

NOTICE OF VILLAGE BOARD MEETING

DATE: Tuesday, August 19, 2025

TIME: 6:30pm

LOCATION: Combined Locks Civic Center,
Council Chambers, 405 Wallace Street

AGENDA

VILLAGE BOARD – 6:30pm

- A. Call to order
- B. Pledge of Allegiance
- C. Roll call

- 1. Public comment for matters not on the agenda
- 2. Review and consider approval of special event permit for St. Paul Parish's Brat Fest on 09/06/25
- 3. Review and consider approval of Culver's Business Office site/construction, 513 Martineau Road
- 4. Discuss and consider approval of Plan Commission recommendation to continue process to construct/install a mountain bike trail in Lindberg Park
- 5. Other business, updates and future agenda items
 - a) Preliminary equalized value increase \$29.9 million (6%)
 - b) Space needs for Public Works
- 6. Consider motion to move into closed session per Wis. Stat. 19.85(c) for the purpose of considering employment, promotion, compensation, or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility – *retiree health insurance*
- 7. Consider motion to return to open session; no action on closed session matters is expected
- 8. Adjourn

Public Notice: Agendas are posted in the following locations: Combined Locks Civic Center main entrance and Village website: www.combinedlocks.wi.gov. 2015 Wisconsin Act 79 allows the publication of certain legal notices on an internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an internet site maintained by the local government.

Special Accommodations: Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 405 Wallace Street, 920-788-7740 extension 203 or email at gieser@combinedlocks.wi.gov.

Notice of Possible Quorum: A quorum of the Board of Review, Zoning Board of Appeals, Plan Commission, or other Village committee may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Board of Review, Zoning Board of Appeals, Plan Commission, or other Village committee will be taken at this meeting.

Item #2

Village of Combined Locks
SPECIAL EVENT
PERMIT APPLICATION



405 Wallace Street
Combined Locks WI 54113
(920) 788-7740 Voice
(920) 788-7749 Fax

PERMIT FEE \$50.00

(Permit form and fee must be submitted a minimum of 30 days prior to event date)

This application is a request for a special event. Please refer to the checklist to see if you will need to contact other departments regarding your event. When requesting use of a facility **please be very specific**. Use exact dates, times, shelters, parks, streets, and areas. Doing so will help avoid delays in processing your request.
Please call (920) 788-7740 with questions regarding this special event permit.

Event sponsor: ST. PAUL PARISH

Event name: BRAT FEST

Check one: ☐ Parade ☐ Run/Walk ☒ Festival ☐ Tournament ☐ Other _____

Dates needed: 9/6/25 Times needed: 11 AM TO 8 PM
(Please include beginning and end times, if different times are needed on different dates please specify.)

Buildings, parks, shelters, open space needed: NO

Will you be requesting street closure or use of street right of way? YES _____ NO ✓
If yes, what streets *(submit mapped route and/or area requested)*? _____

Will tents or other temporary structures be erected? YES

Will you be having any kind of animals, performances or amusement rides? MUSIC

Will you be selling or serving alcohol? ✓ Does your event include fireworks? NO

Number of people attending: 200 + FORMASS
Please be aware that portable toilets will be required if crowd size exceeds toilet capacity.

Other requests: _____

Indemnification Agreement

The applicant/organization shall indemnify, defend, and hold harmless the Village of Combined Locks (Village) and its officers, officials, employees, and volunteers from and against any and all claims, damages, losses, and expenses arising out of the applied for activity/event except where caused by the sole negligence or willful misconduct of the Village. Applicant/Organization also understands and acknowledges that as required by the Village, liability insurance is the financial means to legally defend the Village and cover liability arising from the activity/event. I certify by my signature that I understand and agree to comply with this agreement & the insurance requirement and that I'm a qualified representative of my organization authorized to sign this agreement. I also certify the information is true and accurate.

REV. ROBERT STEBMANN

Officer of Sponsoring Organization - Name

R. Robert Stebmann 8/1/2025

Signature

Date

Address 410 WALLACE ST. COMBINED LOCKS

Work Phone 920-788-4553 Cell Phone _____ Home Phone _____

RETURN FORM and \$50.00 PERMIT FEE TO: Village of Combined Locks Clerk's Office, 405 Wallace St, Combined Locks WI 54113

Date Received:

08/01/25

Amount Received:

\$50 CC

Received By:

rsq

Application for Temporary Class "B" / "Class B" Retailer's License

See Additional Information on reverse side. Contact the municipal clerk if you have questions.

FEE \$ NA

Application Date: 8/1/25
County of OUTAGAMIE

☐ Town ☒ Village ☐ City of COMBINED LOCKS

The named organization applies for: (check appropriate box(es).)

- ☐ A Temporary Class "B" license to sell fermented malt beverages at picnics or similar gatherings under s. 125.26(6), Wis. Stats.
☐ A Temporary "Class B" license to sell wine at picnics or similar gatherings under s. 125.51(10), Wis. Stats.

at the premises described below during a special event beginning 11 Am and ending 8 pm and agrees to comply with all laws, resolutions, ordinances and regulations (state, federal or local) affecting the sale of fermented malt beverages and/or wine if the license is granted.

1. Organization (check appropriate box) →

- ☐ Bona fide Club ☒ Church ☐ Lodge/Society
☐ Chamber of Commerce or similar Civic or Trade Organization
☐ Veteran's Organization ☐ Fair Association

(a) Name ST. PAUL PARISH
(b) Address 410 WALLACE ST. COMBINED LOCKS, WI 54113
(Street) ☐ Town ☒ Village ☐ City

(c) Date organized 12/1923

(d) If corporation, give date of incorporation _____

(e) If the named organization is not required to hold a Wisconsin seller's permit pursuant to s. 77.54 (7m), Wis. Stats., check this box: ☐

(f) Names and addresses of all officers:

President REV. ROBERT STEUMANN

Vice President _____

Secretary TRUSTEE JIM MILHAUPT

Treasurer TRUSTEE BEA HOPFENS PERUER

(g) Name and address of manager or person in charge of affair:

JDDI LIETZAU, COMMITTEE CHAIR W2369 SNOWBERRY DR. APPLETON
54915

2. Location of Premises Where Beer and/or Wine Will Be Sold, Served, Consumed, or Stored, and Areas Where Alcohol Beverage Records Will be Stored:

(a) Street number 410 WALLACE ST.

(b) Lot _____ Block _____

(c) Do premises occupy all or part of building? _____

(d) If part of building, describe fully all premises covered under this application, which floor or floors, or room or rooms, license is to cover: _____

3. Name of Event

(a) List name of the event ST. PAUL BRATFEST

(b) Dates of event 9/6/25

DECLARATION

The Officer(s) of the organization, individually and together, declare under penalties of law that the information provided in this application is true and correct to the best of their knowledge and belief.

ST. PAUL PARISH
(Name of Organization)

Officer Rev. Robert Steumann 8/1/2025
(Signature/date)

Officer _____
(Signature/date)

Officer _____
(Signature/date)

Officer _____
(Signature/date)

Date Filed with Clerk 08/01/2025

Date Reported to Council or Board 08/19/2025

Date Granted by Council _____

License No. _____

Item #3



July 16, 2025

Village of Combined Locks
Attn: Racquel Shampo-Giese
405 Wallace Street
Combined Locks, WI 54113

Re: Culvers Office Site
Site Plan Review #2
McM. No. C0006-09-25-00285.02

Dear Racquel,

On July 15, 2025, McMahon Associates, Inc. (McMAHON) received a revised construction plan set for the proposed Culverts Office Site submitted by Robert E. Lee (REL). As requested, McMAHON performed a review of these documents for conformance with Village standards, requirements, and preferences. Below is a summary of our review comments:

PROJECT DESCRIPTION

The proposed project is a new Culver's Regional Office building located on parcel 230154500 (Lot 10 of the Locks Business Park). The project site is 1.14 acres and is generally located east of Debruin Road and south of Martineau Road. The project includes a 4,140 square-foot office building and associated parking lot.

STORMWATER MANAGEMENT PLAN

Stormwater runoff from the site drains to the Village's Coonen Pond "D" via storm sewer and overland flow. The Coonen Pond "D" is designed to provide total suspended solids (TSS) reduction, total phosphorus (TP) reduction, and peak discharge attenuation for the site. The project site is exempt from infiltration performance standards due to in-situ clay soil textures that are present. There are no wetlands located within the project area, so protective area setbacks do not apply. There are also no fueling or vehicle maintenance areas expected in the project area.

LOCKS BUSINESS PARK – MASTER DRAINAGE PLAN REVISION

It should be noted that the original approved master drainage plan for the Locks Business Park was not honored along the west property line of Lot 10. Over 2' of fill would be required to match the proposed mid-lot grade on the west side of Lot 10. Furthermore, if Culver's were to fill the west side of Lot 10 to match the original master drainage plan, it would create a low spot & drainage issues for Lot 9, which Culvers does not currently own. For those reasons, the mid-lot grade between Lots 9 &

10 will be ignored to allow for these two lots to match existing grades along the common property line. It should be noted that the proposed swale and storm sewer on the Culver's property (Lot 10) has been sized to convey the offsite existing flows from Lot 9 to the west. However, each lot within the Locks Business Park has their own designated 18" storm lateral. When Lot 9 develops, it will likely capture its own stormwater runoff and convey it to its designated storm lateral rather than discharging onto Lot 10. Please refer to the attached master drainage plan mark-up to document and memorialize this change.

In summary, the proposed site plan / construction plan set is approved and found to be in general conformance with Village standards, requirements, and preferences. For reference, the proposed site plan indicates the site will contain a total of 16,624 sq ft of imperviousness. Based on an ERU being equivalent to 3,623 sq ft, this equates to 4.6 ERU's for future Stormwater Utility Rate billings. If you have any questions or would like to discuss any of this information, please let me know.

Respectfully,

McMahon Associates, Inc.



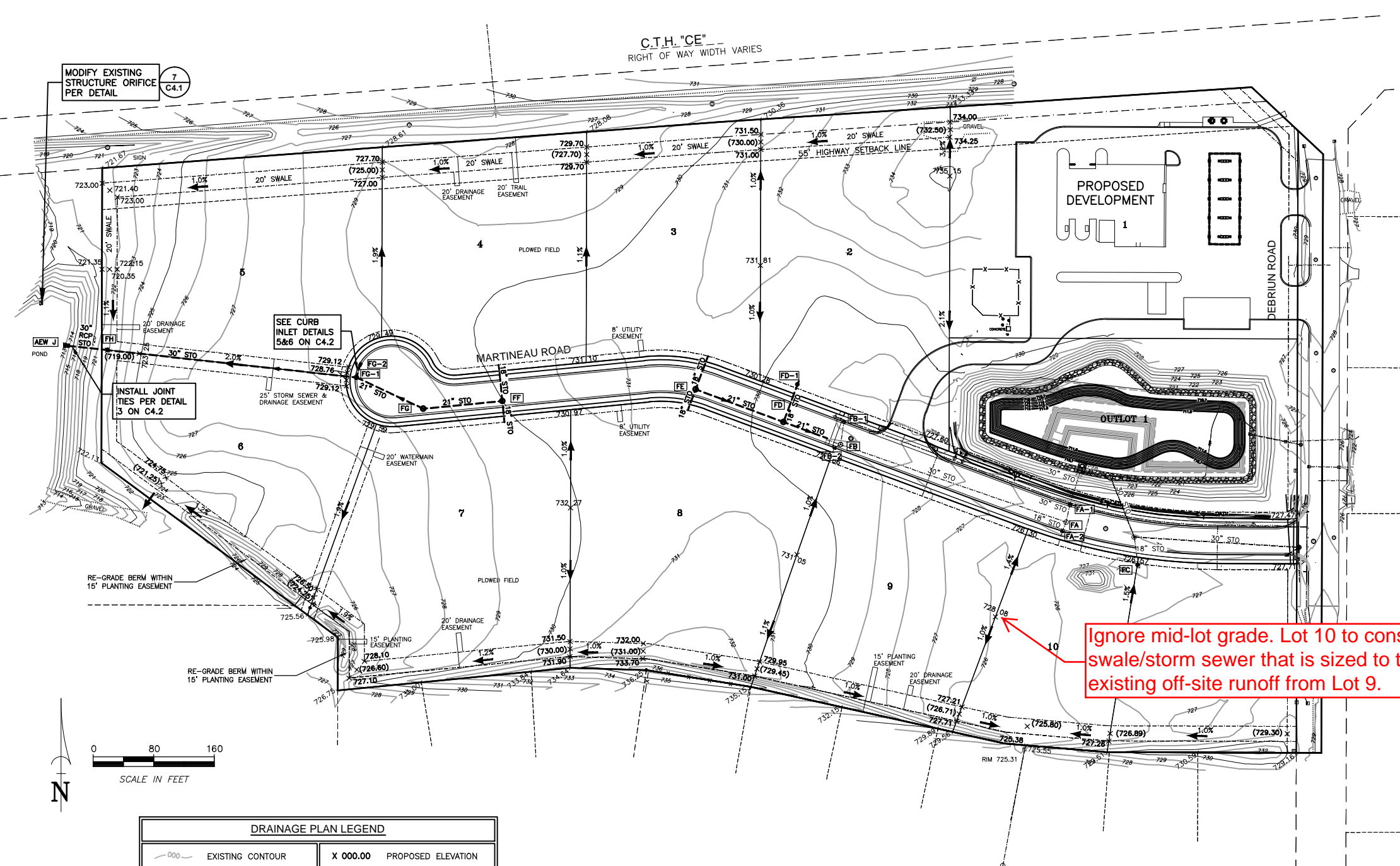
Phil Kleman

Associate / Municipal & Water Resources Engineer































































Enclosures: Locks Business Park Drainage Plan

Cc: Kyle Clark, REL

DRAINAGE PLAN



DRAINAGE PLAN LEGEND			
	EXISTING CONTOUR	X 000.00	PROPOSED ELEVATION
	PROPOSED CONTOUR	X (000.00)	PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN	X 000.75	EXISTING ELEVATION
	STORM MANHOLE	000.0	PROPOSED GROUND AT FOUNDATION
	2' x 3' PRECAST STORM INLET		DIRECTION OF DRAINAGE

TOPOGRAPHIC LEGEND					
	1" x 18" IRON PIPE SET		OVERHEAD POWER LINES		GAS VALVE
	1-1/4" x 30" REBAR SET		UNDERGROUND ELECTRIC		EXIST STORM MANHOLE
	CHISELED "X" SET		UNDERGROUND TELEPHONE		STORM INLET
	3/4" REBAR FOUND		FIBER - UNDERGROUND FIBEROPTIC		YARD DRAIN
	1" IRON PIPE FOUND		UNDERGROUND GAS		EXIST SANITARY MANHOLE
	1-1/4" REBAR FOUND		UNDERGROUND CABLE TV		EXIST. SAN. SEWER
	2" IRON PIPE FOUND		EXIST. FENCE LINE		EXIST. STO. SEWER
	CHISELED "X" FOUND		SIGN		EXIST. WATER MAIN
	GOVERNMENT CORNER		POWER POLE		EXIST. SPOT ELEVATION
	RECORDED AS		GUY		
	CONIFEROUS TREE		LIGHT POLE		
	DECIDUOUS TREE		TELEPHONE PEDESTAL		
	EXIST. WOODS LINE		ELECTRIC PEDESTAL		
	WETLANDS		CABLE PEDESTAL		
	SOIL BORING		EXIST. HYDRANT		
			WATER VALVE		
			WATER STOP BOX		
					
					
					
					
					
					
					
					
					
					
					
					
					

PROPOSED STORM UTILITY SCHEDULE				
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)	INLET TYPE
MH FA	725.49	INV 30" N,W 720.60 INV 18" S 720.60	4.89	72" DIA MH SOLID LID
IN FA-1	725.20	INV 30" N,S 720.30	4.90	60" DIA MH GRATED INLET LID
IN FA-2	725.20	INV 18" N,S 720.80	4.40	30" x 36" BOX, GRATED LID
MH FB	728.97	INV 30" E 723.74 INV 21" W 723.74 INV 18" S 724.00 INV 10" N 724.00	5.23	60" DIA MH SOLID LID
IN FB-1	728.80	INV 10" S 724.30	4.50	30" x 36" BOX, GRATED LID
IN FB-2	728.80	INV 18" N,S 724.30	4.50	30" x 36" BOX, GRATED LID
MH FC	725.20	INV 18" NW 721.00	4.20	24" DIA GRATE ON 48" DIA MH
MH FD	729.38	INV 21" NW,SE 724.55 INV 18" N 724.55	4.83	60" DIA MH SOLID LID
IN FD-1	728.50	INV 18" N,S 725.00	3.50'	24" DIA GRATE ON 48" DIA MH
MH FE	730.03	INV 21" SE 725.79 INV 18" N,S 725.79	4.24	60" DIA MH SOLID LID
MH FF	729.86	INV 21" W 725.86 INV 18" N,S 725.86	4.00	60" DIA MH SOLID LID
MH FG	729.04	INV 21" E,W 724.89	4.15	60" DIA MH SOLID LID
IN FG-1	728.26	INV 30" W 724.00 INV 21" E 724.00 INV 12" N 724.25	4.26	60" DIA MH 24"x36" GRATED INLET LID
IN FG-2	728.34	INV 12" S 725.34	3.00	30" x 36" BOX, GRATED LID
MH FH	719.00	INV 30" E,W 714.50 INV 24" N 715.00	4.50	24" DIA GRATE ON 60" DIA MH
AEW J	-	INV 30" E 713.00	-	30" RCP APRON ENDWALL

BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
1	TAG BOLT ON HYDRANT	748.74
2	TAG BOLT ON HYDRANT	748.21

DRAINAGE PLAN NOTES	
1.	THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
2.	ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE VILLAGE OF COMBINED LOCKS' STANDARD SPECIFICATIONS, ALONG WITH THE LATEST EDITION OF THE STATE OF WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
3.	THIS FINAL DRAINAGE PLAN INDICATES DRAINAGE ALONG LOT LINES, MAJOR DRAINAGE SWALES & CONCEPITUAL DRAINAGE FOR EACH LOT. THE SITE PLANNER FOR EACH INDIVIDUAL HOME SITE SHOULD DESIGN DETAILED DRAINAGE FOR THE INTERIOR OF THE LOT BASED ON THIS INFORMATION. GRADE AT FOUNDATION ELEVATIONS MAY VARY SIGNIFICANTLY DEPENDING UPON ARCHITECTURE. THE SITE PLANNER SHOULD CONSULT AN ENGINEER TO DETERMINE GRADE AT FOUNDATION ELEVATION.
4.	THE PROPOSED ELEVATIONS SHOWN ON THE DRAINAGE PLANS THAT ARE ADJACENT TO ABUTTING PROPERTIES MAY VARY FROM 5' TO 10' FROM THE PROPERTY CORNERS
5.	THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS. THE LANDSCAPER SHALL NOT GRADE UP TO ANY PEDESTAL OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.
6.	ALL WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.
7.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
8.	THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
9.	THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
10.	CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
11.	CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.
12.	LOTS WITH AN EXCESS FILL HEIGHT OF 3' SHALL BE STRIPPED OF TOPSOIL AND COMPACT EACH LAYER TO 95 PERCENT OF MAXIMUM DENSITY, OR MORE, BEFORE PLACING SUBSEQUENT LAYER.
13.	THE STORM SEWER AND DRAINAGE EASEMENT AREAS SHALL BE MAINTAINED, SO AT ALL TIMES, THEY CONTINUE TO FUNCTION AS INTENDED. THE PROPERTY OWNERS SHALL BE PROHIBED FROM ALTERING OR PLACING ANYTHING IN THE EASEMENT AREAS WHICH SHALL OBSTRUCT OR IMPEDE THE FLOW OF STORM WATER OR SURFACE DRAINAGE. PROPERTY OWNERS AGREE NOT TO BUILD OR TO CONVEY TO OTHERS PERMISSION TO BUILD ANY STRUCTURES OR IMPROVEMENTS ON, OVER, ACROSS, IN, THROUGH OR UNDER THE EASEMENT AREAS, OR TO DEVELOP OR ALLOW THE DEVELOPMENT OF THE EASEMENT AREAS IN ANY MANNER WHICH OBSTRUCTS THE FLOW OF STORM WATER DRAINAGE.
14.	CONTRACTOR SHALL STRIP TOPSOIL, GRADE, REPLACE TOPSOIL, AND SEED ALL STORM SEWER, DRAINAGE, AND UTILITY EASEMENTS (ADJACENT TO MARTINEAU ROAD) TO MEET THE PROPOSED DRAINAGE PLAN ELEVATIONS.
15.	CONTRACTOR SHALL MODIFY POND OUTLET STRUCTURE WEST OF MARTINEAU ROAD AS NOTED, AND IN DETAIL.
16.	CONTRACTOR SHALL MODIFY STORMWATER POND ADJACENT TO MARTINEAU ROAD AND DEBRUIN ROAD AS SHOWN ON PLAN SHEET C1.6.

