg, Co-Director of Public Works
Ryan Swick, Co-Director of Public Works
Kevin Carney, Parks Manager

Photos

Courtesy of Kimberly High School Digital Media Students
(unless otherwise noted)

INTRODUCTION AND PLAN OVERVIEW



Community leaders recognize the importance of strategic planning to protect and enhance the natural resources in our parks, while ensuring a high quality of life for current and future generations.

The 2025-2030 Combined Locks Comprehensive Outdoor Recreation Plan, developed by the Plan Commission and approved by the Village Board of Trustees, serves as a guide for preserving our unique natural environment. It enables residents and visitors to engage in recreational activities and coexist harmoniously with nature. The plan also outlines the development and revitalization of the community's park system and recreational facilities.

An inventory of existing parks and facilities has been conducted to establish the plan's goals and objectives. This inventory serves as the foundation for general and site-specific recommendations that will guide all projects in the document. As a dynamic resource, the plan will evolve with the completion of park improvements, updates to recreational amenities, and adjustments to goals and objectives.



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ABOUT COMBINED LOCKS



The Village of Combined Locks is located in the southeastern corner of Outagamie County, east of United States Highway 44 and along County Trunk Highway CE. It is bordered by the Fox River and the Village of Little Chute to the north, the Village of Kimberly to the west, the city of Kaukauna to the east, and the town of Buchanan to the south.

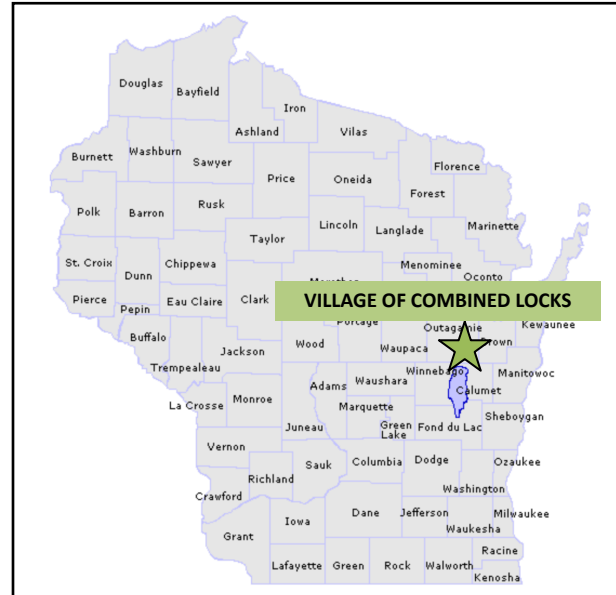
The village has a population of approximately 3,641 residents and is part of the larger Fox Cities metropolitan area, which has over 260,000 individuals. Combined Locks has experienced significant growth, with a 37.4% increase in population from 2005 to 2015, and a projected rise of 9.2% from 2015 to 2025.

Originally settled by Dutch, Irish, and German immigrants, the community established the locks system and developed local paper mills. Combined Locks is a riverfront community with a rich Native American history and was incorporated in 1920, initially serving the Combined Locks Paper Company, established in 1889.

The village is known for its high quality of life, featuring well-kept homes, reputable schools, and easy access to shopping and recreational activities.

The paper mill remains a significant employer in the area, and a Business Park is currently under development at the corner of County Trunk Highway CE and Debruin Road. Kwik Trip is the anchor tenant, with Culver's expected to open by summer 2025.

In 2024, a 67-acre site was annexed for residential development, which will include a mix of single-family and multifamily homes, anticipated to be completed within three to five years.



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VILLAGE OF COMBINED LOCKS QUICK FACTS



