

## NOTICE OF VILLAGE BOARD MEETING

**DATE:** Tuesday, November 18, 2025

**TIME:** 6:30pm

**LOCATION:** Combined Locks Civic Center,  
Council Chambers, 405 Wallace Street

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### AGENDA

#### **VILLAGE BOARD – 6:30pm**

- A. Call to order
- B. Pledge of Allegiance
- C. Roll call
1. Public comment for matters not on the agenda
2. Public hearing regarding 2026 General Fund Budget and tax levy for municipal purposes
3. Consider motion to approve Resolution 2025-12; adopting the 2025 tax levy for the 2026 General Fund Budget
4. Hear report of fundraising efforts from Fire/EMS Chief
5. Review and discuss options for Fire/EMS proposed remodel project
6. Review and consider approval of 2026 Storm Water Utility Budget
7. Review and consider approval of 2026 Sanitation Fund Budget
8. Review proposed 2026 Water Utility Fund Budget
9. Review proposed 2026 Sanitary Sewer Utility Fund Budget
10. Other business, updates and future agenda items:
  - a. Expiring terms: Tim Stutzman, Allan Leicht, and Laura Lindberg
  - b. December meeting date 12/09/25; if appropriate
11. Consider motion to move into closed session per Wis. Stat. 19.85(c) for the purpose of considering employment, promotion, compensation, or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility – *general wage & benefit discussion*
12. Consider motion to return to open session; action if appropriate
13. Adjourn

**Public Notice:** Agendas are posted in the following locations: Combined Locks Civic Center main entrance and Village website: [www.combinedlocks.wi.gov](http://www.combinedlocks.wi.gov). 2015 Wisconsin Act 79 allows the publication of certain legal notices on an internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an internet site maintained by the local government.

**Special Accommodations:** Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 405 Wallace Street, 920-788-7740 extension 203 or email at [gieser@combinedlocks.wi.gov](mailto:gieser@combinedlocks.wi.gov).

**Notice of Possible Quorum:** A quorum of the Board of Review, Zoning Board of Appeals, Plan Commission, or other Village committee may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Board of Review, Zoning Board of Appeals, Plan Commission, or other Village committee will be taken at this meeting.

## Item #2

**Village of Combined Locks  
2026 General Fund Budget**

		<u><b>2023</b></u>		<u><b>2024</b></u>		<u><b>2025</b></u>		<u><b>2026</b></u>
<b>REVENUES</b>								
Tax Levy	\$	1,825,970	\$	1,930,578	\$	1,791,541	\$	1,863,203
Special Assessments		9,549		13,084		10,107		120,000
Intergovernmental Revenues		691,837		783,717		1,217,938		838,798
Licenses & Permits		83,467		91,242		89,480		103,116
Fines, Forfeitures & Penalties		2,400		3,000		3,500		3,250
Public Charges for Services		64,275		80,675		74,675		78,125
Intergovernmental Charges for Services		538,227		537,518		578,903		579,951
Miscellaneous Revenue		28,403		36,513		36,798		39,000
Proceeds Long Term Debt or Reserve Funds		2,138,000		-		2,150,000		170,000
<b>EXPENSES</b>								
Legislative	\$	39,794	\$	38,406	\$	38,365	\$	38,365
Executive		6,215		6,215		6,215		6,215
General Administration		200,978		220,363		218,799		234,864
Financial Administration		67,519		50,871		50,450		66,778
Legal		10,700		9,300		8,868		13,668
Buildings		95,349		102,750		100,050		101,460
Other General Government		344,608		368,556		387,596		369,773
Public Safety		631,427		671,560		742,276		759,281
Inspections-Engineering		22,105		20,010		27,185		31,685
Public Works		697,154		694,987		739,736		745,664
Parks & Recreation		90,281		102,761		108,069		115,668
Capital Projects		2,336,447		343,422		2,439,328		321,228
Debt Service		839,551		847,127		1,084,547		990,793
<b>Total Revenues</b>	\$	5,382,128	\$	3,476,327	\$	5,952,941	\$	3,795,443
<b>Total Expenses</b>	\$	5,382,128	\$	3,476,327	\$	5,951,485	\$	3,795,443

**VILLAGE OF COMBINED LOCKS  
RESOLUTION 2025-12**

**ADOPTING THE 2025 TAX LEVY FOR THE 2026 GENERAL FUND BUDGET FOR THE  
VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN**