Martenson & Eisele, Inc.

1377 Midway Road
Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
920.731.0381 1.800.236.0381

DRAINAGE PLAN

MARTINEAU ROAD CONSTRUCTION - PHASE II

VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	7-1-2019
COMPUTER FILE	
1-0040-003de.dwg	
DRAWING NO. C1.3	

FIELDWORK		APPROVED		CHECKED		DRAWN BY	
JFS		MJM		MJM		EAE	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
1	9/12/2019						
2	10/8/2019						
3	10/21/2019						
4	10/30/2019						
5	12/16/2019						
6	01/30/2020						
7	02/26/2020						



June 9, 2025

Village of Combined Locks
Attn: Racquel Shampo-Giese
405 Wallace Street
Combined Locks, WI 54113

Re: Culvers Office Site
Site Plan Review #1
McM. No. C0006-09-25-00285.01

Dear Racquel,

On July 7, 2025, McMahon Associates, Inc. (McMAHON) received the construction plan set for the proposed Culverts Office Site submitted by Robert E. Lee (REL). As requested, McMAHON performed a review of these documents for conformance with Village standards, requirements, and preferences. Below is a summary of our review comments:

PROJECT DESCRIPTION

The proposed project is a new Culver's Regional Office building located on parcel 230154500. The project site is 1.14 acres and is generally located east of Debruin Road and south of Martineau Road. The project includes a 4,140 square-foot office building and associated parking lot.

STORMWATER MANAGEMENT PLAN

Stormwater runoff from the site drains to the Village's Coonen Pond "D" via storm sewer and overland flow. The Coonen Pond "D" is designed to provide total suspended solids (TSS) reduction, total phosphorus (TP) reduction, and peak discharge attenuation for the site. The project site is exempt from infiltration performance standards due to in-situ clay soil textures that are present. There are no wetlands located within the project area, so protective area setbacks do not apply. There are also no fueling or vehicle maintenance areas expected in the project area.

CONSTRUCTION PLAN SET

We offer the following Construction Plan Set comments:

GRADING & EROSION CONTROL PLAN

1. Please see the attached master Drainage Plan for the Locks Business Park. The lot corner and mid-lot grades along the west property line & southern drainage easement need to be

honored and/or established. The east property line is of less concern and can match the grades established by the new Culvers Restaurant on the parcel to the east.

- a. The FF elevation of the proposed office building may need to be adjusted based on the mid-lot grade of 728.08, particularly if the swale along the west side is kept.
2. Per the attached master Drainage Plan for the Locks Business Park, the southern half of this parcel/lot may drain to Ex St CB 1148 located near the south property line, if desired. The proposed swale/depression located south of the parking lot (including 12" storm sewer) could be eliminated if this area is graded to drain to Ex St CB 1148. The current swale & storm sewer design is acceptable, but there may be some cost savings by eliminating these items.
3. Please add inlet protection to ST INL 02 and Ex St CB 1013.
4. Is the silt fence located along the east property line needed? It appears it crosses the parking lot to the east and appears to be upgradient from the proposed grading/parking lot to the west.

UTILITY PLAN

1. Consider eliminating the 12" storm sewer that will convey flows north from the swale/depression located south of the parking lot. Per the original SWMP & drainage plan, the southern portion of this lot can drain to Ex St CB 1148 located near the south property line. The current plan is acceptable, but there may be some cost savings by eliminating some storm sewer & grading.

If you have any questions or would like to discuss any of this information, please let me know.

Respectfully,

McMahon Associates, Inc.



Phil Kleman

Associate / Municipal & Water Resources Engineer

Enclosures: Locks Business Park Drainage Plan
McM Markups Construction Plan Set

Cc: Kyle Clark, REL

PROPOSED PROJECT FOR:
GROWING & MAKING DREAMS
COMBINED LOCKS, WI

PROJECT LOCATION MAP

ENLARGED MAP



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

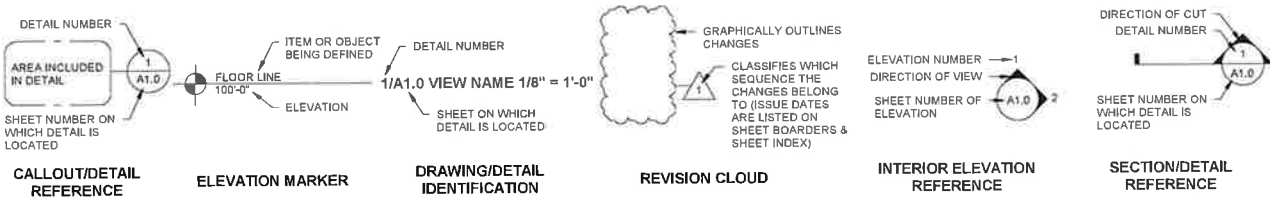
DESIGN & BUILD GENERAL CONTRACTOR

PROJECT PERSPECTIVE (NTS)

- FOR CONCEPTUAL PROPOSES ONLY!
REFERENCE FLOOR PLANS, ELEVATIONS, SECTIONS, ETC. FOR MORE INFORMATION



SYMBOLS LEGEND



SHEET INDEX

NUMBER	SHEET NAME / DESCRIPTION	LATEST SHEET REVISION		
		DATE	ISSUED BY	NUMBER
001	TITLE			
T1.0	TITLE SHEET			
002	CIVIL			
.C	LOCATION MAPS AND INDEX TO DRAWINGS			
1	GENERAL NOTES			
2	EXISTING SITE CONDITIONS			
3	SITE PLAN			
4	UTILITY PLAN			
5	GRADING AND EROSION CONTROL PLAN			
6	MISCELLANEOUS DETAILS			
7	MISCELLANEOUS DETAILS			
8	MISCELLANEOUS DETAILS			
9	EROSION CONTROL INLET PROTECTION TYPES A, B, C AND D			
10	EROSION CONTROL INLET PROTECTION TYPE D-HR AND TYPE D-M			
11	EROSION CONTROL DITCH CHECK DETAILS			
12	EROSION CONTROL SHEET FLOW DETAILS			
13	EROSION CONTROL TRACKOUT CONTROL PRACTICES			
14	EROSION CONTROL EROSION MAT SLOPE APPLICATION DETAILS			
15	EROSION CONTROL EROSION MAT CHANNEL APPLICATION DETAILS			
003	LIFE SAFETY			
LS1.0	LIFE SAFETY PLAN			
004	ARCHITECTURAL			
A0.1	PLAN NOTES			
A0.2	PLAN NOTES			
A1.0	FLOOR PLAN - OVERALL			
A1.1	FLOOR PLAN - DIMENSION			
A2.0	ELEVATION - EXTERIOR			
A2.1	ELEVATION - EXTERIOR			
A3.0	SECTIONS - BUILDING			
A3.1	SECTIONS - BUILDING			
A4.0	SECTIONS - WALL / DETAILS			
A6.0	SCHEDULES - DOOR / WINDOW			
A6.1	ROOM FINISH PLAN - OVERALL			
A6.2	REFLECTED CEILING PLAN - OVERALL			
A7.0	ROOF PLAN - OVERALL			
005	STRUCTURAL			
S0.1	STRUCTURAL DESIGN CRITERIA			
S1.0	FOUNDATION PLAN - OVERALL			
S2.0	FOUNDATION SCHEDULES & DETAILS			
S2.1	FOUNDATION DETAILS			
S3.0	FRAMING PLAN - ROOF			
S4.0	STRUCTURAL SCHEDULES & DETAILS			

PROJECT INFORMATION

OWNER INFORMATION:
GROWING & MAKING DREAMS INC.
N250 EASTOWNE LN
APPLETON, WI
CONTACT: MAGGIE KAUER
TENANT CULVERS OFFICE
DIS NO. 920-205-7769

PROJECT LOCATION:
MARTINEAU RD & DEBRUIN RD
COMBINED LOCKS, WI
MUNICIPALITY
OUTAGAMIE COUNTY

ARCHITECTURAL DATA:
BUILDING CODES
IBC 2015
SCOPE OF WORK: NEW BUILDING
BUILDING USE: OFFICE & STORAGE

OCCUPANCY GROUP:
BUSINESS GROUP B
STORAGE GROUP S-1

CONSTRUCTION TYPE:
NEW BUILDING VB

FIRE PROTECTION SYSTEM:
BUILDING IS NOT PROTECTED BY AN AUTOMATIC
FIRE SPRINKLER

FIRE & SMOKE PROTECTION FEATURES:
ALLOWABLE AREA DETERMINED BY IBC 508.3
NONSEPARATED OCCUPANCIES

BUILDING IS SURROUNDED AND ADJOINED BY
PUBLIC WAY OR YARDS NOT LESS THAN 60 FT IN
WIDTH

BUILDING AREA:
FIRST FLOOR (PROPOSED)
OCCUPANCY B AREAS 1,586 SQ. FT.
OCCUPANCY S-1 AREAS 2,216 SQ. FT.

TOTAL BUILDING AREA 3,802 SQ. FT.

OCCUPANT LOAD TABULATED
FIRST FLOOR (PROPOSED)

OCCUPANCY BUSINESS	590 SQ. FT.	100 GROSS	6 OCC
ACCESSORY KITCHEN	172 SQ. FT.	200 GROSS	1 OCC
ACCESSORY ASSEMBLY	261 SQ. FT.	15 NET	14 OCC
ACCESSORY STORAGE	643 SQ. FT.	300 GROSS	2 OCC
OCCUPANCY STORAGE (1)	1,840 SQ. FT.	500 GROSS	4 OCC
ACCESSORY GARAGE	375 SQ. FT.	200 GROSS	2 OCC

TOTAL OCCUPANT LOAD 29 OCC

OCCUPANT LOAD (ACTUAL)
VERIFY w/ OWNER

PLUMBING FIXTURE REQUIRED
OCCUPANCY B
23 / 2 = 12 MEN AND 12 WOMEN
12 / 1 PER 25 FIRST 50 THEN 1 PER 50 = 0.48 WATER CLOSETS FOR MEN
12 / 1 PER 25 FIRST 50 THEN 1 PER 50 = 0.48 WATER CLOSETS FOR WOMEN
12 / 1 PER 40 FIRST 80 THEN 1 PER 80 = 0.3 LAVATORIES FOR MEN
12 / 1 PER 40 FIRST 80 THEN 1 PER 80 = 0.3 LAVATORIES FOR WOMEN
23 / 100 = 0.23 DRINKING FOUNTAINS

OCCUPANCY S-1
6 / 2 = 3 MEN AND 3 WOMEN
3 / 1 PER 100 = 0.03 WATER CLOSETS FOR MEN
3 / 1 PER 100 = 0.03 WATER CLOSETS FOR WOMEN
3 / 1 PER 100 = 0.03 LAVATORIES FOR MEN
3 / 1 PER 100 = 0.03 LAVATORIES FOR WOMEN
6 / 1,000 = 0.01 DRINKING FOUNTAINS

TOTAL PLUMBING FIXTURES REQUIRED
0.51 (1) WATER CLOSETS FOR MEN
0.51 (1) WATER CLOSETS FOR WOMEN
0.33 (1) LAVATORIES FOR MEN
0.33 (1) LAVATORIES FOR WOMEN
0.24 (1) DRINKING FOUNTAINS

PLUMBING FIXTURE PROVIDED
(1) WATER CLOSETS FOR WOMEN
(1) LAVATORIES FOR WOMEN
(1) WATER CLOSETS FOR MEN
(1) LAVATORIES FOR MEN
(0) H/L/O DRINKING FOUNTAIN
FILTERED WATER PROVIDED
(1) SERVICE SINK

PROPOSED PROJECT FOR:
GROWING & MAKING DREAMS
COMBINED LOCKS, WISCONSIN;
COUNTY OF: OUTAGAMIE

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL
ADJUST SCALE ACCORDINGLY

NOTICE OF COPYRIGHT
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COPYRIGHT PROTECTION AS AN "ARCHITECTURAL WORK" UNDER
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DECEMBER 1990 AND KNOWN AS "ARCHITECTURAL WORKS"
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CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 25-6060
PROJECT EXECUTIVE: TOM AMBROSIOUS
(920) 371-2544
DRAWN BY: JRG / AGS
DATE: 6/5/2025

Revision Schedule

Rev. No.	Revision Description	Rev. Date
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ISSUED FOR: CHECKED DATE:
BY:

☐ PRELIMINARY
☐ BID SET
☐ DESIGN REVIEW SM/TAJAS 5/14/25
☐ CHECKSET
☒ CONSTRUCTION

TITLE SHEET

T1.0

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.

NOTE:
ALL EROSION CONTROL MEASURES SHALL
BE IN PLACE PRIOR TO CONSTRUCTION
AND SHALL CONFORM TO THE WISCONSIN
DEPARTMENT OF NATURAL RESOURCES
CONSTRUCTION SITE EROSION CONTROL
AND TECHNICAL STANDARDS.

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	GENERAL NOTES
2	EXISTING SITE CONDITIONS
3	SITE PLAN
4	UTILITY PLAN
5	GRADING AND EROSION CONTROL PLAN
6	MISCELLANEOUS DETAILS
7	MISCELLANEOUS DETAILS
8	MISCELLANEOUS DETAILS
9	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
10	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
11	EROSION CONTROL - DITCH CHECK DETAILS
12	EROSION CONTROL - SHEET FLOW DETAILS
13	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
14	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
15	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP
1	---	---	---					CHECKED
								DESIGNED

CULVER'S OFFICE SITE DEVELOPMENT
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF COMBINED LOCKS
OUTAGAMIE COUNTY, WISCONSIN

LOCATION MAPS AND INDEX TO DRAWINGS

DATE
06/20/04

FILE
PO35549C

JOB NO.



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SHEET NO.
C

OWNER INFORMATION:

LAND OF DREAMS IV
N250 EASTWONE LANE
APPLETON, WI 54915

(920) 427-9897

CONTACT: MAGGIE KAUER

CONTRACTOR INFORMATION:

BAYLAND BUILDINGS, INC.
P.O. BOX 13571
GREEN BAY, WI 54307

(920) 680-8110

CONTACT: DAVID O'BRIEN

UTILITY INFORMATION:

UTILITIES PRESENT:

VILLAGE OF COMBINED LOCKS DEPARTMENT OF PUBLIC WORKS, KAUKAUNA UTILITIES, WE ENERGIES, AT&T, TIME WARNER, NET LEC AND TDS METROCOM.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKETS NUMBERED 20251827838 AND 2025182784, BOTH DATED 05/12/2025 VISIBLE OBSERVATION (05/14/2025) AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE **MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.**

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
VILLAGE OF COMBINED LOCKS
405 WALLACE ST.
COMBINED LOCKS, WI 54113

(920) 788-7740

WATER/ELECTRIC:
KAUKAUNA UTILITIES
777 ISLAND ST.
KAUKAUNA, WI 54130

(920) 766-5721

GAS & ELECTRIC:
WE ENERGIES
800 S. LYNNDAL DR.
APPLETON, WI 54914

(800) 242-9137

TELECOMMUNICATIONS:
AT & T / SBC
221 W. WASHINGTON ST.
APPLETON, WI 54911

(920) 221-5969

TELECOMMUNICATIONS:
SPECTRUM / TIME WARNER / CHARTER
12405 POWERSCOURT DR.
ST. LOUIS MO 63131

(262) 446-9821

TELECOMMUNICATIONS:
NET LEC / NSIGHT / CELLCOM
C/O MI TECH SERVICES
221 W. WASHINGTON ST.
APPLETON, WI 54911

(920) 739-7659

TELECOMMUNICATIONS:
TDS METROCOM / TDS TELECOM
W6174 AEROTECH DR. - SUITE A
APPLETON, WI 54914

(920) 882-3342



or (800) 242-8511
www.DiggersHotline.com

TO OBTAIN LOCATION OF PARTICIPANTS
UNDERGROUND FACILITIES BEFORE YOU
DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

LEGEND

- FIRE HYDRANT
- WATER VALVE
- CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- AIR RELIEF MANHOLE
- STORM MANHOLE
- STORM INLET (NOT IN CURB AND GUTTER)
- STORM INLET (IN CURB AND GUTTER)
- STORM INLET MANHOLE
- TANK COVER
- SOIL BORING
- POST
- IRON PIPE/ROD
- PK NAIL

- POWER POLE
- POWER POLE W/GUY WIRE
- LIGHT POLE
- TRAFFIC SIGNAL POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE TV MANHOLE
- CABLE TV PEDESTAL
- GAS VALVE
- GAS METER
- MAILBOX
- SIGN
- BOLLARD

- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- RIP RAP
- CULVERT
- WETLANDS
- HANDICAP PARKING
- TO BE REMOVED
- TO BE DEMOLISHED

- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- TREE/BRUSH LINE
- CONTOUR LINE
- RETAINING WALL
- GUARD RAIL
- FENCE