3,633
TOTAL
POPULATION



2,117
PEOPLE PER
SQUARE MILE



44.8
MEDIAN AGE



10.8%
POPULATION WITH
A DISABILITY



26.5 %
BACHELORS
DEGREE OR
BEYOND



85%
HIGH SCHOOL
DEGREE OR
LESS



\$89,310
MEDIAN
HOUSEHOLD
INCOME



1.7%
PERSONS
BELOW
POVERTY LINE



1,488
TOTAL
HOUSEHOLDS



2.4
PERSONS PER
HOUSEHOLD

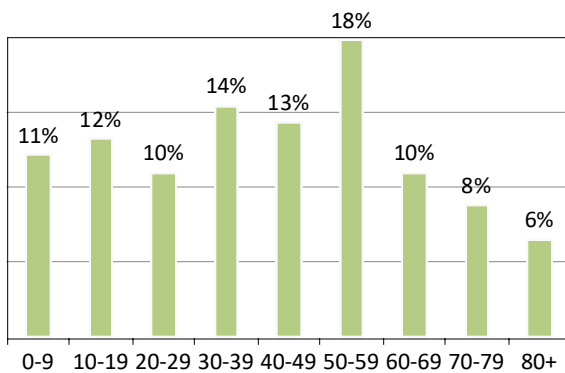


87%
HOME
OWNERSHIP

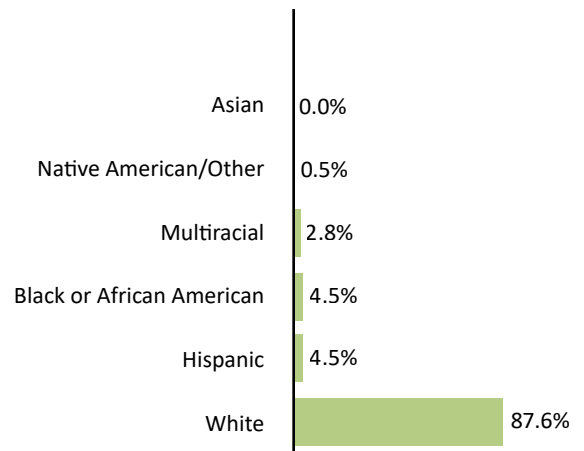


4%
HOUSEHOLDS
WITH NO
VEHICLE

■ POPULATION BY AGE RANGE



POPULATION BY RACE



Source American Community Survey (ACS) 2023

COMMUNITY DATA



FIG 2.2: POPULATION TRENDS AND PROJECTIONS (1990 - 2025)