WHEREAS, the Village of Combined Locks Board of Trustees is appropriating the necessary funds for the operation of the government and administration of the Village of Combined Locks for the year 2026; and

WHEREAS, there is hereby appropriated out of the receipts of the Village of Combined Locks for the year 2026, including monies received from the general property tax levy, to the various purposes specified in the budget publication notice attached as Exhibit “A”; and

WHEREAS, the Village of Combined Locks general property tax levy for 2025 has been increased by the amount authorized in accordance with Wisconsin Statute 66.0602, to include an allowable adjustment; and

WHEREAS, the tax levy of \$1,863,203 is to be levied upon all taxable property in the Village of Combined Locks as recorded by the Assessor as of January 1, 2025, to be used in accordance with this general fund budget; and

WHEREAS, the Clerk-Treasurer is hereby authorized to distribute this tax over properties listed on the current assessment roll and is ordered to collect the same. The additional tax relating to Tax Incremental Districts #2 and #3 is also hereby levied and shall be calculated by the Clerk-Treasurer as prescribed by law. The Clerk-Treasurer is ordered to collect the same.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Combined Locks there is hereby levied the tax levy amount of \$1,863,203 on all taxable property within the Village of Combined Locks to support the 2026 General Fund Budget.

Approved this 18<sup>th</sup> day of November, 2025, by a vote of \_\_\_\_\_aye, \_\_\_\_\_nay, with \_\_\_\_\_members absent.

\_\_\_\_\_  
John Neumeier, Village President

Attest: \_\_\_\_\_  
Racquel Shampo-Giese, Village Administrator-Clerk-Treasurer

## EXHIBIT "A"

### PROPOSED BUDGET SUMMARY

GENERAL FUND	2025 Adopted	2026 Proposed	% Change
Revenues:			
Taxes	\$ 1,791,541	\$ 1,863,203	4.00%
Special Assessments	10,107	120,000	
Intergovernmental Revenues	1,217,938	838,798	
Licenses & Permits	89,480	103,116	
Fines, Forfeitures & Penalties	3,500	3,250	
Public Charges for Services	74,675	78,125	
Intergovernmental Charges for Services	578,903	579,951	
Miscellaneous Revenue	36,798	39,000	
Other Financing Sources	2,150,000	170,000	
<b>Total Revenues:</b>	<b>\$ 5,952,941</b>	<b>\$ 3,795,443</b>	
Expenditures:			
General Government	\$ 837,530	\$ 862,808	
Public Safety	742,276	759,281	
Public Works	739,736	745,664	
Parks & Recreation	108,069	115,668	
Debt Service	1,084,547	990,793	
Capital Projects	2,439,328	321,228	
<b>Total Expenditures:</b>	<b>\$ 5,951,485</b>	<b>\$ 3,795,443</b>	



OPINION OF PROBABLE COSTS			McMAHON	
Combined Locks FD Option #3			ENGINEERS ARCHITECTS	
10/31/2025				
SCOPE OF WORK	DESCRIPTION	%	CONSTRUCTION COSTS	
Construction Demolition	Allowance		\$	65,500.00
Mezzanine	Steel framing, concrete footings/patching, guardrails		\$	75,600.00
Interior Finishes	Epoxy ,Tile, Paint, casework, ceilings		\$	230,000.00
Doors	Install, finish and hardware		\$	20,000.00
MEP	Upgrades		\$	105,000.00
Fire Protection	N/A		\$	-
Specialties	Accessories		\$	1,000.00
Exterior work	Brick, stoop, paving patching		\$	50,000.00
General Conditions	Contractor OH&P/Insurance/Equipment		\$	80,000.00
CONSTRUCTION SUBTOTAL			\$	627,100.00
DESIGN	DESCRIPTION	%	DESIGN COSTS	
Architecture	Not Included		\$	-
Structural Engineering	Not Included		\$	-
MEP/FP Engineering	Not Included		\$	-
Civil Engineering	Not Included		\$	-
CONSTRUCTION SUBTOTAL			\$	-
OWNER ALLOWANCES	DESCRIPTION		ALLOWANCE COSTS	
A/V	Not Included		\$	-
Security	Not Included		\$	-
Furnishings	Not Included		\$	-
Window Treatments	Not Included		\$	-
Signage	Not Included		\$	-
Owner Contingency	15%		\$	94,065.00
Relocation Cost	Not Included		\$	-
CONSTRUCTION SUBTOTAL			\$	94,065.00
CONSTRUCTION GRAND TOTAL			\$	721,165.00