- SANITARY SEWER (SIZE NOTED)
- FORCEMAIN (SIZE NOTED)
- STORM SEWER (SIZE NOTED)
- WATERMAIN (SIZE NOTED)
- GAS LINE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD CABLE TV LINE
- CABLE TV LINE
- FIBER OPTIC LINE
- RAW LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE

- | | | | | | | | |
|------|------------|------|----------------|-----|--------------------------------|------|--------------------------|
| GR. | GRAVEL | WM | WATERMAIN | VPC | VERTICAL POINT OF CURVATURE | B-B | BACK TO BACK (OF CURB) |
| BIT. | BITUMINOUS | HYD. | HYDRANT | VPI | VERTICAL POINT OF INTERSECTION | F-F | FACE TO FACE (OF CURB) |
| ASPH | ASPHALT | WV | WATER VALVE | VPT | VERTICAL POINT OF TANGENCY | R/W | RIGHT OF WAY |
| CONC | CONCRETE | SAN | SANITARY SEWER | PC | POINT OF CURVATURE | T/C | TOP OF CURB |
| SW | SIDEWALK | MH | MANHOLE | PI | POINT OF INTERSECTION | F/L | FLOW LINE |
| BLDG | BUILDING | ST | STORM SEWER | PT | POINT OF TANGENCY | CL | CENTERLINE |
| HSE | HOUSE | CB | CATCH BASIN | R | RADIUS | R/L | REFERENCE LINE |
| PED | PEDESTAL | TELE | TELEPHONE | EX | EXISTING | INV | INVERT |
| PP | POWER POLE | ELEC | ELECTRIC | PR | PROPOSED | CMP | CORRUGATED METAL PIPE |
| LP | LIGHT POLE | TV | TELEVISION | EOR | END OF RADIUS | RCP | REINFORCED CONCRETE PIPE |
| BM | BENCH MARK | STA. | STATION | BOC | BACK OF CURB | CULV | CULVERT |

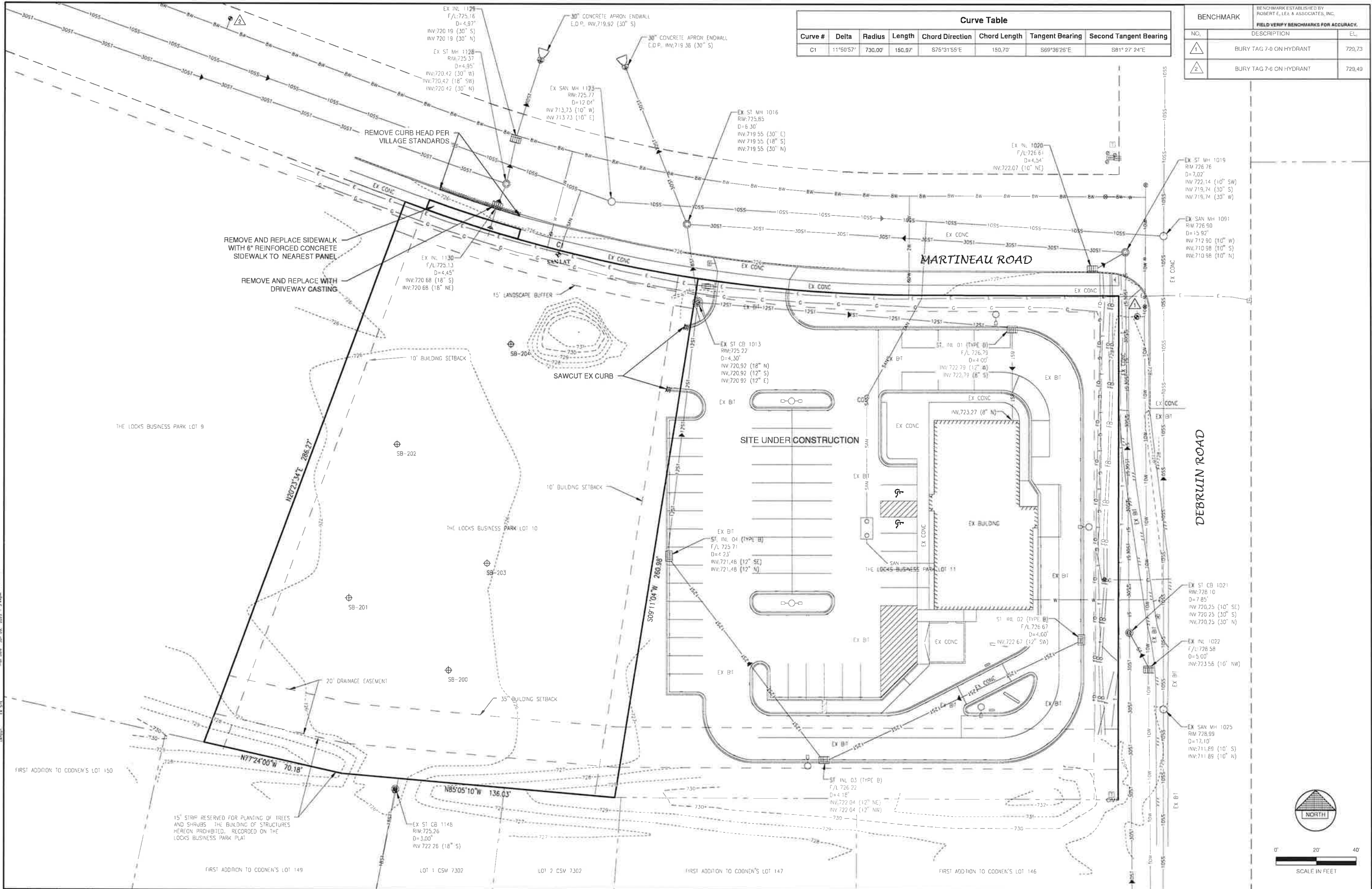
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								CHECKED
								DESIGNED
								JSS

CULVER'S OFFCIE SITE DEVELOPMENT
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF COMBINED LOCKS
OUTAGAMIE COUNTY, WISCONSIN

GENERAL NOTES

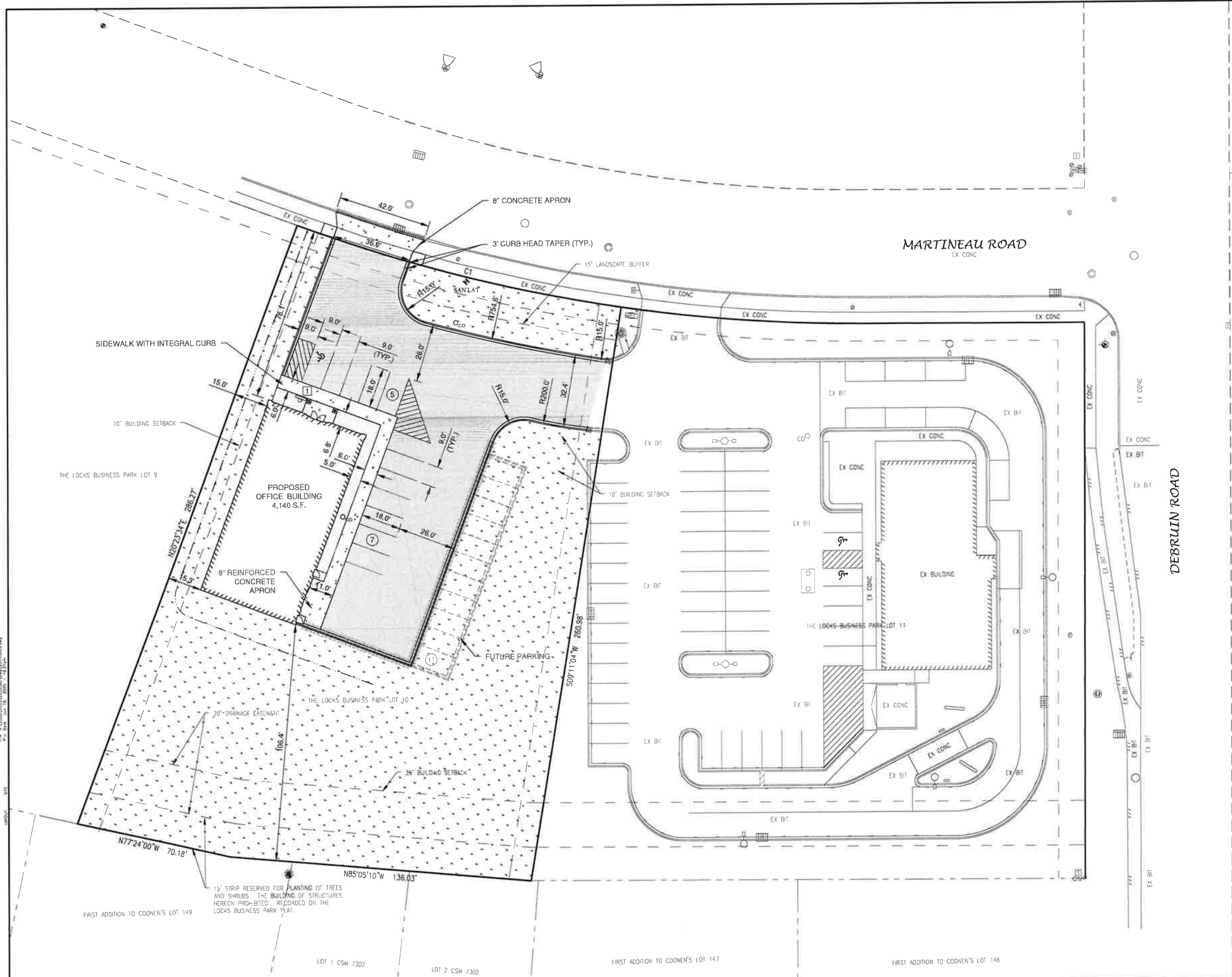
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FILE	20250521
JOB NO.	2025052

**Robert E. Lee**
& Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com



Curve Table							
Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing	Second Tangent Bearing
C1	11°50'57"	730.00'	150.97'	S75°31'55"E	150.70'	S69°36'26"E	S81°27'24"E

BENCHMARK		
BENCHMARK ESTABLISHED BY ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	ELEVATION
1	BURY TAG 7-0 ON HYDRANT	720.73
2	BURY TAG 7-6 ON HYDRANT	729.49



- LEGEND**
- CONCRETE PAVEMENT
 - ASPHALT PAVEMENT (LIGHT) (10.79 S.F.)
 - LANDSCAPE AREA
 - GREEN SPACE
 - PROPOSED 18" STANDARD CURB AND GUTTER
 - PROPOSED 18" MOUNTABLE CURB AND GUTTER
 - TRAFFIC FLOW ARROW
 - HANDICAPPED PARKING
 - SIGN
 - INDICATES NUMBER OF PARKING STALLS
 - WALL PACK
 - LIGHT POLE (1 LAMP)
 - LIGHT POLE (2 LAMPS)
 - LIGHT POLE (3 LAMPS)
 - LIGHT POLE (4 LAMPS)

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

NOTE
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA
TOTAL PARKING STALLS PROVIDED = 12
HANDICAP ACCESSIBLE PARKING STALLS = 1
TOTAL PARKING STALLS REQUIRED = 10

SITE DATA
TOTAL AREA = 1.12 ACRES, 48,544 S.F.
BUILDING AREA = 0.10 ACRES, 4,140 S.F. (8.5%)
SIDEWALK/PARKING LOT AREA = 0.29 ACRES, 12,548 S.F. (25.9%)
GREEN SPACE = 0.73 ACRES, 31,856 S.F. (65.6%)

ZONING
BUSINESS PARK

PARCEL NO.
230154500

CONSTRUCTION CLASSIFICATION
VB



0' 20' 40'
SCALE IN FEET

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								L.P.
								CHECKED
								DESIGNED
								JOS

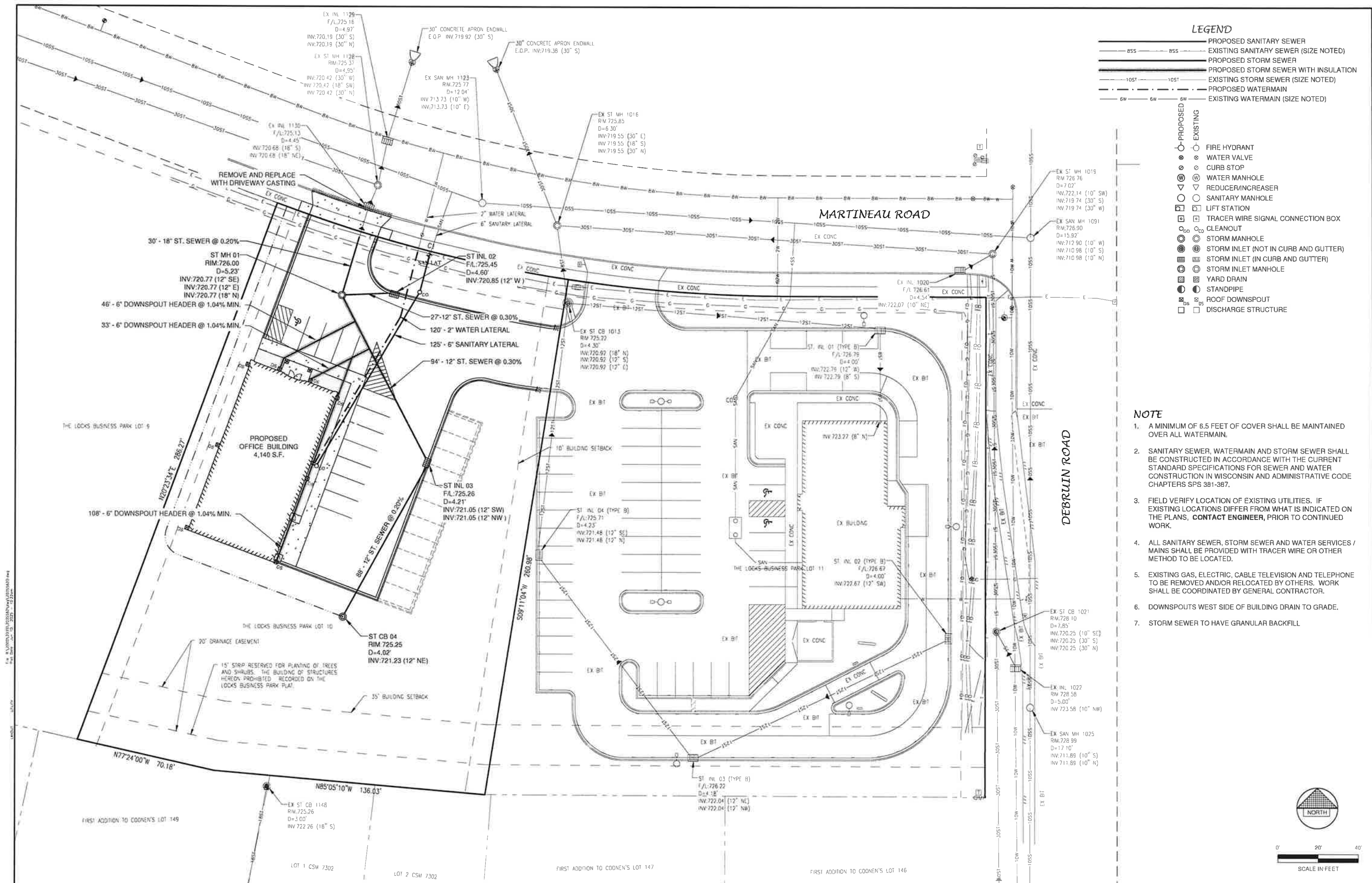
CULVER'S OFFICE SITE DEVELOPMENT
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF COMBINED LOCKS
OUTAGAMIE COUNTY, WISCONSIN

SITE PLAN

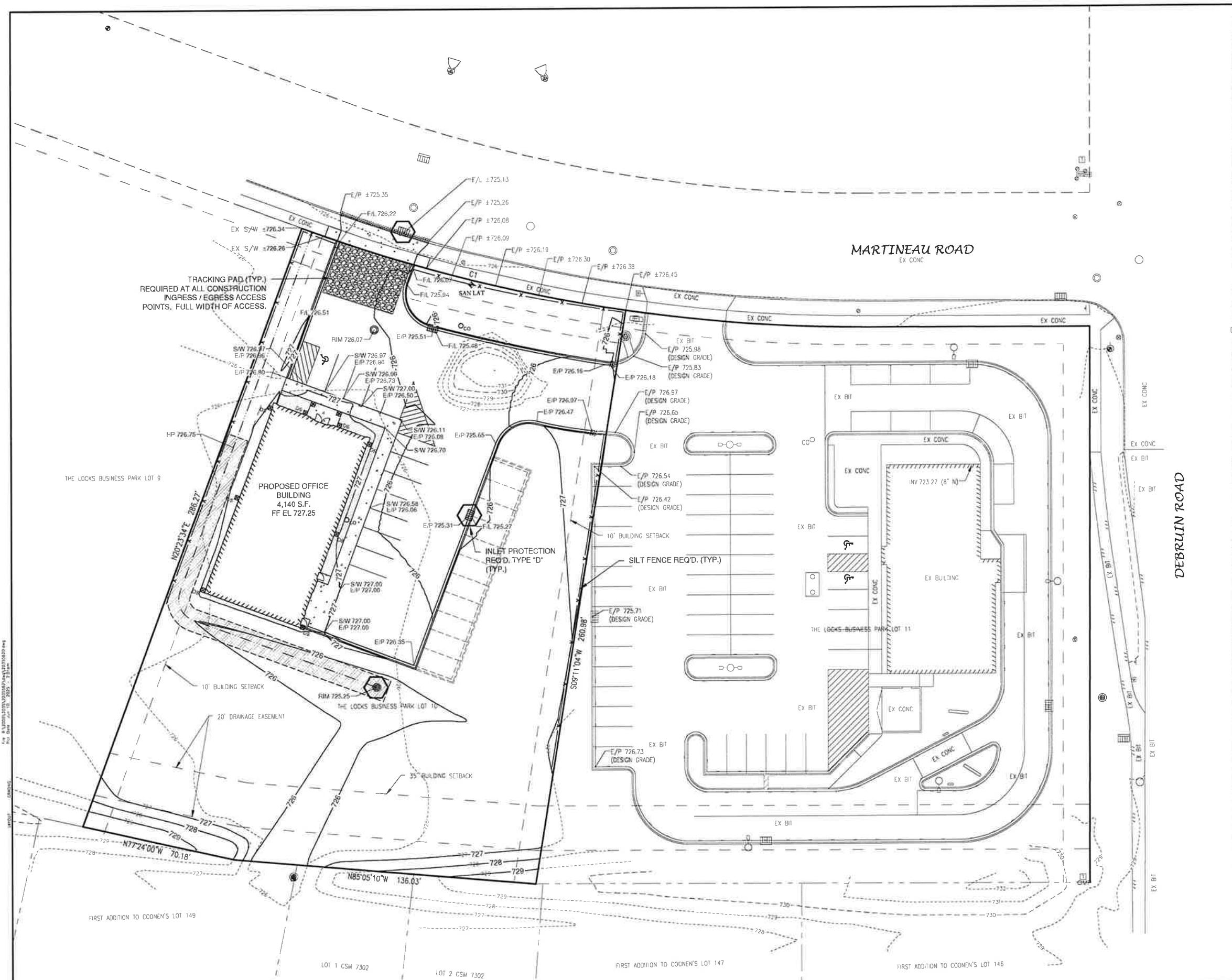
DATE
05/02/25
FILE
20154500
JOB NO.
2015450