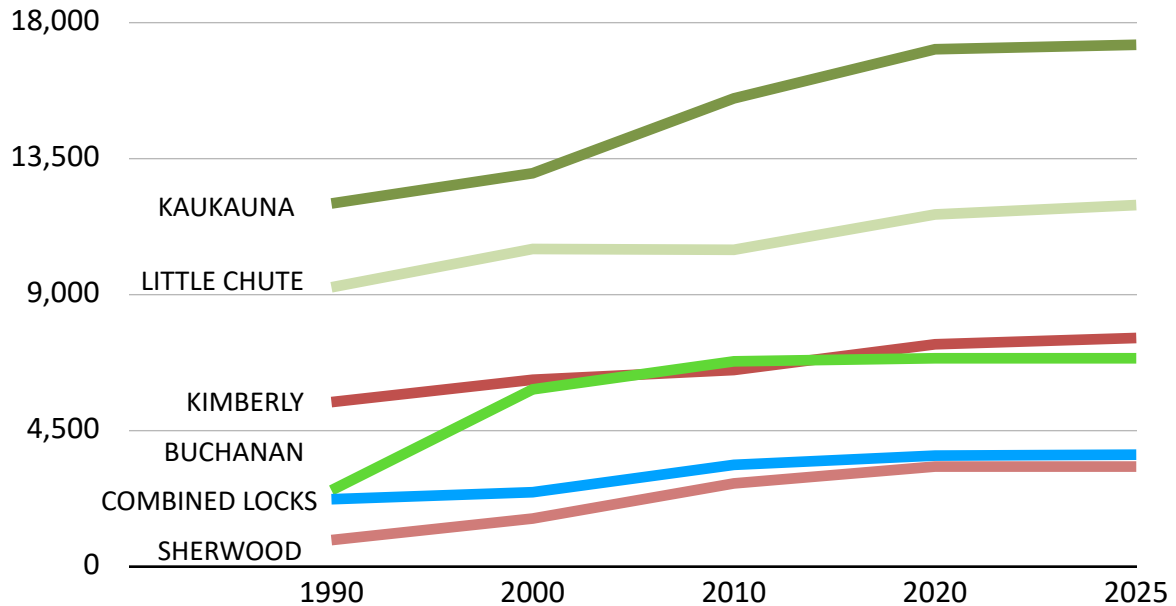


TABLE 2.2: HISTORICAL CENSUS POPULATIONS COMPARISONS, 1990 - 2020

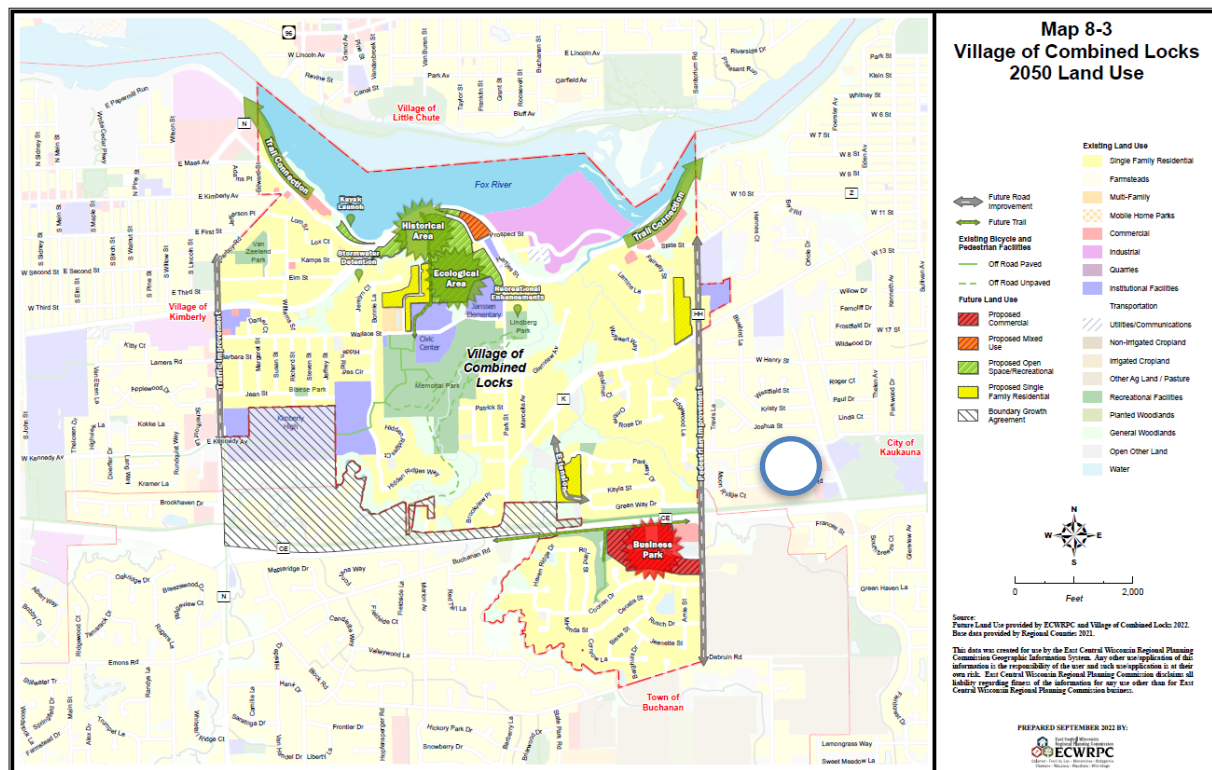
JURISDICTION	1990	2000	2010	2020	2025	% Change 1990 - 2000	% Change 2000 - 2010	% Change 2010 - 2020
V. Combined Locks	2,190	2,422	3,328	3,634	3,665	10.6%	37.4%	9.2%
T. Buchanan	2,484	5,827	6,755	6,857	6,857	134.6%	15.9%	1.5%
C. Kaukauna	11,982	12,983	15,462	17,089	17,237	8.4%	19.1%	10.5%
V. Kimberly	5,406	6,146	6,468	7,320	7,529	13.7%	5.2%	13.2%
V. Little Chute	9,207	10,476	10,449	11,619	11,930	13.8%	-0.3%	11.2%
V. Sherwood	837	1,550	2,713	3,271	3,271	85.2%	75.0%	20.6%

* Data source - Data USA

LAND USE - 2040 VISION STATEMENT



In 2040, the Village of Combined Locks is a thriving community known for its well-kept neighborhoods, excellent parks, extensive trails, and a quality business park. Village leadership focuses on innovative land use and growth management to maintain the high quality of life. Redeveloping obsolete land into higher-value projects has boosted the tax base and reduced the need for new infrastructure investments. Additionally, recreational opportunities are improving with new riverfront spaces, and residential development is carried out sustainably to preserve the Village's unique character



FUTURE PLANS

Recreational development moving forward includes the following:

- The addition of a Historical Area focused on preserving the original Village Hall and Ryan School Building.
- An Ecological Area to recreate natural grasslands, with the potential additional of a dog park and trails..
- Trail connections along Prospect Avenue including the CE trail, Nelson Family Heritage Crossing and the broader Fox Valley network of trails.