# ALTERATION OPTION 3 FOR: COMBINED LOCKS FIRE DEPARTMENT

405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113

## SHEET INDEX

SHEET NO.	SHEET DESCRIPTION	ISSUED FOR OWNER REVIEW SEPTEMBER 10, 2025	OPTION 3 ISSUED FOR OWNER REVIEW OCTOBER 31, 2025
GENERAL			
G001	TITLE SHEET	X	X
G013	LIFE SAFETY PLAN	X	X
CIVIL			
C100	CIVIL IMPROVEMENTS	X	
ARCHITECTURAL			
A110	FIRST FLOOR EXISTING PLAN	X	X
A111	FIRST FLOOR DEMOLITION PLAN	X	X
A211	ENLARGED FIRST FLOOR PLAN	X	X
A241	FINISH PLAN		X
A271	REFLECTED CEILING PLAN		X
A291	DOOR SCHEDULE, DOOR & WINDOW ELEVATIONS		
A301	EXTERIOR ELEVATIONS	X	X
A311	BUILDING SECTIONS	X	X
A312	BUILDING SECTIONS	X	X
A411	ENLARGED PLANS & ELEVATIONS	X	X
MECHANICAL			
M001	MECHANICAL NARRATIVE	X	
ELECTRICAL			
E001	ELECTRICAL NARRATIVE	X	
E002	ELECTRICAL NARRATIVE	X	
PLUMBING			
P001	PLUMBING NARRATIVE	X	
P002	PLUMBING NARRATIVE	X	

## PROJECT LOCATION MAP



## PROJECT LOCATION

## DESIGN TEAM

ARCHITECTURAL

McMAHON  
1445 McMAHON DRIVE  
NEENAH, WI 54956  
(920) 751-4200  
PROJECT MANAGER: MICHAEL MARTIN  
E-MAIL: [mmartin@mcmgrp.com](mailto:mmartin@mcmgrp.com)

ABBREVIATIONS					
@	AT	FD	FLOOR DRAIN	STD	STANDARD
ACT	ACOUSTICAL TILE	FE	FIRE EXTINGUISHER	STL	STEEL
ADA	AMERICANS W/ DISABILITIES ACT	FEC	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURAL
ADDL	ADDITIONAL	FIN	FINISH / FINISHED	T&B	TOP AND BOTTOM
ADJ	ADJUSTABLE	FL	FLOOR	T&G	TONGUE & GROOVE
AFF	ABOVE FINISHED FLOOR	FND	FOUNDATION	T	TREAD
ALT	ALTERNATE / ALTERNATIVE	FUT	FUTURE	TBD	TO BE DETERMINED
ALUM	ALUMINUM	GALV	GALVANIZED	TYP	TYPICAL
BLDG	BUILDING	GC	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE
BLKG	BLOCKING	GYP BD	GYP SUM BOARD	W/	WITH
BOT	BOTTOM	HB	HOSE BIB	W/O	WITHOUT
BRG	BEARING	HDCP	HANDICAP	WD	WOOD
CL / t	CENTERLINE	HM	HOLLOW METAL		
CAB	CABINET	HR	HOUR		
CJ	CONTROL JOINT	ID	INSIDE DIAMETER		
CLG	CEILING	IMP	INSULATED METAL PANEL		
CLO	CLOSET	INSUL	INSULATION		
CLR	CLEAR	INT	INTERIOR		
CMU	CONCRETE MASONRY UNIT	LAV	LAVATORY		
COL	COLUMN	MAX	MAXIMUM		
CONC	CONCRETE	MECH	MECHANICAL		
CONST	CONSTRUCTION	MISC	MISCELLANEOUS		
CONT	CONTINUOUS	MFG	MANUFACTURER		
COORD	COORDINATE	MIN	MINIMUM		
CORR	CORRIDOR	MO	MASONRY OPENING		
CTR	CENTER	NIC	NOT IN CONTRACT		
DF	DRINKING FOUNTAIN	NTS	NOT TO SCALE		
DIA / Ø	DIAMETER	OC	ON CENTER		
DIM	DIMENSION	OD	OUTSIDE DIAMETER		
DS	DOWNSPOUT	OSB	ORIENTED STRAND BOARD		
DTL	DETAIL	PC	PRECAST		
DW	DISHWASHER	PLAM	PLASTIC LAMINATE		
DWG	DRAWING	PR	PAIR		
EA	EACH	QT	QUARRY TILE		
EF	EACH FACE	R	RISER		
ELEC	ELECTRIC / ELECTRICAL	RD	ROOF DRAIN		
ELEV	ELEVATION	REINF	REINFORCING / REINFORCED		
ENCL	ENCLOSURE / ENCLOSED	REQ	REQUIRED		
EQ	EQUAL	RM	ROOM		
EQUIP	EQUIPMENT	RO	ROUGH OPENING		
EW	EACH WAY	SC	SEALED CONCRETE		
EWG	ELECTRIC WATER COOLER	SCHED	SCHEDULE		
EXTG	EXISTING	SF	SQUARE FOOT		
EXH	EXHAUST	SIM	SIMILAR TO		
EXT	EXTERIOR	SPEC	SPECIFICATION		
F	FILLER PANEL	SS	STAINLESS STEEL		