REL Robert E. Lee
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1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO.
3



- NOTE**
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
 3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
 4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
 5. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
 6. DOWNSPOUTS WEST SIDE OF BUILDING DRAIN TO GRADE.
 7. STORM SEWER TO HAVE GRANULAR BACKFILL



LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

EROSION CONTROL

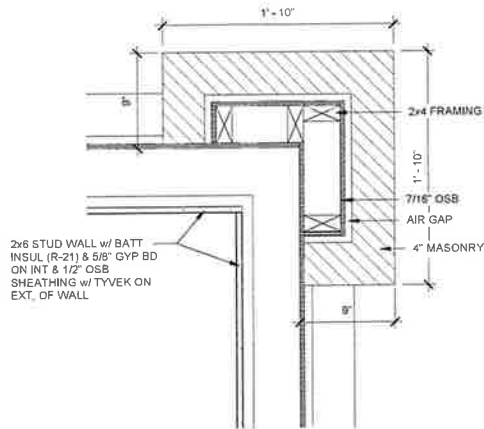
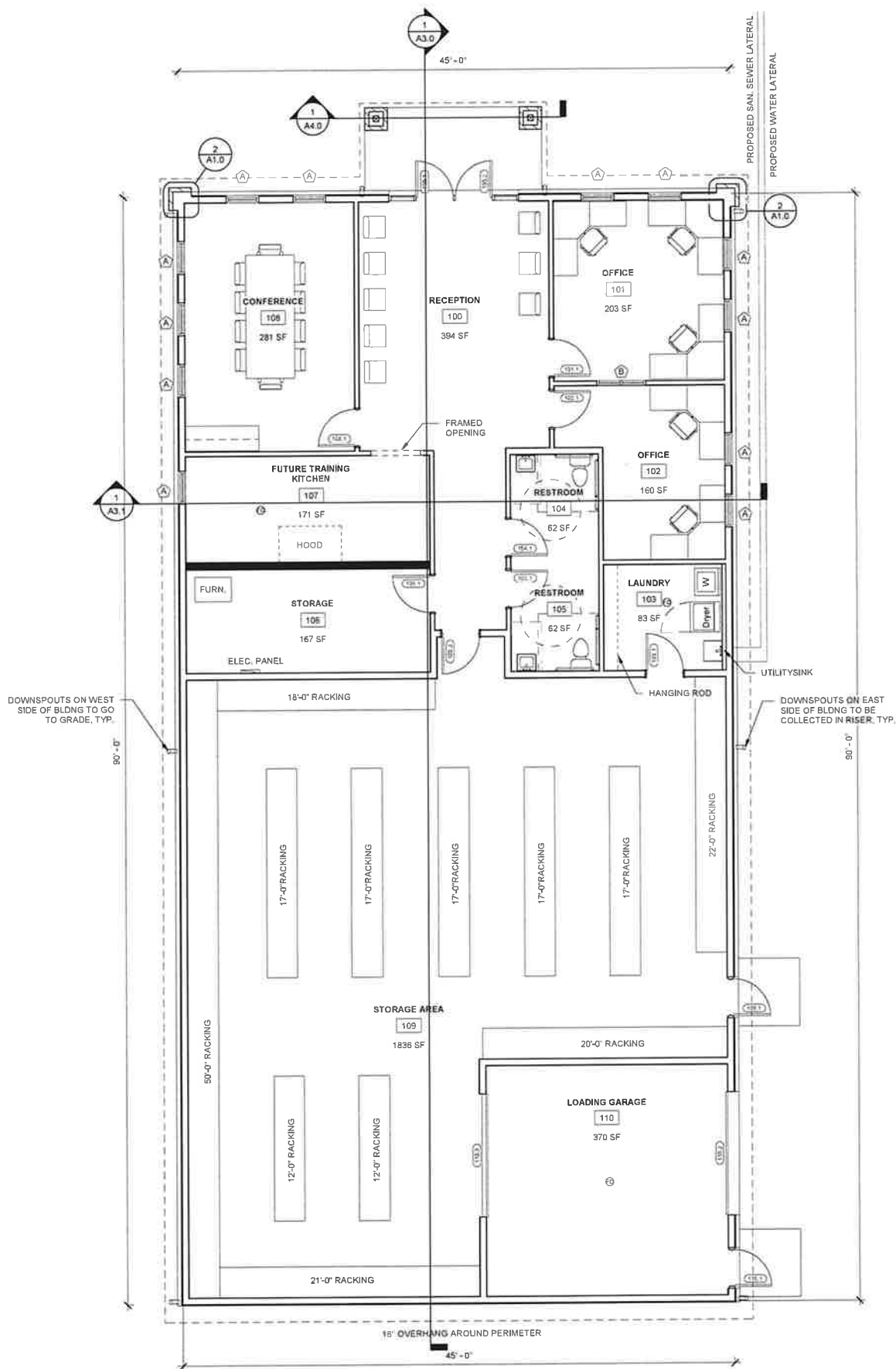
ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

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PLOT DATE: Jan 13, 2025 10:11 AM

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								CHECKED	05/2025	20250520	20250520		
								DESIGNED					
CULVER'S OFFICE SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF COMBINED LOCKS OUTAGAMIE COUNTY, WISCONSIN									GRADING AND EROSION CONTROL PLAN				



FLOOR PLAN - BRICK CORNER
2 / A1.0 SCALE = 1 1/2" = 1'-0"

FLOOR PLAN - OVERALL
1 / A1.0 SCALE = 3/16" = 1'-0"



PROPOSED BUILDING FOR:
GROWING & MAKING DREAMS
COMBINED LOCKS, WISCONSIN; COUNTY OF:
OUTAGAMIE

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL
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COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 25-6060

PROJECT EXECUTIVE: TOM AMBROSIOUS
(920) 371-2544

DRAWN BY: JRG / AGS

DATE: 6/5/2025

REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

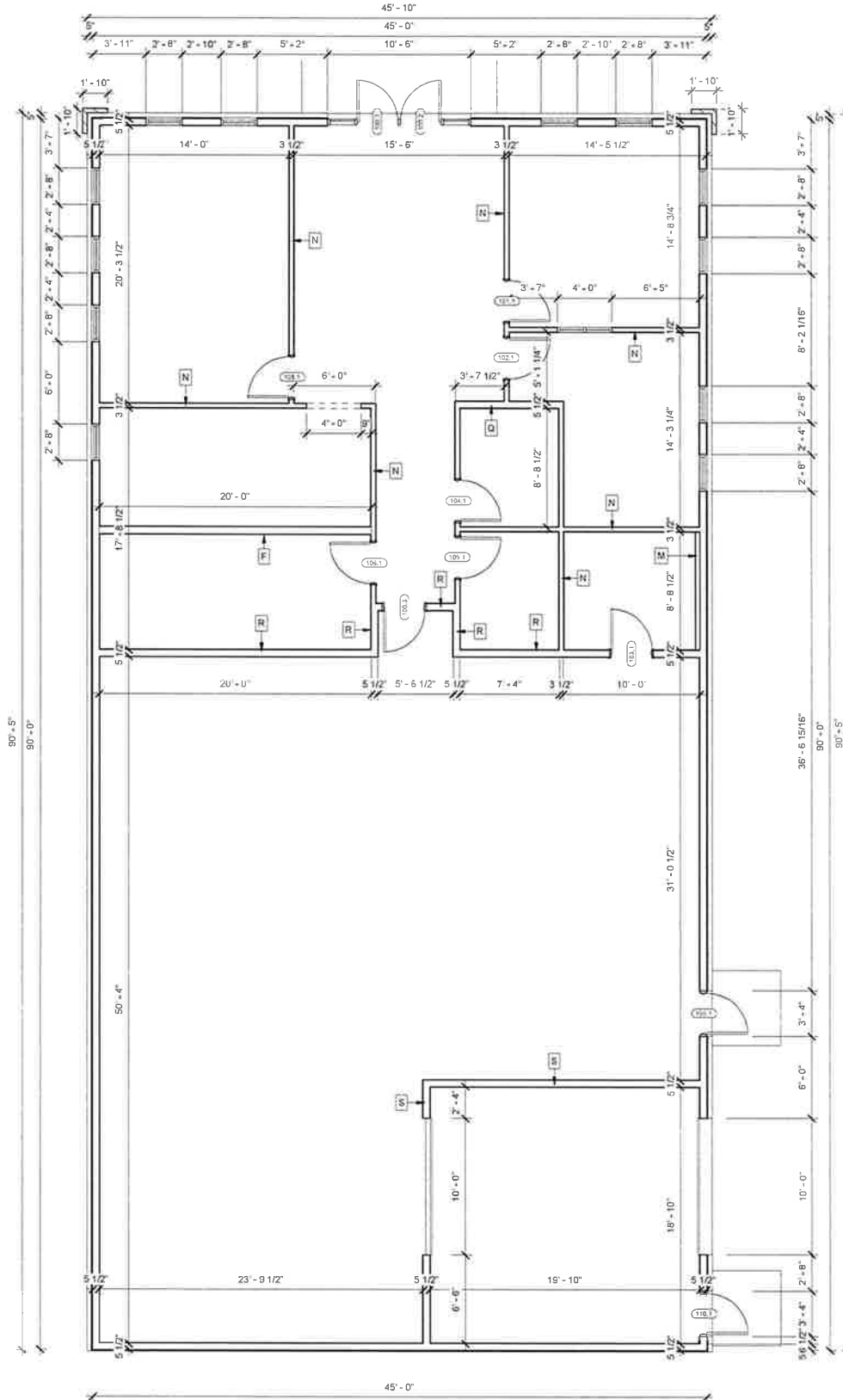
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- ☒ CONSTRUCTION

FLOOR PLAN - OVERALL

A1.0

6/12/2025 7:41:02 AM

NOTE:
-ALL GYP BD TO BE RAN TO 1'-0"
ABOVE CEILING FINISH
(SEE R.C.P. FOR ADD'T DTLs)



PLAN NOTES:
1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD (U.N.O.)
2) PROVIDE BACKING FOR ANY/ALL PLUMBING FIXTURES
3) PROVIDE BACKING FOR ALL CASEWORK

BAYLAND

BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
GROWING & MAKING DREAMS
COMBINED LOCKS, WISCONSIN; COUNTY OF:
OUTAGAMIE

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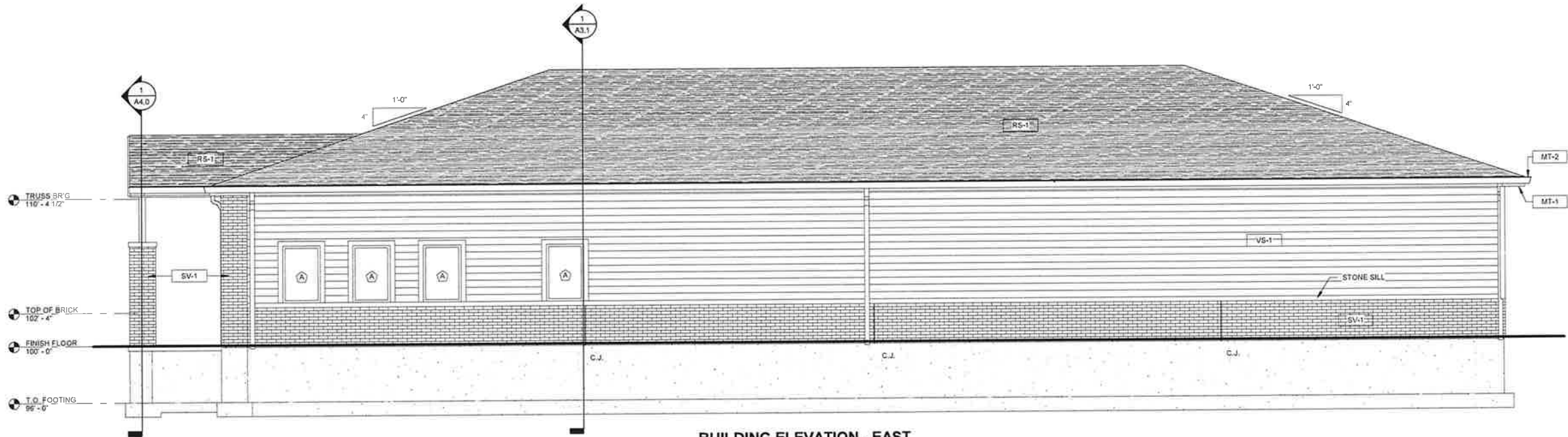
FLOOR PLAN - DIMENSION

FLOOR PLAN - DIM
1 / A1.1 SCALE = 3/16" = 1'-0"



A1.1

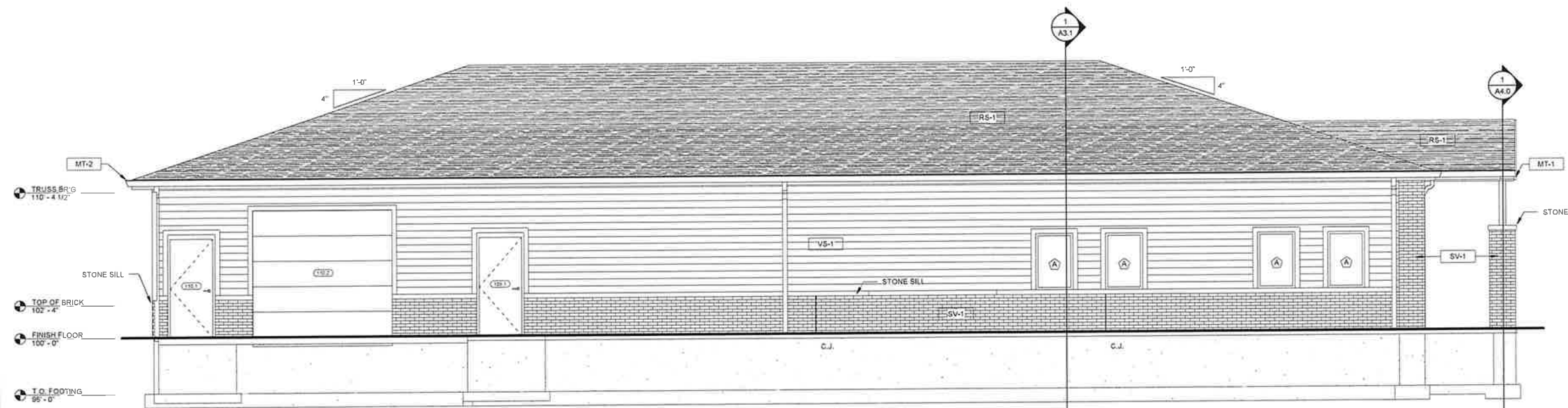
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BUILDING ELEVATION - EAST

1/A2.0 SCALE = 1/4" = 1'-0"

ALTERNATE VINYL SIDING



BUILDING ELEVATION - WEST

2/A2.0 SCALE = 1/4" = 1'-0"

ALTERNATE VINYL SIDING

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
VS-1	LOCATION HORIZ. EXTERIOR SIDING MATERIAL VINYL SIDING SUPPLIER VERIFY COLOR VERIFY COMMENTS
MT-1	LOCATION FASCIA TRIMS & SOFFITS MATERIAL VERIFY SUPPLIER VERIFY COLOR VERIFY COMMENTS
MT-2	LOCATION RAKE, GUTTERS & TRIMS MATERIAL VERIFY SUPPLIER VERIFY COLOR VERIFY COMMENTS
SV-1	LOCATION FACE BRICK MATERIAL 4" FACE BRICK SUPPLIER VERIFY COLOR VERIFY COMMENTS
RS-1	LOCATION ROOF SHINGLES MATERIAL ASPHALT SHINGLE SUPPLIER VERIFY COLOR VERIFY COMMENTS



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
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COMBINED LOCKS, WISCONSIN; COUNTY OF:
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DRAWN BY: JRG / AGS