HISTORICAL LAND USE - CHANGE OVER TIME

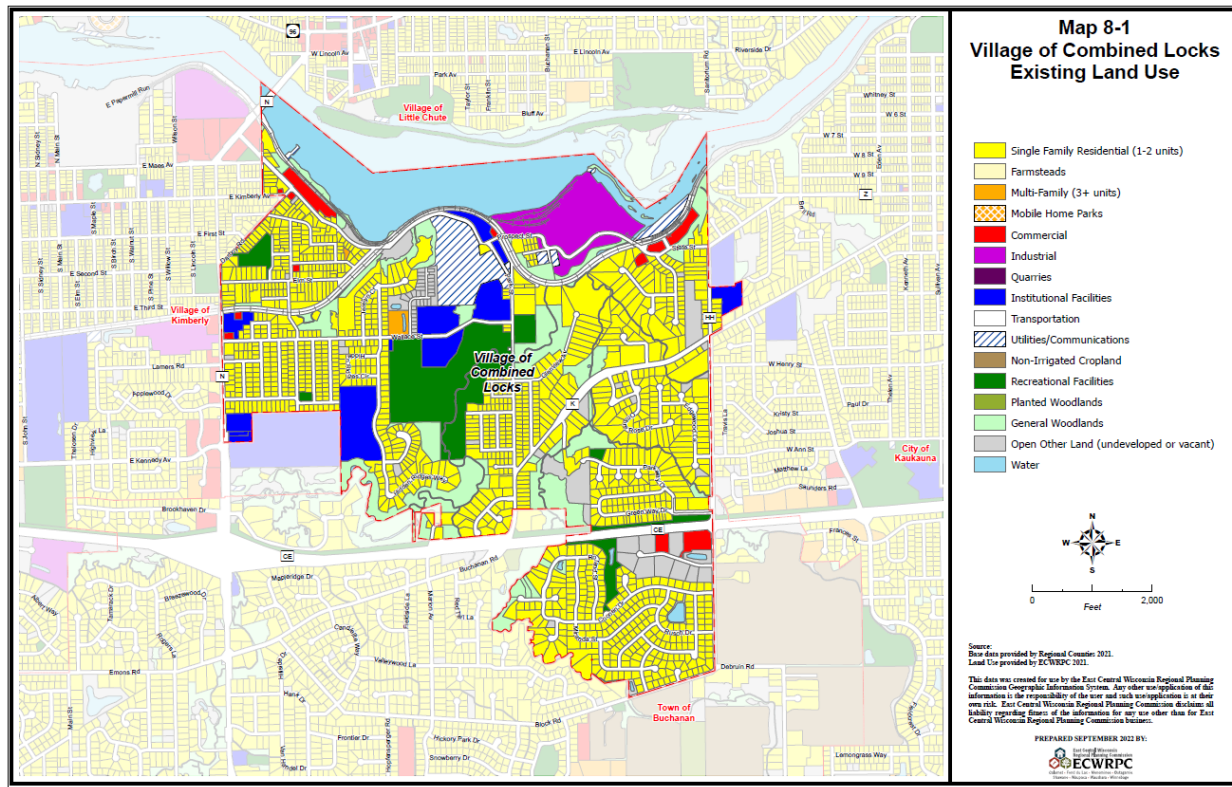


Table 8.3: The Village of Combined Locks Existing 2022 (2025) and Historical 2015 (2020) Land