SYMBOL KEY			
<p>DIRECTION SECTION IS CUT</p> <p>SECTION NUMBER</p> <p>A351</p> <p>SHEET SECTION APPEARS ON</p>	<p>ELEVATION NUMBER</p> <p>A351</p> <p>SHEET ELEVATION APPEARS ON</p>	<p>DESCRIPTION</p> <p>FIRST FLOOR</p> <p>100'-0"</p> <p>ELEVATION</p>	<p>GRID DESIGNATION</p>
<u>SECTION</u>	<u>ELEVATION</u>	<u>ELEVATION DATUM</u>	<u>COLUMN GRID</u>
<p>DETAIL NUMBER</p> <p>A351</p> <p>SHEET DETAIL APPEARS ON</p>	<p>1 DIRECTION OF ELEVATION</p> <p>2 ELEVATION NUMBER</p> <p>A351</p> <p>SHEET ELEVATION APPEARS ON</p>	<p>ROOM NAME</p> <p>ROOM NUMBER</p>	<p>CEILING TYPE</p> <p>CEILING HEIGHT</p>
<u>DETAIL</u>	<u>INTERIOR ELEVATION</u>	<u>ROOM NAME &amp; NUMBER</u>	<u>CEILING KEY</u>
<p>TYPE ID</p> <p>E1 ELEMENT DESCRIPTION</p>	<p>WINDOW NUMBER</p>	<p>2</p>	<p>REVISION CLOUD AROUND REVISED ITEMS</p>
<u>EQUIPMENT TYPE</u>	<u>WINDOW TYPE</u>	<u>PLAN KEYNOTE</u>	<u>REVISION</u>
<p>WALL ID</p>	<p>DOOR NUMBER</p>	<p>A1</p>	<p>1A</p>
<u>WALL TYPE</u>	<u>DOOR TYPE</u>	<u>ACCESSORY KEYNOTE</u>	<u>DEMOLITION KEYNOTE</u>