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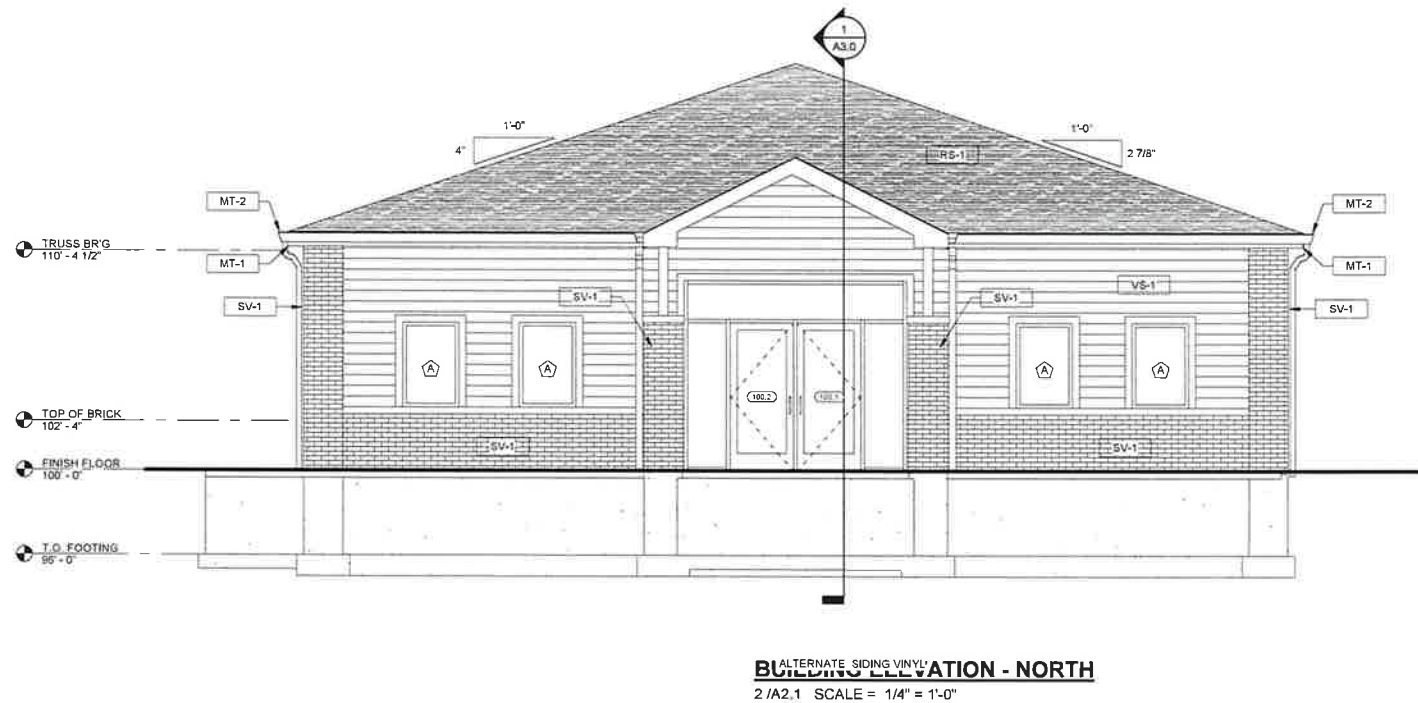
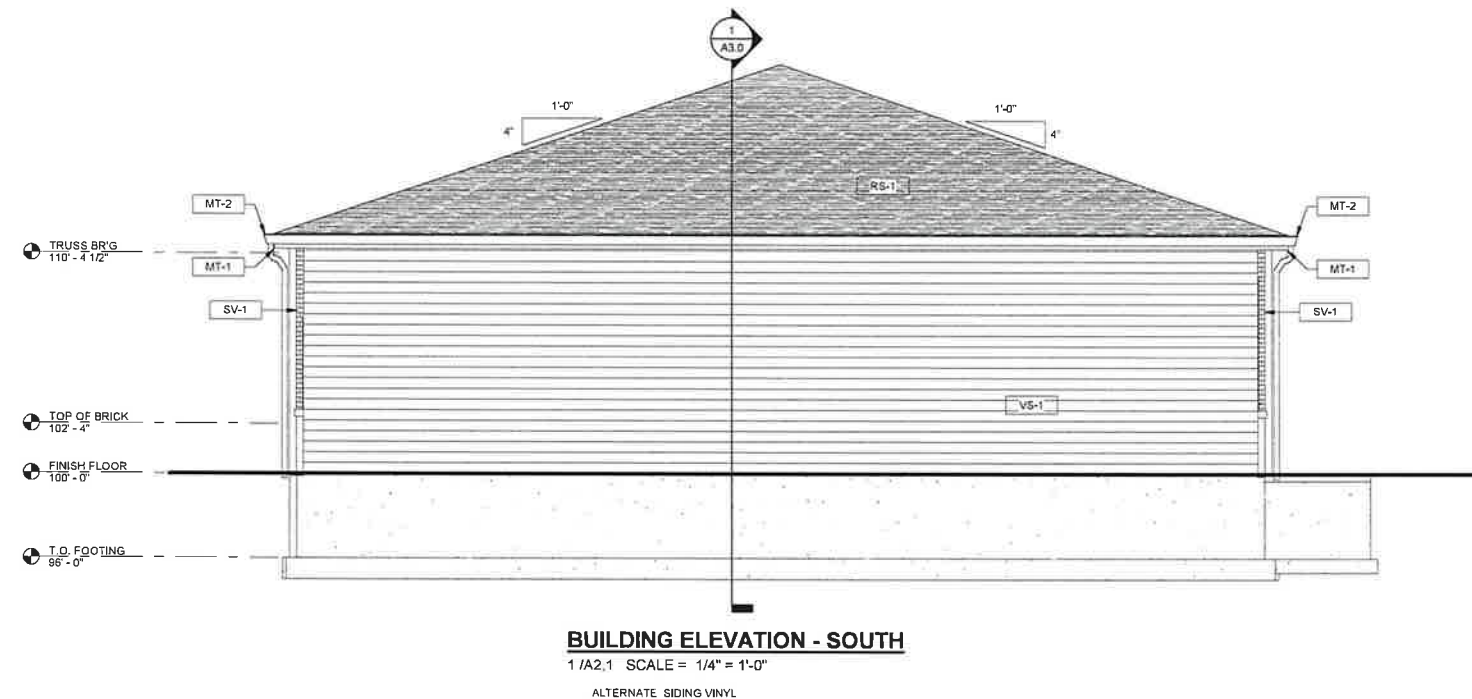
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☐ CHECKSET
☒ CONSTRUCTION

ELEVATION - EXTERIOR

A2.0



EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
VS-1	LOCATION: HORIZ. EXTERIOR SIDING MATERIAL: VINYL SIDING SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-1	LOCATION: FASCIA TRIMS & SOFFITS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MT-2	LOCATION: RAKE, GUTTERS & TRIMS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
SV-1	LOCATION: FACE BRICK MATERIAL: 4" FACE BRICK SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
RS-1	LOCATION: ROOF SHINGLES MATERIAL: ASPHALT SHINGLE SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
**GROWING & MAKING
DREAMS**
COMBINED LOCKS, WISCONSIN; COUNTY OF:
OUTAGAMIE

SCALE VERIFICATION

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

NOTICE OF COPYRIGHT
THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO
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CONSTRUCTION OR BUILDING BEING SEIZED AND/OR MONETARY
COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER: 25-6060

PROJECT
EXECUTIVE: TOM AMBROSIO
(920) 371-2544

DRAWN BY: JRG / AGS

DATE: 6/5/2025

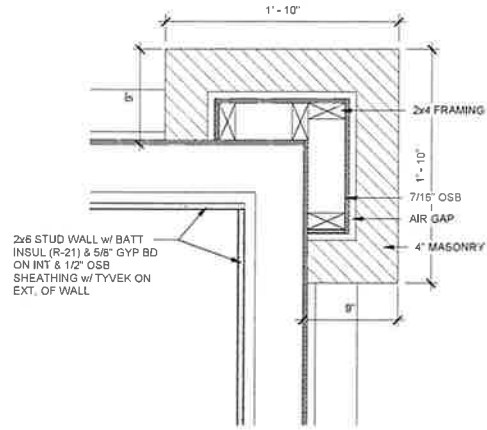
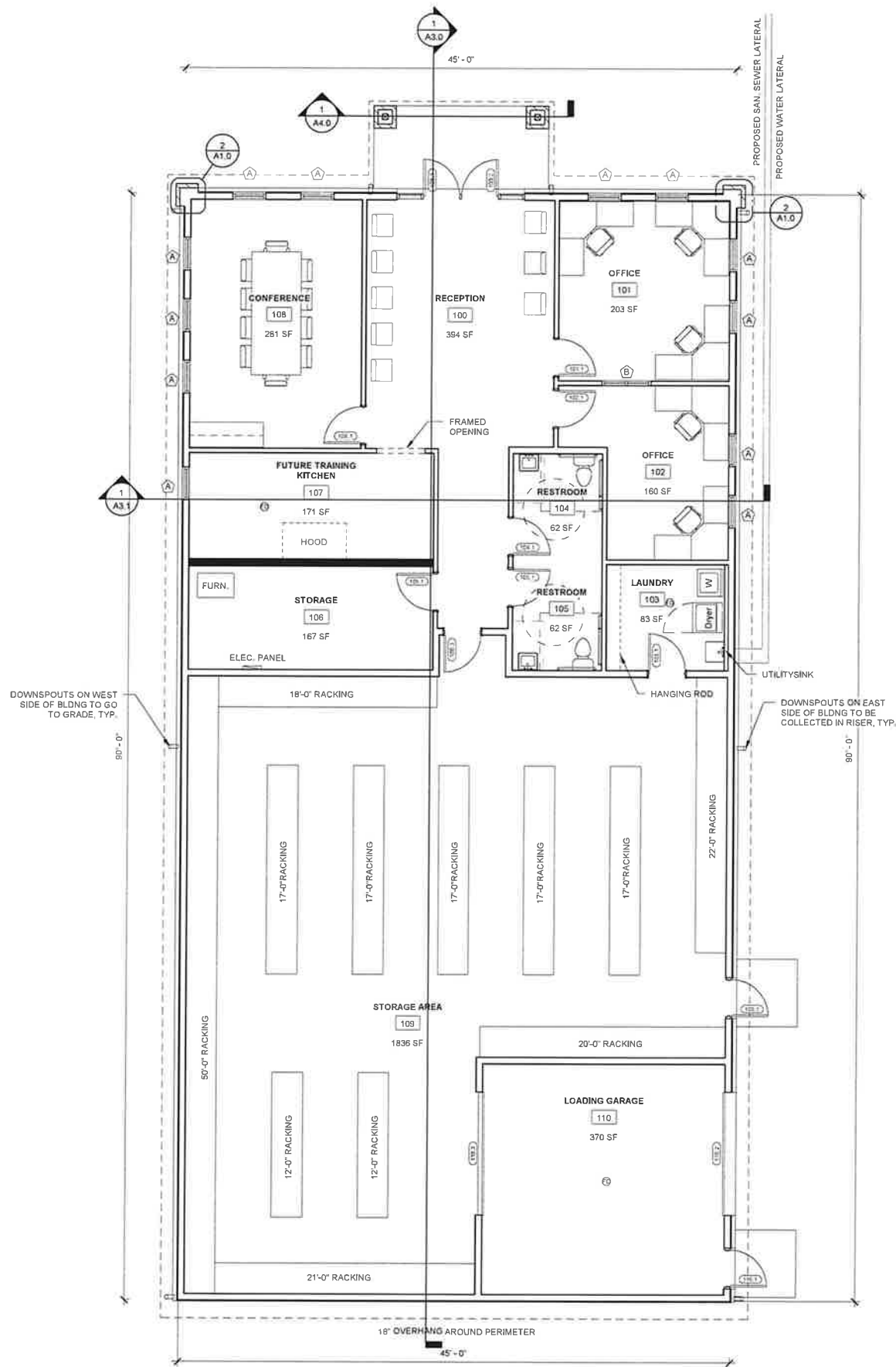
REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

- ☐ PRELIMINARY
☐ BID SET
☐ DESIGN REVIEW SM/TA/AS 5/14/25
☐ CHECKSET
☒ CONSTRUCTION

ELEVATION - EXTERIOR

A2.1



FLOOR PLAN - BRICK CORNER
2/A1.0 SCALE = 1 1/2" = 1'-0"

PLAN NOTES:
1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD (U.N.O.)

FLOOR PLAN - OVERALL
1/A1.0 SCALE = 3/16" = 1'-0"



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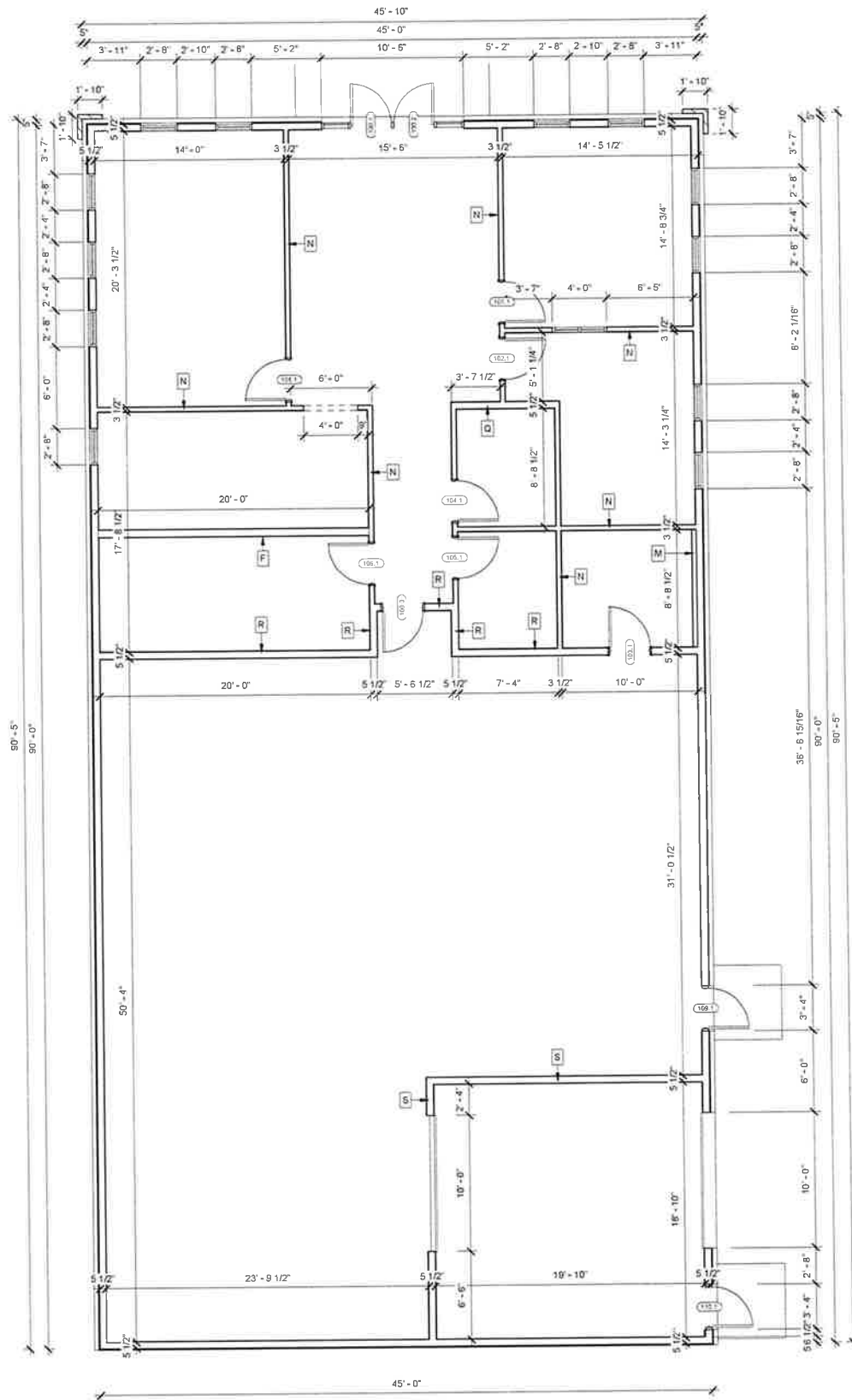
- ☐ PRELIMINARY
- ☐ BID SET
- ☐ DESIGN REVIEW SM/TA/AS 5/14/25
- ☐ CHECKSET
- ☒ CONSTRUCTION

FLOOR PLAN - OVERALL

A1.0

6/12/2025 7:41:02 AM

NOTE:
- ALL GYP BD TO BE RAN TO 1'-0" ABOVE CEILING FINISH
(SEE R.C.P. FOR ADD'L DTLS)



PLAN NOTES:
1) ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD (U.N.O.)
2) PROVIDE BACKING FOR ANY/ALL PLUMBING FIXTURES
3) PROVIDE BACKING FOR ALL CASEWORK

BAYLAND

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- SMITA/AS 5/14/25

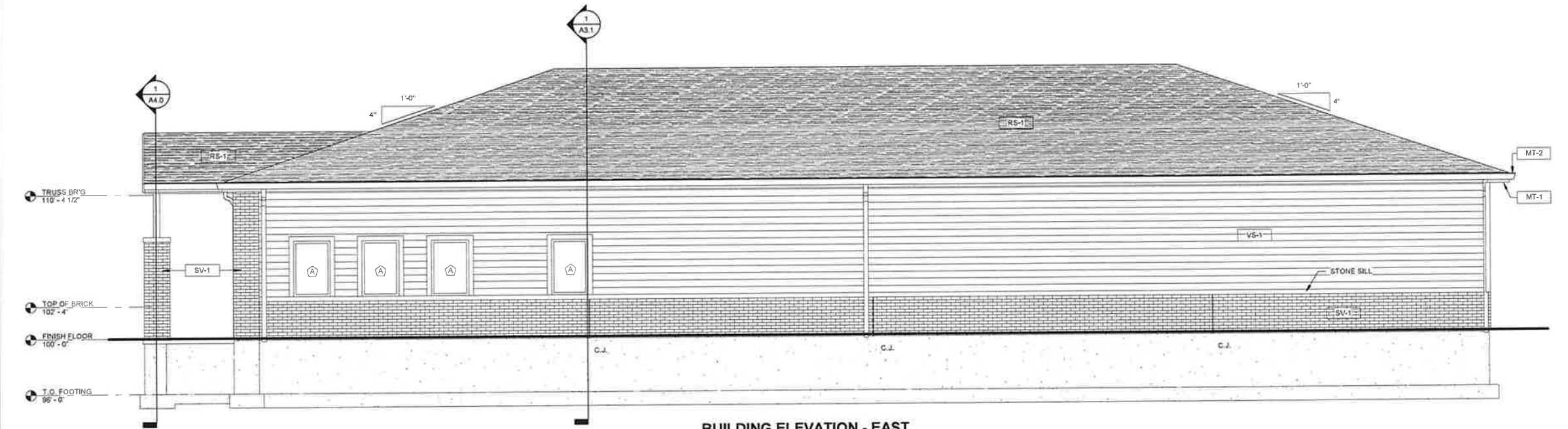
FLOOR PLAN - DIMENSION

FLOOR PLAN - DIM
1/1.1 SCALE = 3/16" = 1'-0"



A1.1

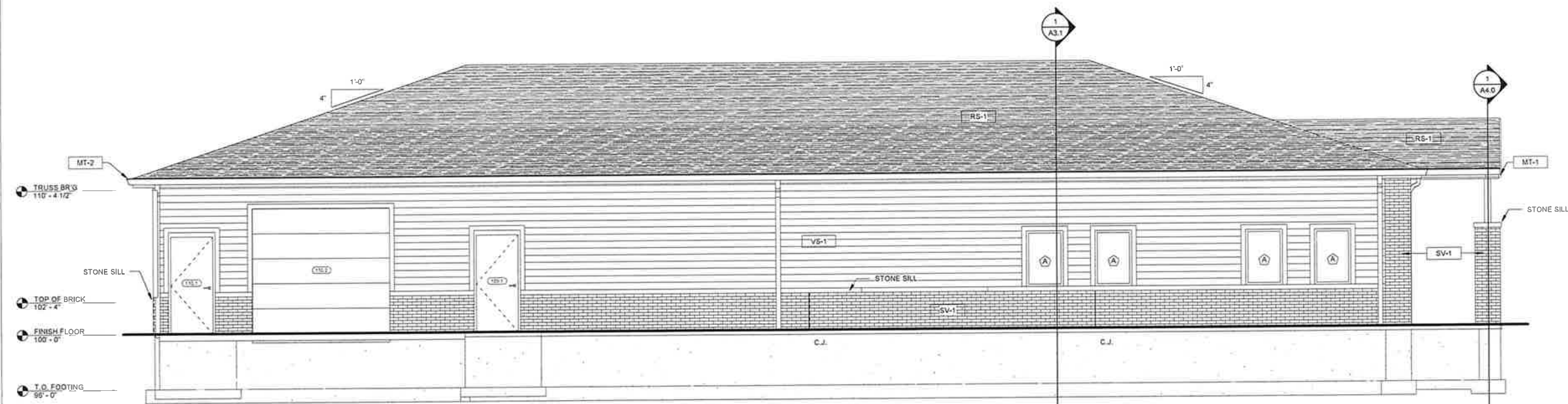
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BUILDING ELEVATION - EAST

1 / A2.0 SCALE = 1/4" = 1'-0"