2022	2022	2022	2015	% Change from 2020 to 2025
Acres	% of Developed vs. Undeveloped Area	% of Total Village Acres	Acres (Historical)	
520.75	56.00%	42.68%	488.47	6.61%
0	0.00%	0.00%	0	0.00%
3.29	0.35%	0.27%	0	0.00%
16.18	1.74%	1.33%	13.9	0.00%
0	0.00%	0.00%	0	0.00%
41.18	4.43%	3.37%	44.47	-7.40%
56.45	6.07%	4.63%	49.02	15.16%
181.04	19.47%	14.84%	176.37	2.65%
33.84	3.64%	2.77%	42.76	-20.86%
77.22	8.30%	6.33%	77.2	0.03%
929.95	76.21%	76.21%	892.19	4.23%
0	0.00%	0.00%	5.28	-100.00%
54.31	18.71%	4.45%	66.83	-18.73%
105.61	36.39%	8.66%	125.36	-15.75%
0	0.00%	0.00%	0	0.00%
0	0.00%	0.00%	0	0.00%
130.31	44.90%	10.68%	129.8	0.39%
290.23	23.79%	23.79%	327.27	-11.32%
1220.18				

Source: East Central Wisconsin Regional Planning Commission, 2015 (2020), 2022 (2025)

RECREATIONAL RESOURCES



EXISTING PARK FACILITIES

The Village of Combined Locks features eight parks and green spaces, including baseball diamonds and archery ranges. It also boasts natural resources such as Garner's Creek and the wooded areas of Don Fries and Memorial Park, which has a walking trail that connects to the larger regional CE trail. These resources enhance the Village's recreational offerings, foster a thriving community, and provide accessible and diverse outdoor experiences for all residents.

According to the National Recreation and Park Association (NRPA), local communities should provide a minimum of 10 acres of park and open space for every 1,000 residents. Based on this guideline, the Village of Combined Locks currently

requires 31 acres of park space. This figure is projected to increase to XX acres by 2030 as the Village population is expected to grow to XXXX residents.

Currently, the Village of Combined Locks has 93.36 acres of park and recreational land. According to the NRPA standards, the Village has an adequate amount of park and recreational acreage to meet these requirements through the year 2030..

RECREATIONAL RESOURCES



Figure 8.2. ACRES OF PARKLAND PER 1000 RESIDENTS

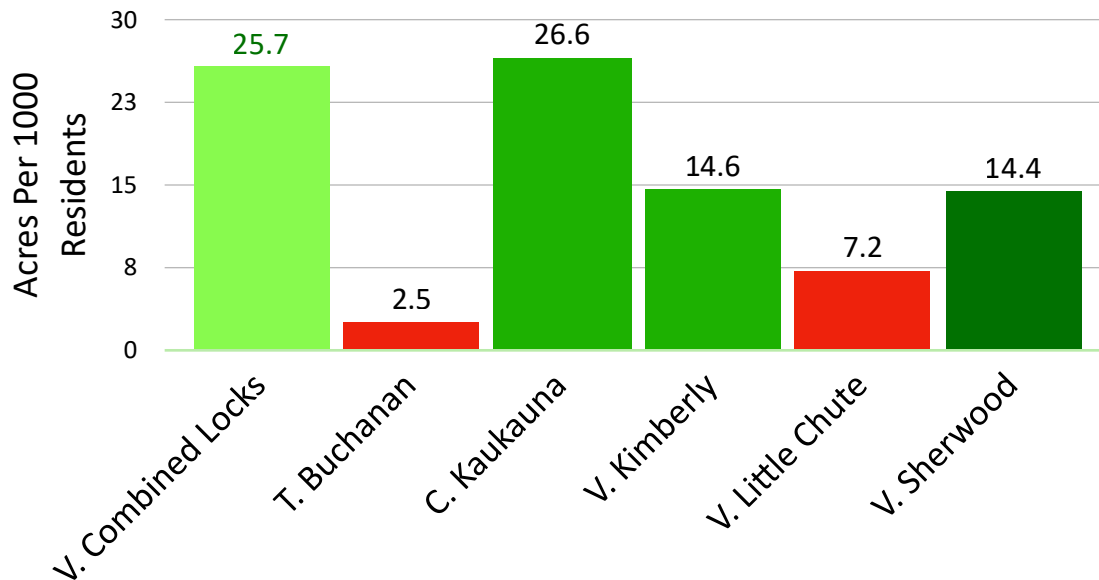


TABLE 8.21: ACRES OF PARKLAND PER 1000 RESIDENTS

NRPA Recommended Acres Minimum per 1000 Residents 10 ACRES	Residents	Total Park and Recreational Acreage	Total Park Acreage NRPA (Target)	Acres / 1000 Residents (Actual)
Jurisdiction				
V. Combined Locks	3,633	93.4	36.3	25.7
T. Buchanan	6,857	17.5	68.6	2.5
C. Kaukauna	17,237	458.0	172.4	26.6
V. Kimberly	7,529	110.0	75.3	14.6
V. Little Chute	11,930	86.0	119.3	7.2
V. Sherwood	3,600	52.0	36.0	14.4