ALTERNATE VINYL SIDING



BUILDING ELEVATION - WEST

2 / A2.0 SCALE = 1/4" = 1'-0"

ALTERNATE VINYL SIDING

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
VS-1	LOCATION: HORIZ. EXTERIOR SIDING MATERIAL: VINYL SIDING SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
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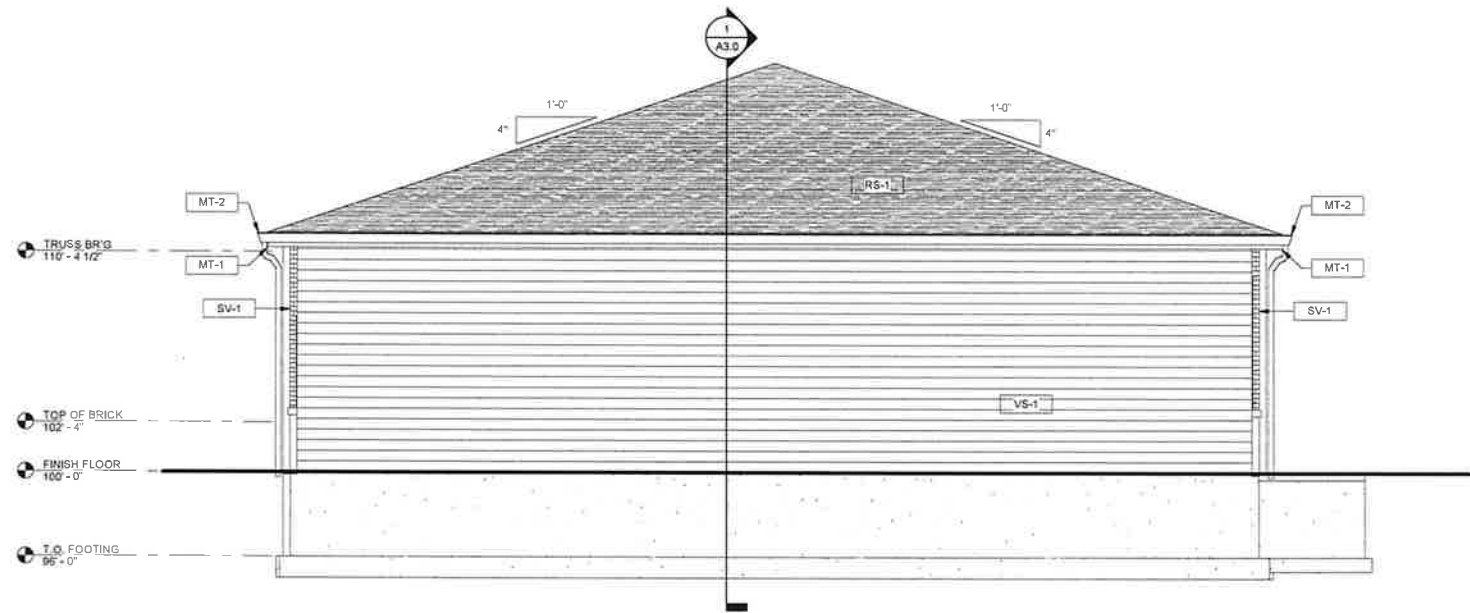
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☐ BID SET
☐ DESIGN REVIEW SM/TAJAS 5/14/25
☐ CHECKSET
☒ CONSTRUCTION

ELEVATION - EXTERIOR

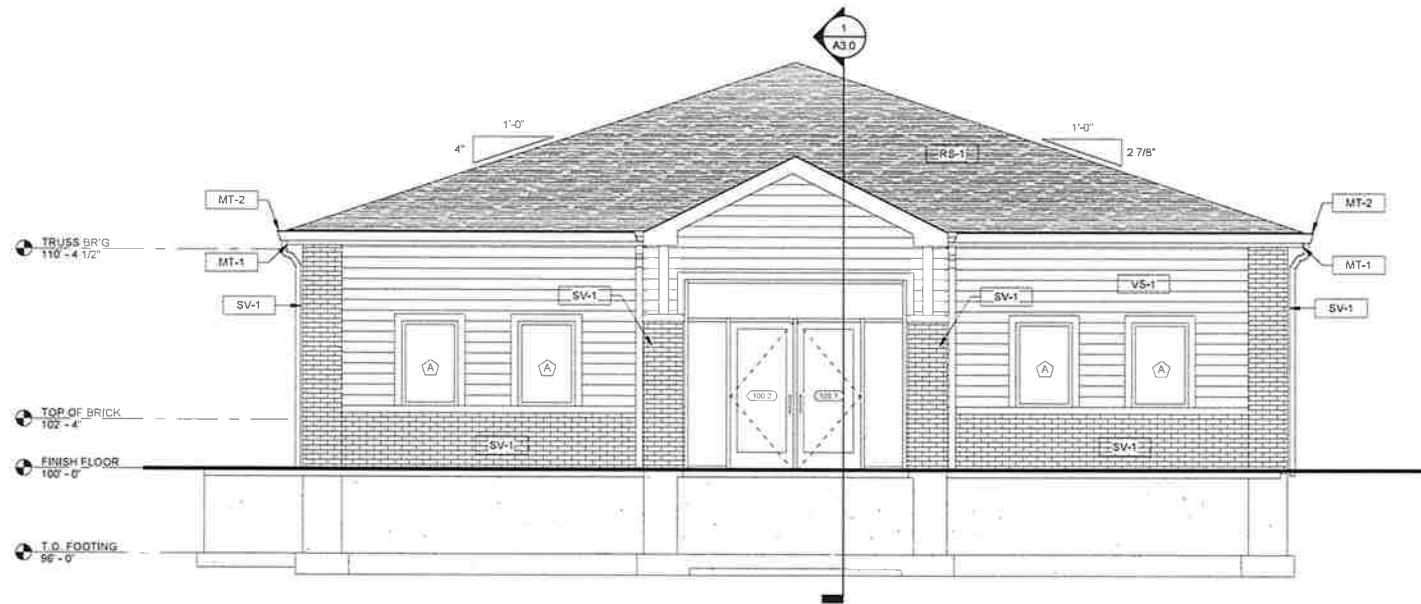
A2.0



BUILDING ELEVATION - SOUTH

1 / A2.1 SCALE = 1/4" = 1'-0"

ALTERNATE SIDING VINYL



BUILDING ELEVATION - NORTH

2 / A2.1 SCALE = 1/4" = 1'-0"

EXTERIOR FINISH LEGEND

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- ☐ PRELIMINARY
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☐ CHECKSET
☒ CONSTRUCTION

ELEVATION - EXTERIOR

A2.1



Planting Schedule				
	Qty	Common Name	Botanical Name	Scheduled Size
Shrubs				
	14	Allegheny Viburnum	Viburnum acerifolium Allegheny	45 - 18"
	22	Green Velvet Boxwood	Buxus Green Velvet	45 - 18"
	14	Little Lime Punch Hydrangea	Hydrangea Little Lime	45"
Trees				
	11	Prague Viburnum	Viburnum x pragensis	45 - 18"
	1	Red Maple, Bursera Maple	Acer rubrum	2" Cal

Landscape Installation Notes

GENERAL

- Landscape Contractor is responsible for coordinating work with general contractor to ensure the landscape scope of work doesn't interfere with existing or built conditions. They should note any discrepancies to the general contractor.
- Landscape Contractor is responsible for verifying the location of underground utilities by calling their local utility marking service.
- All plant material should be inspected by Landscape Contractor prior to installation to determine overall appearance and condition. Plant material that is damaged or has clear signs of stress should be rejected.
- Quantities of material shown on plan take precedence over the specification list or legend.
- If plant substitutions are required, Landscape Contractor is responsible for submitting recommendations to the client or client's representative.
- Irrigation system required and to be designed by qualified Irrigation Contractor - system must be programmable and capable of odd/even day use.
- This proposed landscape plan will mitigate/enhance site conditions in accordance to city requirements.

PLANTING

- When excavating for plant pits, any excess rock or building material should be removed and replaced with specified soil mix backfill.
- All plant tags should be removed from material by Landscape Contractor.
- All planting beds should receive a minimum 3" deep layer of shredded hardwood mulch, unless otherwise noted.
- Edge all beds with a spade cut edge unless otherwise noted.
- All backfill around plant material should be removed during planting.
- All wire baskets and stakes should be removed during planting.
- Cut and remove top half of burlap around rootballs and cut and remove any twine around trunk or root flare.
- All stakes and guy wires and tree wrap are to be removed no more than 1 year after installation.
- Tree wrap, if used, is to be installed by November 1 and to be removed by April 1.

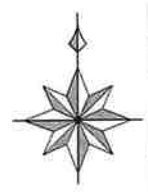
Village of Combined Locks Landscaping Standards:

580-14. Landscape Buffer: The landscape buffer area shall not be less than eight feet in width measured at right angles to property lines and shall be established along the entire length of and contiguous to the designated property lines. The area shall be so designed, planted, and maintained as to be 75% or more opaque between two and six feet above average ground level.

Contiguous landscape buffer provided along full length of South Property line.

580-22. Business Park District: A landscaped strip not less than 15 feet in depth if at the front, shall be required along any lot line adjacent to an intersecting street. Due to easement, a 6' wide landscape strip provided.

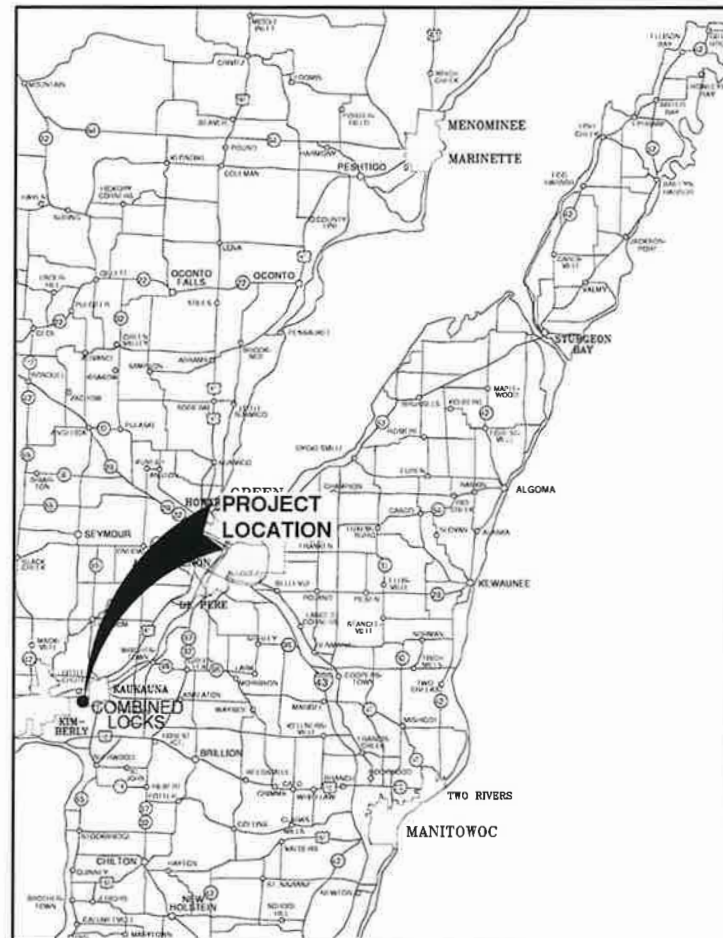
1" = 20'



No.	Date	By	Revision Notes
Project Address		Culver's Office Development Martineau Road Village of Combined Locks Wisconsin, 54113	
<div><div>elevate outdoor</div></div>			
Design Firm		Elevate Outdoor LLC. 1112 Bryan Road O'Fallon, Missouri 63366	
Consultant		Mark Gawriluk	
Project Title		Culver's Office Development	
Sheet Title		Landscape Plan	
Project Manager		Project ID	
Drawn By MVG		Scale 1" = 20'	
Reviewed By		Sheet No.	
Date 6/17/2025		L-1	
		_____ of _____	
		1	

CULVER'S OFFICE SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



VICINITY MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES,
WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY
OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO
EXCAVATION.

NOTE:
ALL EROSION CONTROL MEASURES SHALL
BE IN PLACE PRIOR TO CONSTRUCTION
AND SHALL CONFORM TO THE WISCONSIN
DEPARTMENT OF NATURAL RESOURCES
CONSTRUCTION SITE EROSION CONTROL
AND TECHNICAL STANDARDS.

INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C	LOCATION MAPS AND INDEX TO DRAWINGS
1	GENERAL NOTES
2	EXISTING SITE CONDITIONS
3	SITE PLAN
4	UTILITY PLAN
5	GRADING AND EROSION CONTROL PLAN
6	MISCELLANEOUS DETAILS
7	MISCELLANEOUS DETAILS
8	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
9	EROSION CONTROL - INLET PROTECTION TYPE D-HR AND TYPE D-M
10	EROSION CONTROL - DITCH CHECK DETAILS
11	EROSION CONTROL - SHEET FLOW DETAILS
12	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
13	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
14	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS



LOCATION MAP

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	CULVER'S OFFICE SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF COMBINED LOCKS OUTAGAMIE COUNTY, WISCONSIN	LOCATION MAPS AND INDEX TO DRAWINGS	DATE 08/20/24 FILE 2023M42C JOB NO. 2023M42	REL Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO. C
1								CHECKED					
								DESIGNED					
								JOS					

LAND OF DREAMS IV
N250 EASTWONE LANE
APPLETON, WI 54915

CONTACT: MAGGIE KAUER

BAYLAND BUILDINGS, INC.
P.O. BOX 13571
GREEN BAY, WI 54307

CONTACT: DAVID O'BRIEN

UTILITIES PRESENT:

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGERS HOTLINE = 1-800-242-8511

(920) 788-7740

(920) 766-5721

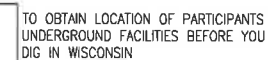
(800) 242-9137

(920) 221-5969

(262) 446-9821
















(920) 739-7659

(920) 882-3342



WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.


















- FIRE HYDRANT
- ⊗ WATER VALVE
- ⊙ CURB STOP
- Ⓜ WATER MANHOLE
- ▽ REDUCER/INCREASER
- SANITARY MANHOLE
- AIR RELIEF MANHOLE
- ⊗ STORM MANHOLE
- ⊗ STORM INLET (NOT IN CURB AND GUTTER)
- ⊗ STORM INLET (IN CURB AND GUTTER)
- ⊗ STORM INLET MANHOLE
- ⊗ TANK COVER
- ⊗_{SB} SOIL BORING
- POST
- IRON PIPE/ROD
- ▲ PK NAIL

-  POWER POLE
-  POWER POLE W/GUY WIRE
-  LIGHT POLE
-  TRAFFIC SIGNAL POLE
-  ELECTRIC MANHOLE
-  ELECTRIC METER
-  TELEPHONE MANHOLE
-  TELEPHONE PEDESTAL
-  CABLE TV MANHOLE
-  CABLE TV PEDESTAL
-  GAS VALVE
-  GAS METER
-  MAILBOX
-  SIGN
-  BOLLARD

	DECIDUOUS TREE
	CONIFEROUS TREE
	BUSH
	RIP RAP
	CULVERT
	WETLANDS
	HANDICAP PARKING
	TO BE REMOVED
	TO BE DEMOLISHED

Diagram illustrating various line types used in surveying and their corresponding features:

- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- TREE/BRUSH LINE
- CONTOUR LINE (elevation 150)
- RETAINING WALL
- GUARD RAIL
- FENCE

	SANITARY SEWER (SIZE NOTED)
	FORCEMAIN (SIZE NOTED)
	STORM SEWER (SIZE NOTED)
	WATERMAIN (SIZE NOTED)
	GAS LINE
	OVERHEAD TELEPHONE LINE
	UNDERGROUND TELEPHONE LINE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD CABLE TV LINE
	CABLE TV LINE
	FIBER OPTIC LINE
	R/W LINE
	PROPERTY LINE
	EASEMENT LINE
	BUILDING SETBACK LINE
	SECTION LINE

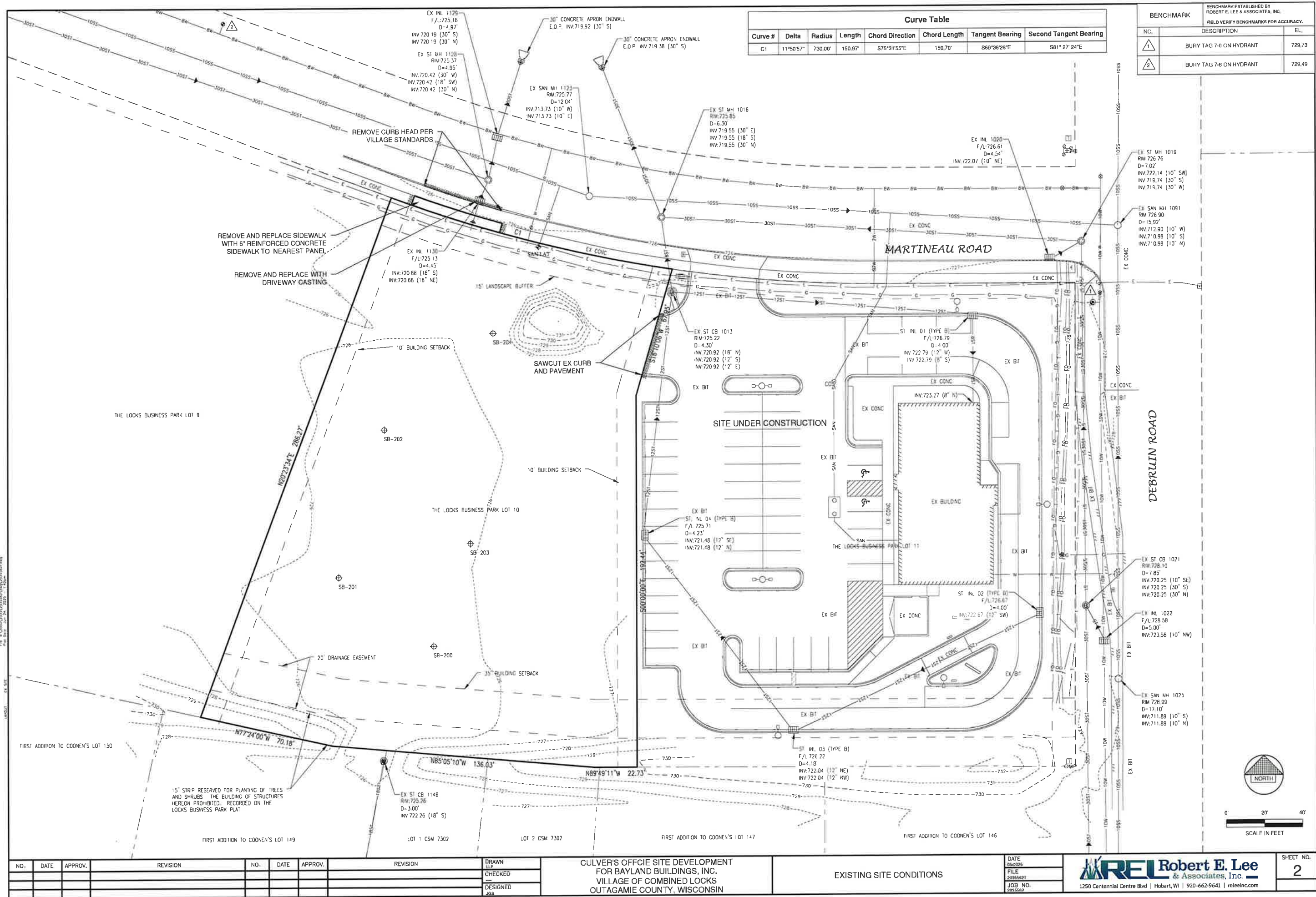
GR.	GRAVEL
BIT.	BITUMINOUS
ASPH	ASPHALT
CONC	CONCRETE
SW	SIDEWALK
BLDG	BUILDING
HSE	HOUSE
PED	PEDESTAL
PP	POWER POLE
LP	LIGHT POLE
BM	BENCH MARK

WM	WATERMAIN
HYD.	HYDRANT
WV	WATER VALVE
SAN	SANITARY SEWER
MH	MANHOLE
ST	STORM SEWER
CB	CATCH BASIN
TELE	TELEPHONE
ELEC	ELECTRIC
TV	TELEVISION
STA.	STATION

VPC	VERTICAL POINT OF CURVATURE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENCY
PC	POINT OF CURVATURE
PI	POINT OF INTERSECTION
PT	POINT OF TANGENCY
R	RADIUS
EX	EXISTING
PR	PROPOSED
EOR	END OF RADIUS
BOC	BACK OF CURB

B-B	BACK TO BACK (OF CURB)
F-F	FACE TO FACE (OF CURB)
R/W	RIGHT OF WAY
T/C	TOP OF CURB
F/L	FLOW LINE
C/L	CENTERLINE
R/L	REFERENCE LINE
INV	INVERT
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
CULV	CULVERT

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN TLP	CULVER'S OFFICE SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF COMBINED LOCKS OUTAGAMIE COUNTY, WISCONSIN	GENERAL NOTES	DATE 05/20/2025	 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO. 1
								CHECKED					FILE 20230427
								DESIGNED					JOB NO.



Curve Table						
Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing
C1	11°50.57'	730.00'	150.97'	S75°31'55"E	150.70'	S68°36'26"E

BENCHMARK		
BENCHMARK ESTABLISHED BY ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.		
NO.	DESCRIPTION	EL.
1	BURY TAG 7-0 ON HYDRANT	729.73
2	BURY TAG 7-6 ON HYDRANT	729.49

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

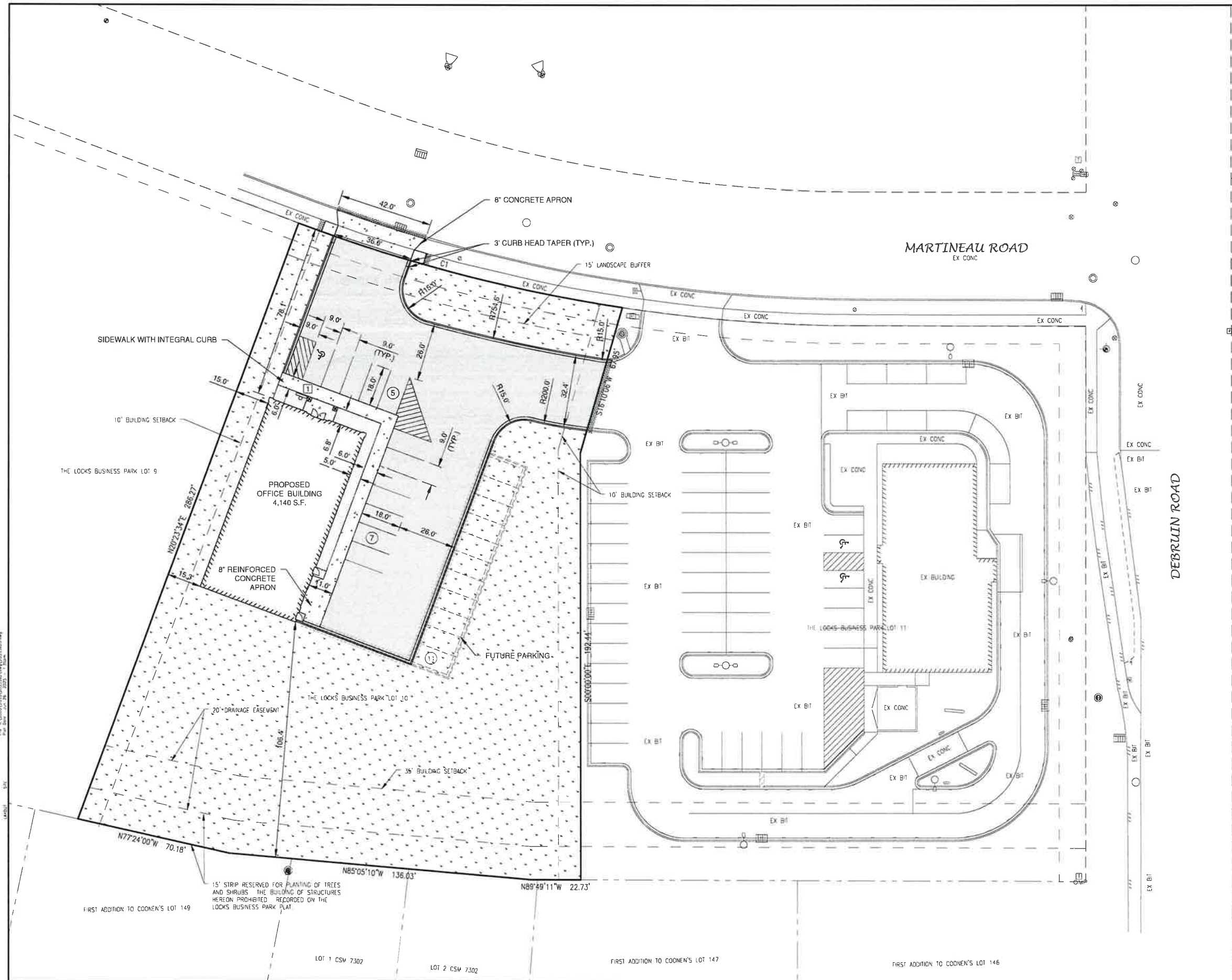
CULVER'S OFFICE SITE DEVELOPMENT
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF COMBINED LOCKS
OUTAGAMIE COUNTY, WISCONSIN

EXISTING SITE CONDITIONS	
DATE	06/20/25
FILE	20250627
JOB NO.	2025062

1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | rel@relinc.com

SHEET NO.

2



LEGEND

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT (10,79 S.F.)
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" STANDARD CURB AND GUTTER
- PROPOSED 18" MOUNTABLE CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- SIGN
- INDICATES NUMBER OF PARKING STALLS
- WALL PACK

***NOTE:** ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

NOTE
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDING AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

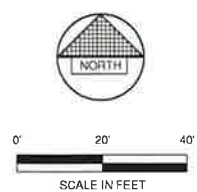
PARKING DATA
TOTAL PARKING STALLS PROVIDED = 12
HANDICAP ACCESSIBLE PARKING STALLS = 1
TOTAL PARKING STALLS REQUIRED = 10

SITE DATA
TOTAL AREA = 1.14 ACRES, 49,654 S.F.
BUILDING AREA = 0.10 ACRES, 4,140 S.F. (8.3%)
SIDEWALK/PARKING LOT AREA = 0.28 ACRES, 12,484 S.F. (25.2%)
GREEN SPACE = 0.76 ACRES, 33,030 S.F. (66.5%)

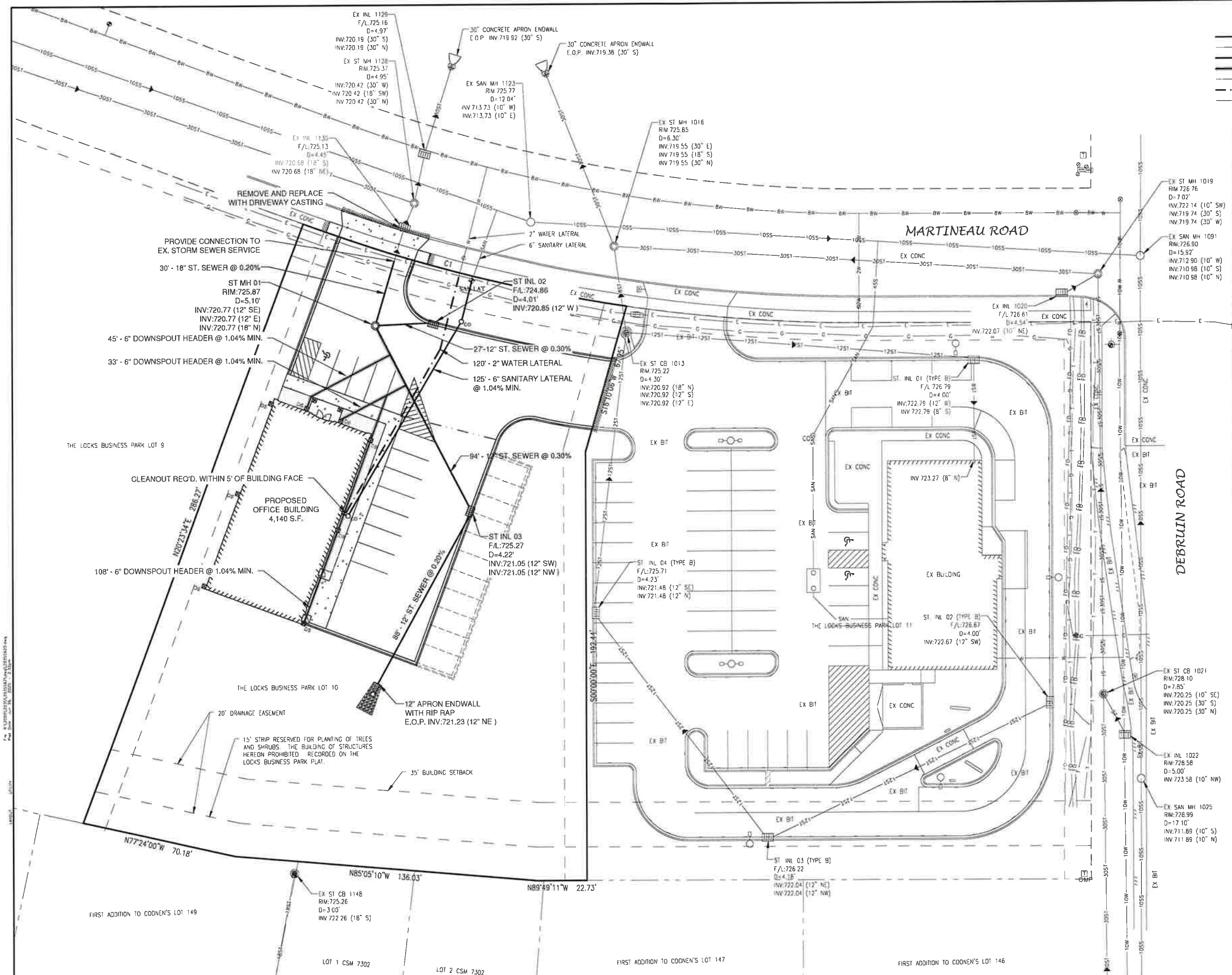
ZONING
BUSINESS PARK

PARCEL NO.
230154500

CONSTRUCTION CLASSIFICATION
VB



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN JLP	CULVER'S OFFICE SITE DEVELOPMENT FOR BAYLAND BUILDINGS, INC. VILLAGE OF COMBINED LOCKS OUTAGAMIE COUNTY, WISCONSIN	SITE PLAN	DATE 08-09-05	REL Robert E. Lee & Associates, Inc. 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO. 3
								CHECKED JUL			FILE 00764420		
								DESIGNED JUL			JOB NO. 2035040		

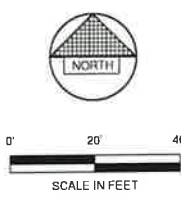


LEGEND

— BSS —	PROPOSED SANITARY SEWER
— BSS —	EXISTING SANITARY SEWER (SIZE NOTED)
— 10ST —	PROPOSED STORM SEWER
— 10ST —	PROPOSED STORM SEWER WITH INSULATION
— 10ST —	EXISTING STORM SEWER (SIZE NOTED)
— 6W —	PROPOSED WATERMAIN
— 6W —	EXISTING WATERMAIN (SIZE NOTED)

○	FIRE HYDRANT
⊗	WATER VALVE
⊗	CURB STOP
⊗	WATER MANHOLE
▽	REDUCER/INCREASER
○	SANITARY MANHOLE
□	LIFT STATION
□	TRACER WIRE SIGNAL CONNECTION BOX
○	CLEANOUT
⊗	STORM MANHOLE
⊗	STORM INLET (NOT IN CURB AND GUTTER)
⊗	STORM INLET (IN CURB AND GUTTER)
⊗	STORM INLET MANHOLE
⊗	YARD DRAIN
⊗	STANDPIPE
⊗	ROOF DOWNSPOUT
□	DISCHARGE STRUCTURE

- NOTE**
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
 3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
 4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
 5. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
 6. DOWNSPOUTS WEST SIDE OF BUILDING DRAIN TO GRADE.
 7. STORM SEWER TO HAVE GRANULAR BACKFILL.



NO.	DATE	APPROV.	REVISION

NO.	DATE	APPROV.	REVISION

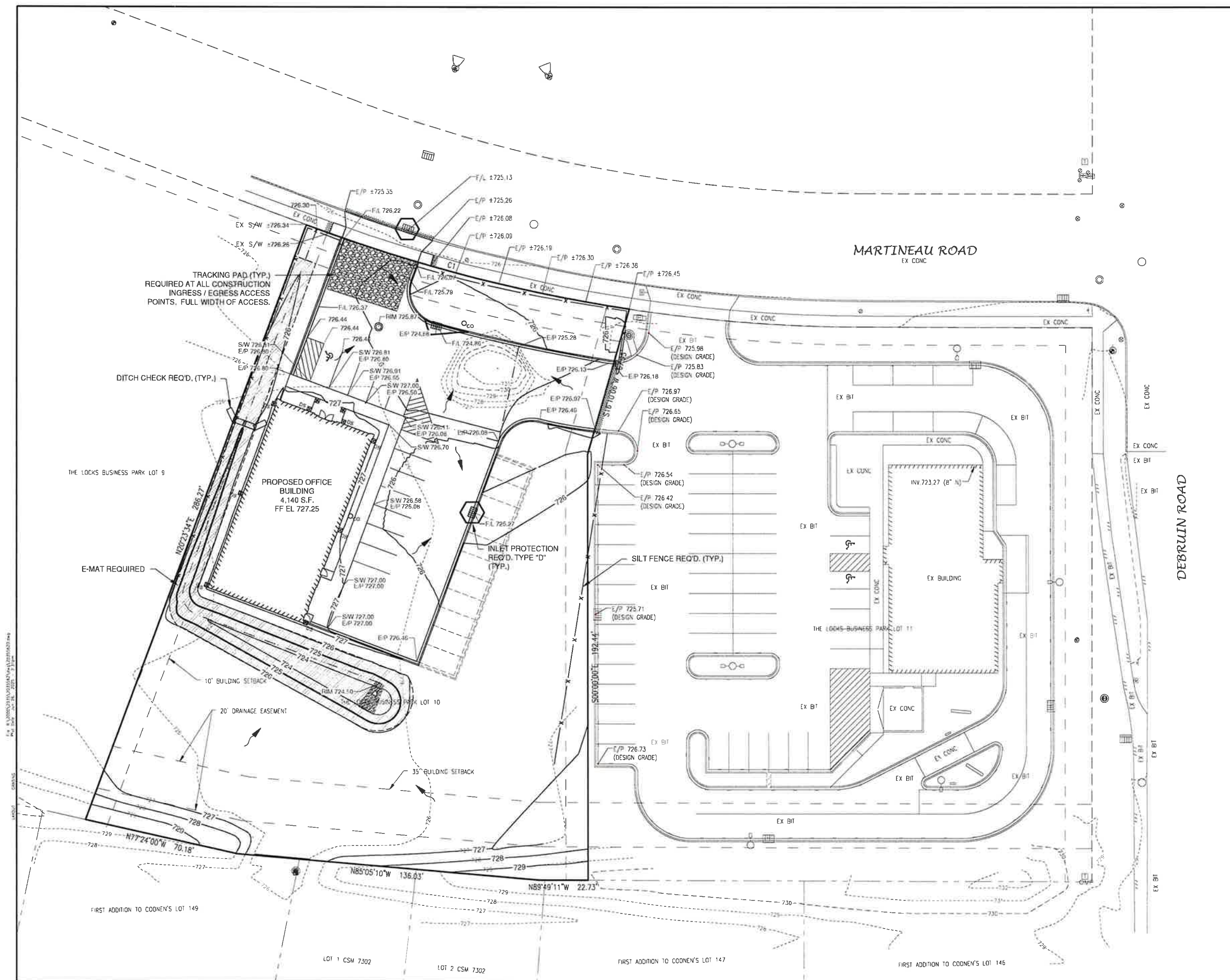
DRAWN	
CHECKED	
DESIGNED	

CULVER'S OFFICE SITE DEVELOPMENT
FOR BAYLAND BUILDINGS, INC.
VILLAGE OF COMBINED LOCKS
OUTAGAMIE COUNTY, WISCONSIN

UTILITY PLAN

DATE	05/20/20
FILE	20155420
JOB NO.	2015542

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releecinc.com



LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

Lindberg Park



Village of Combined Locks

Singletrack Trail Concept

Lindberg Park Concept ~1.4 miles per 16 acres of land.
Reference: Little Chute Island ~1.7 miles per 15 acres of land.



During the public participation exercise for redevelopment of Van Zeeland and Lindberg Parks, a popular addition to Lindberg Park was a mountain bike trail. Plan Commission members are gathering information on this possibility with the help of NEWT (Northeast Wisconsin Trails). The following is information for our research:

REFERENCES:

Here is NEWTs website: newtrailswi.org

We are a chapter of the International Mountain Bicycle Association - IMBA: imba.com

There are likely to be a lot of questions from the unknowing public. The Sheboygan group summarized great responses backed up with highly regarded references:

<https://sheboygancountycycling.org/clearing-up-misconceptions-trails-evergreen-park/>

Example urban projects:

Green Bay - Baird Creek Skills Park: <https://bairdcreek.org/skillspark/>

Sheboygan - Evergreen Park: <https://sheboygancountycycling.org/our-trails/evergreen-park-trails-campaign/>

Janesville - Palmer Urban Mountain Bike Park:

https://www.janesvillecvb.com/recreation/details/4371/273711/Palmer_Urban_Mountain-Bike_Park_PUMP

Example MOU is attached for a NEWT trail at Waukau Dam out near Omro. There are some similarities between sites with the creek, clay soil, etc.