The National Recreation and Park Association (NRPA) recommends that communities should provide a minimum of 10 acres of park and open space for every 1000 residents

RECREATIONAL CLASSIFICATIONS



Table 1.1

Existing Village-Owned Park and Recreational Acreage		
Memorial Park 405 Wallace St.	60.47*	Community Park
Van Zeeland Park 237 Darboy Rd	5.27	Community Park
Lindberg Park 415 Park St.	16.28	Community Park
Blaese Park 535 Richard St.	0.77	Neighborhood Park
Greenway Park 135 Parkway Dr.	4.42	Neighborhood Park
Coonen Park 550 Coonen Dr.	6.15	Neighborhood Park

*Memorial Park acreage excludes the Civic Center site, which occupies 5.51 acres of land

TABLE 2.1. VILLAGE OF COMBINED LOCKS PARK CLASSIFICATION DEFINITIONS

Classification	Definition	Size	Level of Service
Community Park	Designed to serve a broad segment of the community and provide a wide range of recreational activities. Often host organized sports leagues and are generally located in areas that are easily accessible near major roads and trails	15+ acres	Walking: 0.5 miles Driving: 2 miles
Neighborhood Park	Basic unit of the park system, intended to serve the immediate neighborhood and a variety of age groups. Often include playgrounds facilities, open play areas, shelters, small sports courts, and toilet facilities	1-15 acres	Walking: 0.25 miles Driving: 0.5 miles
Mini Park	Serve a very localized area, offering small, accessible recreational spaces for nearby residents. Facilities may include small playgrounds, open play areas, and benches. Amenities are limited due to size, and off-street parking is not necessary.	0.25 - 1 acres	Walking: 0.25 miles Driving: 0.25 miles
Green Space	Properties designated as parks that have few or no built facilities, but preserve unique land, water, vegetative, historic, and other aesthetic features in their natural state. Often these areas take advantage of streams and other natural features, which help preserve areas for wildlife and other environmental assets of the community. Amenities include walking/hiking trails, environmental corridors, creeks, streams, wetlands, drainage ways, ravines and woodlands, steep sloped areas (12% or greater) and minimal landscaped areas.	0.25 - 30 acres	Walking: 0.25 miles Driving: 0.25 miles
Special Facility Park	Designed to cater to specific activities or interests beyond general recreational purposes. Often include specialized equipment or infrastructure such as boat launches, kayak/canoe launches, or historical sites.	1-5 acres	Walking 0.25 miles Driving: 2 miles
Greenways and Trails	Lands that effectively tie park system components together to form a continuous park environment, primarily serving bicylists and pedestrians.	Variable	Variable

OVERALL GOALS AND OBJECTIVES

VISION STATEMENT

Building community by ensuring everyone has access to an ideal system of parks, natural resources, and recreational opportunities that enhance the quality of life for all residents and visitors.

PLAN GOALS

The Comprehensive Outdoor Recreational Plan for the Village of Combined Locks outlines goals and objectives to guide community leaders in developing amenities that enhance the park and recreation system for residents and visitors. These goals represent the ideal conditions for the future—shared aspirations of Village residents that can be achieved through the collective efforts of local officials, private organizations, and individual citizens. The corresponding objectives specify the actions required to attain these goals. Together, the goals and objectives provide a solid foundation for establishing Village policies concerning the future development and management of local parks and recreational areas.

DRAFT

GOALS AND RECOMMENDATIONS



GOAL ONE

To ensure that quality open spaces and recreational facilities are accessible to all residents and visitors of the Village, providing a variety of recreational resources with connectivity where feasible.

OBJECTIVES:

1. Offer a comprehensive range of recreational facilities for Combined Locks residents year-round.
2. Design active and passive recreational areas to accommodate the elderly and disabled, ensuring they meet the diverse needs of our community.
3. Promote regional initiatives to create shared parks for public use, including dog parks, major regional parks, and the conservation of sensitive and significant natural areas.
4. Ensure the development of safe and interconnected trail systems throughout the community, linking to neighboring communities.
5. Ensure consistent design elements in landscaping, lighting, and signage while incorporating unique amenities in each park.

GOALS AND RECOMMENDATIONS



GOAL TWO

To conserve, protect and improve environmental resources of the Village and surrounding areas.

OBJECTIVES:

1. Ensure the environmental and aesthetic qualities of the community are considered when planning for future development.
2. Protect existing wooded areas, floodplains, and other unique natural features from urban development.
3. Preserve and/or create structures and sites that reflect the historical and natural heritage of the area.
4. Ensure that future development does not disrupt natural drainage areas in the community.
5. Protect our resources from invasive terrestrial plant species with help from volunteers such as the Sierra Club and residents.
6. Ensure the preservation of trees for the parks and woodland areas of the Village through proper maintenance, planting of varied species and educating the public on tree care.

GOALS AND RECOMMENDATIONS



GOAL THREE

To encourage continued involvement of Village residents when planning for park and recreational development and redevelopment

OBJECTIVES:

1. Conduct public meetings and invite citizen involvement in developing or redeveloping the community's open space and recreation plan
2. Strive to involve various community/civic organizations in the planning process of park and recreational developments in the community.
3. Strive to involve property owner

DRAFT

MEMORIAL PARK AND DON FRIES RECREATION AREA



PARK TYPE

Neighborhood Park

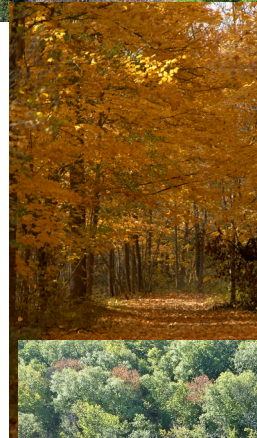
Address: 405 Wallace Street

Size: 60.47 acres

Memorial Park is centrally located in the community and underwent a significant transformation in 2004, replacing outdated structures with modern amenities. This multifaceted facility includes illuminated baseball fields, a volleyball court, a basketball court, a children's play area, restrooms, a shelter area, soccer fields, horseshoe pits, an archery range with an elevated platform, and lighted pathways.

The park spans 40 acres of wooded land characterized by ravines, featuring hiking trails, an ice skating area, and a sledding hill. Memorial Park serves as the main recreational venue for the community.

Adjacent to the park is the Don Fries Recreational Area on the east side, along with the Combined Locks Civic Center Campus, which offers additional soccer fields, a sledding hill, and an ice skating rink. This area serves as a trailhead for scenic walks through over 60 acres of forest, with 6.1 miles of walking and hiking trails. The natural topography also allows for an amphitheater that has hosted various musical events.



MEMORIAL PARK PLAN AND RECOMMENDATIONS



Below is a list of recently completed and planned future projects. Cost estimates are provided in present-year (2025) dollars whenever possible. This serves as a guide for planning and budgeting future improvements and enhancements.

TABLE 4.1. MEMORIAL PARK AND DON FRIES RECREATION AREA 5-YEAR ACTION PLAN

Project	Year	Est. Cost	2025	2026	2027	2028	2029	Long-Term
COMPLETED ITEMS								
Reseal basketball court surface	2023							
Epoxy coating on restroom and meeting room floors	2023							
Shelter ceiling and soffit replacement	2022							
Installed LED lighting	2018							
Completed aerial deer survey	2016							
Paint and replace some playground equipment	2015							
FUTURE ITEMS								
Place a barrier on the lower parking lot's west side to protect the playing field.		\$ 2,500	\$ 2,500					
New service door on shed @ BVH field		\$ 1,000	\$ 1,000					
Upgrade existing volleyball court		\$ 20,000	\$ 20,000					
Annual undergrowth cleanup and blowdowns		\$ 0	\$ 0					
Repair and reseal asphalt walking trails		\$ 5,000	\$ 5,000					
Phase out wooden benches		\$ 3,000		\$ 3,000				
Remove and replace falling trees at BVH field		\$ 2,500		\$ 2,500				
Crossbow specific targets for archery range		\$ 5,000		\$ 5,000				
New fencing around playground and other fencing maintenance		\$ 50,000			\$ 50,000			
Upgrade all existing trail and park lighting to LED		\$ 50,000				\$ 50,000		
Construct a new grilling area away from current location and building soffit		\$ 25,000					\$ 25,000	
Upgrade backstops on all three baseball fields to net system		\$ 30,000				\$ 30,000		
Install three pickleball courts		\$ 300,000						\$ 300,000
Splashpad		\$ 300,000						\$ 300,000
New retaining wall West of ice rink, front of Civic Center		\$ 250,000						\$ 250,000
TOTAL COST PER YEAR		\$ 1,044,000	\$ 28,500	\$ 10,500	\$ 50,000	\$ 80,000	\$ 25,000	\$ 850,000