Like I mentioned, the trail construction industry is really developing. The old days of volunteers slowly building good trail on weekends (like all current NEWT trails) are giving way to professionals installing great trails in a fraction of the time. Here are some links to learn more:

Trade association <https://www.trailbuilders.org/>

Contractors doing recent work in Wisconsin:

<https://rocksolidtrails.com/>

Dynamic Trailworx <https://www.facebook.com/dynamictrailworx>

Traction Trailworx: <https://www.facebook.com/p/Traction-Trailworx-LLC-100057315255216/>

Imba trail solutions <https://www.imba.com/programs/trail-solutions>

Home (<https://sheboygancountycycling.org/>)

Contact (<https://sheboygancountycycling.org/contact/>)

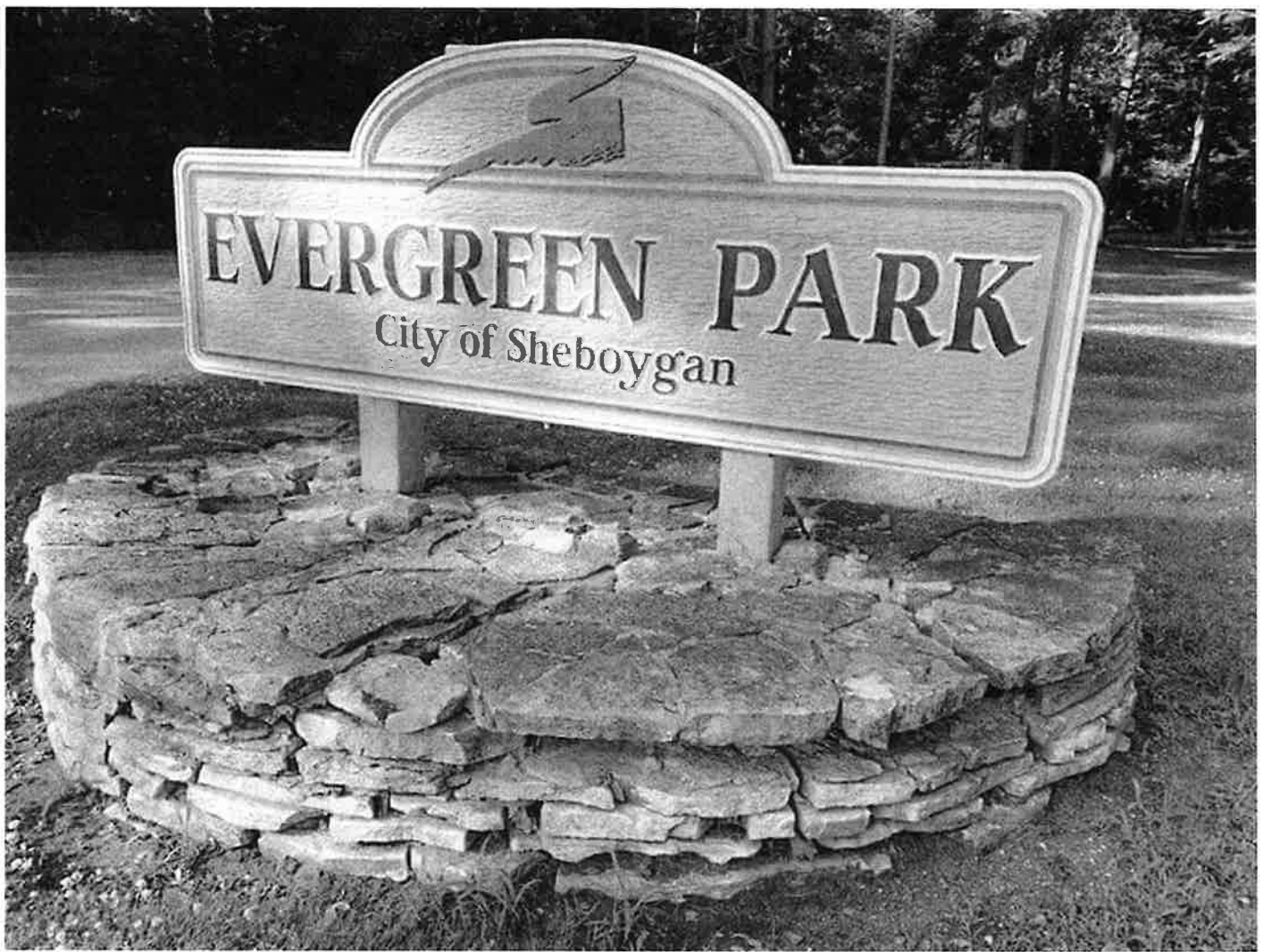
News (<https://sheboygancountycycling.org/news/>)

Calendar (<https://sheboygancountycycling.org/events/>)



Clearing up Misconceptions: Trails & Evergreen Park

June 5, 2025 / News (<https://sheboygancountycycling.org/category/news/>)



You may have heard that Sheboygan County Cycling (SCC) is proposing new or modified trails in Evergreen Park. If what you've seen online has raised concerns, you're not alone. Below are some common questions and answers to help clarify the proposal.

What is the proposal for trails in Evergreen Park?

The proposal includes multiple phases. Phase 1 – signing existing trails – is complete. Phase 2 has a heavy focus on rebuilding, rerouting, or removing old trails. The trails within Evergreen Park are decades old and suffer from erosion. Rebuilding to meet current best practices will benefit the forest and the trail user experience. Best practices include:

- Post-2007 Sustainable Trail Guidelines (Ex. USFS, American Trails, MN DNR; WI does not currently have its own trail guidelines)
- Current federal and state requirements
- Current trail-to-area ratios to minimize environmental impact (Planning Trails with Wildlife in Mind, USFS 7.1, etc.)

Phase 2 also includes adding features such as those in the proposed kid's bike playground to encourage more youth to visit the park.



Figure 1 – Typical natural surface sustainable trail shared by hikers and mountain bikers. Part of the Minnesota State Academy for the Deaf campus in Faribault, MN.

What types of trails are being proposed?

The trails would be natural surface and sustainable, as defined in the guidelines above. Widths would range from “singletrack” (<42”) to “track-and-a-half” (42”–60”). Most would support shared use for passive recreation, such as hiking and mountain biking.

Is it possible to safely share trails of these widths?

Yes. Nearly all urban trails that allow mountain biking are shared with hikers—both in Wisconsin and nationwide. This shared use is the norm, as modern federal and state guidelines are based on the principle of accommodating multiple passive recreational users.

Do the proposed trails cause undue erosion?

No. These trails are designed to maintain erosion rates comparable to surrounding soil. Over 30 years of research show that well-built and well-maintained trails do not cause soil degradation.

If current trails are badly eroded, won't the proposed trails be too?

First, the existing trails at Evergreen Park were not built to any standard and predate current guidelines. There are also many informal trails in Evergreen Park, which are notorious for erosion problems. Second, despite some online claims to the contrary, rerouting or rebuilding these trails will reduce erosion, not increase it. As noted above, modern trail guidelines are specifically designed to minimize erosion, and decades of research support their effectiveness.

Will construction start if the resolution is approved?

No. This is only a concept plan. Each phase will undergo its own review process through City Council. For example, Phase 2 would require design by a professional trail designer, securing local and state permits, and separate construction approval.

What about the “features” I’ve heard so much about online?

There’s some confusion about what trail “features” are. Features are items that add a skill challenge, usually built from natural, on-site materials, like rocks and logs. Lumber structures are another option for additional challenges or when necessary for drainage.



Figure 2 – A typical wood combined boardwalk and skill feature. Carver Lake Preserve, Woodbury, MN.



NEWT NORTH EAST WISCONSIN TRAILS

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[The Trails](#)

[About NEWT](#)

[Join NEWT](#)

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About NEWT



Trails. Adventure. Fun.

North East Wisconsin Trails (NEWT) is a 501(c)3 non-profit representing trails across northeast Wisconsin. Established in the spring of 2013, NEWT currently supports trail systems in Waupaca, Kewaunee, Winnebago, Calumet, Outagamie, and Waushara Counties. We are an IMBA- affiliated group (International Mountain Biking Association) and while a majority of our members are mountain bikers, we are dedicated to multiuse singletrack that accommodates many different types of users; bikers, hikers, trail runners, snowshoers, etc.

We are a 100% volunteer run and community supported organization. Without our volunteers and community sponsors, the wonderful trail systems we ride and support in northeast Wisconsin would not be a reality. Our mission is

to expand and maintain access in northeast Wisconsin to sustainable, multi-use trails designed purposefully for mountain biking. We aim to work with and educate all trail users and land managers about the benefits of cycling, proper trail etiquette, and sustainable trail design. We celebrate our shared joy for mountain biking with fun, family friendly trail riding events.

Over the last few years, we've expanded our trail systems, on boarded new trails, and maintained the tried and true systems. The future for mountain biking in NE Wisconsin is bright as we look at expanding our current trail systems, adding new trails at new properties.

More trails, better trails. North East Wisconsin Trails.



Calumet

Prairie Hill

Fox Crossing

Lecker

Nordic

Kewaunee

Hartman Creek

Waukau

BIKING SKILLS PARK



Work on the Bike Skills Park began June 27, 2022, thanks to major donor Bike Bike for Kids Foundation (formerly Saris Foundation) and many other local companies (see list below). **THANK YOU ALL FOR YOUR SUPPORT.**

In 2020, we commissioned Global Actions Sports Solutions (GASS) and Community Trail Design, LLC to design a gateway Bicycle Skills Park at the Triangle Hill Sports Area of the Baird Creek Greenway. The owner of GASS, Jeremy Witek of Madison, is nationally known for building these types of courses.

The addition of this purpose-built mountain bike course is to provide a fun, safe, and equitable space for youth and off-road cyclists to develop their skills on a variety of obstacles to prepare them for the technical trail system in the Greenway. The course includes a

beginner track, an intermediate track for growing skills and an advanced track for challenging experienced riders.

We have partnered with the Boys & Girls Club, YMCA, area youth groups and high school biking clubs, and local bike shops to run training camps for youth once the course was built. The Green Bay Police Department, which sees high usage of bikes at local skate parks, which is not permitted, favors the Skills Park as a place to send kids looking to test their biking skills.

Course Features

Start Hub: the start hub provides a slight gravitational push to help riders overcome features that are incorporated into each track. It will include a stone wall around the perimeter and a level platform which will be both visually appealing and will serve as a gathering place for riders.



Asphalt Pump Track: a looping trail area of berms and rollers, that are ideal for kids on striders as well as professional cyclists. The value of this track is to promote rider skills.



Beginner Track (green line): the beginner line consists of a series of constructed features with a variety of textures and shapes such as wood platforms, stone slabs, and dirt. The obstacles, features, and surfaces of the green track will help introduce riders to surface transitions, line of sight targeting, balance, and varying textures.



Intermediate Track (blue line): in order to provide additional skill building, the intermediate line transitions away from the flat hilltop and onto the slope. The intermediate track bench cuts into the slope face and use large grade reversals, changes in trail grade, and allow for flow, speed, and small airtime opportunities. The track incorporates rock and flagstone.



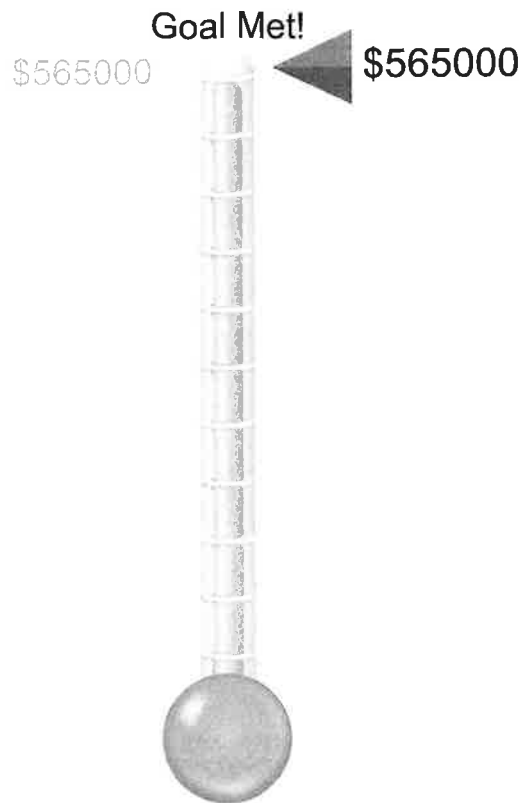
Advanced Track (black line): the advanced line takes a more direct plunge down the slope and will provide riders with both exposure and technical challenges. Using steeper trail gradient, the advanced track incorporates elements such as chunky rock gardens, rock slabs, and jumps.

Expenses

Total Cost \$565,000

- Professional Fees \$59,000
- Erosion Control \$39,000
- Skills Course Features \$135,000
 - Pump Track \$43,000
 - Labor/Build \$48,000
- Prairie Landscaping \$16,000
 - Signage \$67,000
- Warranty/Bikes/Amenities \$65,000
 - Soil Remediation \$93,000

Biking Skills Park Fundraising



Sponsors

- Saris & Hendrickson Family Foundations – \$105,000
- David L. & Rita E. Nelson Family Fund – \$80,000
- George Kress Foundation – \$60,000
- Northeast Asphalt (Walbec Group) – **Asphalt Pump Track!!!**
- Schanock Family Foundation – \$25,000
- American Foods Group, LLC – \$25,000
- Richard J. Resch Foundation, Ltd. – \$25,000
- Give Big Event – \$22,878
- Private Donor – \$15,000
- Humana – \$15,000

- Little Rapids Corporation – Egan Family Foundation – \$15,000
- Dental City – \$15,000
- Waste Management – In-Kind Services
- Robinson, Inc. – \$10,000
- Bergstrom Automotive – \$10,000
- Prevea Health – \$10,000
- P&G Fund/Greater Cincinnati Foundation – \$8,260
- Nicolet National Bank – \$7,500
- Wisconsin Public Service Foundation – \$6,500
- BelGioioso Cheese, Inc. – \$5,000
- Pete's Garage – \$5,000
- Green Bay Packers Foundation – \$5,000
- Green Bay Packers Give Back – \$5,000
- Anonymous – \$5,000
- Fairchild Equipment – \$5,000
- Broadway Enterprises Inc – \$5,000
- Bank First – \$5,000
- Schneider Foundation – \$5,000
- S & K Accounting & Tax Service Inc. – \$5,000
- Tower Clock Eye Center – \$5,000
- Daanen & Janssen Inc – In-Kind Services
- Fox Communities Credit Union – \$2,500
- Private Donor – \$2,500
- Private Donor – \$2,500
- The Mihm Family – \$2,000
- Cedar Corporation – In-Kind Services

- Creative Sign Company – In-Kind Services
- Ind. Donors – \$1,315
- Private Donor – \$1,000
- Nsight/Cellcom Community Giving – \$1,000
- Bay Tek Entertainment – \$1,000
- Dental Arts Associates of GB – \$1,000
- Breakthrough Fuel \$1,000
- Kneeland Family – \$1,000
- US Venture– \$1,000
- Village Companies – \$1,000
- MachIV – In-Kind Services
- Broken Spoke Bike Studio – \$500
- Martin Systems – \$500
- BayCare Clinic Foundation – \$500
- Precision Cut Stone – In-Kind Services
- Individuals Dec 2022 – \$495

Thank You!!!





GREEN BAY PACKAGING

GEORGE KRESS FOUNDATION

Other (a)

Date: 07/29/2025

WISCONSIN DEPARTMENT OF REVENUE
2025 STATEMENT OF CHANGES IN EQUALIZED VALUES BY CLASS AND ITEM

EQVAL912WI
 PAGE 22 OF 47

County 44 Outagamie
 Village 111 Combined Locks

REAL ESTATE	2024 RE Equalized Value	Removal of Prior Year Compensation	% Change	\$ Amount of Economic Change	% Change	\$ Amount of New Constr	% Change	Correction & Compensation	% Change	\$ Amount of All Other Changes	% Change	2025 RE Equalized Value	Total \$ Change in R.E. Value	% Change
Residential														
Land	91,955,200	0	0%	5,430,200	6%	140,000	0%	-2,902,400	-3%	7,000	0%	94,630,000	2,674,800	3%
Imp	392,188,300	0	0%	23,493,200	6%	4,042,800	1%	-1,268,400	0%	-3,700	0%	418,452,200	26,263,900	7%
Total	484,143,500	0	0%	28,923,400	6%	4,182,800	1%	-4,170,800	-1%	3,300	0%	513,082,200	28,938,700	6%
Commercial														
Land	3,806,100	0	0%	0	0%	0	0%	0	0%	0	0%	3,806,100	0	0%
Imp	6,407,700	0	0%	0	0%	0	0%	35,400	1%	0	0%	6,443,100	35,400	1%
Total	10,213,800	0	0%	0	0%	0	0%	35,400	0%	0	0%	10,249,200	35,400	0%
Manufacturing														
Land	1,395,600	0	0%	44,900	3%	0	0%	0	0%	0	0%	1,440,500	44,900	3%
Imp	13,853,800	0	0%	923,100	7%	0	0%	0	0%	0	0%	14,776,900	923,100	7%
Total	15,249,400	0	0%	968,000	6%	0	0%	0	0%	0	0%	16,217,400	968,000	6%
Agricultural														
Land/Total	0	0	0%	1,300	0%	0	0%	49,600	0%	-7,200	0%	43,700	43,700	0%
Undeveloped														
Land/Total	0	0	0%	400	0%	0	0%	1,200	0%	3,600	0%	5,200	5,200	0%
Ag Forest														
Land/Total	0	0	0%	0	0%	0	0%	0	0%	0	0%	0	0	0%
Forest														
Land/Total	2,000	0	0%	0	0%	0	0%	-4,000	-200%	4,300	215%	2,300	300	15%
Other														
Land	0	0	0%	0	0%	0	0%	0	0%	0	0%	0	0	0%
Imp	0	0	0%	0	0%	0	0%	0	0%	0	0%	0	0	0%
Total	0	0	0%	0	0%	0	0%	0	0%	0	0%	0	0	0%
Total Real Estate														
Land	97,158,900	0	0%	5,476,800	6%	140,000	0%	-2,855,600	-3%	7,700	0%	99,927,800	2,768,900	3%
Imp	412,449,800	0	0%	24,416,300	6%	4,042,800	1%	-1,233,000	0%	-3,700	0%	439,672,200	27,222,400	7%
Total	509,608,700	0	0%	29,893,100	6%	4,182,800	1%	-4,088,600	-1%	4,000	0%	539,600,000	29,991,300	6%
TOTAL EQUALIZED VALUE	2024 Total											2025 Total	Total \$ Change	% Change
Real Estate	509,608,700											539,600,000	29,991,300	6%