All cost estimates are in 2025 dollars

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BICYCLE AND PEDESTRIAN TRAILS



EXISTING BICYCLE AND PEDESTRIAN FACILITIES

The Village of Combined Locks has a total of **8.1** miles of unpaved trails and **0.5** miles of paved trails. A shared-use paved sidewalk trail connects County Rd K to the CE trail.

These trails are part of a designated park and off-road system, primarily utilized for walking. They guide users through various parks and woodland areas.

Memorial Park and Don Fries Recreation Area feature an extensive trail system, which includes **XX** miles of unpaved trails. This system connects to the CE trail, winding through woodlands and alongside Garners Creek.



The CE trail runs along the southern border of Combined Locks. This asphalt trail parallels CTH CE, stretching from Appleton to Kaukauna and is part of the Outagamie County Parks system, covering approximately 5.8 miles. A pedestrian underpass located off Buchanan Road provides a safe crossing beneath CTH CE.

Plans include linking the CE underpass to a new trail that will run parallel to CTH CE on the southern side of the roadway. This trail will connect the Combined Locks Coonen and Locks Grand neighborhoods, offering safe pedestrian and bicycle routes to the village's main community parks and recreation programs.

Walking/Hiking trails	
Park	Distance (miles)
Memorial Park	6.1
Van Zeeland Park	0.6
Lindberg Park	1.2
Blaese Park	0.2
Greenway Park	0
Coonen Park	0.5
Total Trail Length	8.6

BICYCLE AND PEDESTRIAN TRAILS



BICYCLE AND PEDESTRIAN FACILITY DEFINITIONS

BIKE LANE

A bike lane is a part of the roadway that has been designated by striping, signing, and pavement markings for the preferential or exclusive use of bicyclists.

SIDEWALKS

Sidewalks are a space for pedestrian travel within the public right-of-way that is separated from roadway vehicles. The terrace provides a buffer zone between users and vehicles

SHARED USE PATH

A shared use path is an off-road facility that is exclusively designated for both pedestrians and bicyclists. Typically, these facilities range from 10 to 14 feet wide.

CROSSWALK

Pedestrian roadway facilities should clearly indicate to pedestrians where and when they should cross the street. It is equally important that crosswalks are clearly visible to motorists entering a pedestrian area.

CURB RAMP OUT

Curb ramps are designed to provide accessible routes for entering crosswalks, crossing streets, or accessing bus stops where walkways meet the curb.

PEDESTRIAN REFUGE ISLAND

Pedestrian refuge islands are positioned to provide a waiting area for those who are unable to completely cross the street during a signal crossing phase.

LANDSCAPING AND STREET FURNITURE

Landscaping along the street creates a barrier between motorists and pedestrians, visually narrowing the width of the roadways.

LIGHTING

Pedestrian lighting enhances the visibility of pedestrians for drivers, fosters a sense of personal security, highlights potential hazards, and creates dynamic and welcoming streetscapes.

PEDESTRIAN COUNTDOWN TIMERS

Pedestrian countdown timers enhance safety by providing critical information to assist pedestrians in making crossing decisions, often featuring pushbuttons

RAPID FLASHING BEACON

The rapid flashing beacon is a device used with pedestrian warning signs to provide high-visibility, strobe-like warnings to drivers when pedestrians are using a crosswalk.

SIGNED SHARED ROADWAYS

A signed shared roadway, also known as a bike route, is a street or road designated as a preferred path for cyclists.

PAVED SHOULDERS

A paved shoulder is designed for bicyclists next to travel lanes. Its width varies based on the adjacent travel lane and the presence of a rumble strip..

BICYCLE AND PEDESTRIAN TRAILS



This page can include a map from ECWRPC that documents the trail systems within all of Combined Locks. This map will also show proposed bike paths from Buchanan and Kaukauana that potentially connect with an East side of CE trail running from our Underpass out to the proposed new Kaukauna School East of Hwy 55.