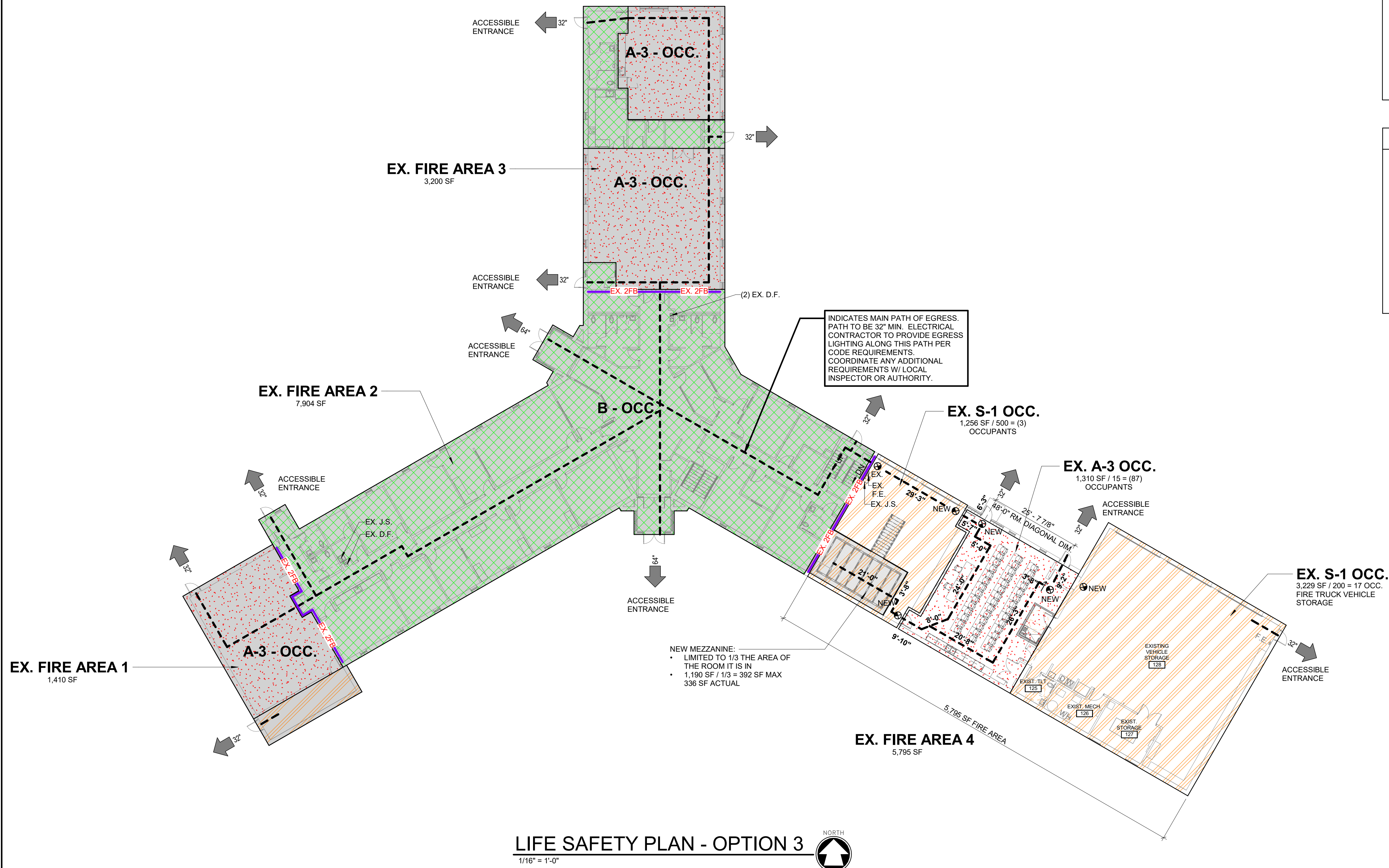
**IMPORTANT NOTICE:** THE DRAWINGS AND THE SPECIFICATIONS TOGETHER REPRESENT THE CONSTRUCTION DOCUMENTS, AND AS SUCH, MUST BE USED TOGETHER AS THE BASIS OF DESIGN. THE CONTRACTOR IS SPECIFICALLY INSTRUCTED NOT TO LIMIT THEIR UNDERSTANDING OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION TO REVIEW ALL INFORMATION IN BOTH THE DRAWINGS AND SPECIFICATIONS, AND IS THEREFORE, REQUIRED TO PROVIDE ALL DEFINED, AND REASONABLY IMPLIED, SCOPE OF WORK NO MATTER WHERE IT APPEARS IN THE CONSTRUCTION DOCUMENTS. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MODIFICATIONS, CLARIFICATIONS, ADDENDUMS AND/OR OTHER INFORMATION AND INCORPORATE THE INFORMATION INTO THE CONTRACTOR'S UNDERSTANDING OF THE SCOPE OF THE PROJECT.

**10/31/25 OPTION 3 OPC SET**

PRELIMINARY NOT FOR CONSTRUCTION





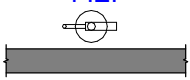

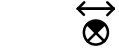

<div>McMAHON</div> <div>ENGINEERS ARCHITECTS</div> <div>McMAHON ASSOCIATES, INC. 1445 McMAHON DRIVE NEENAH, WI 54956 Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025 Tel: (920) 751-4200 Fax: (920) 751-4284 www.mcmgrp.com</div>		<div>McMahon Associates, Inc. provides this document as a design instrument, as instruments of service. All rights including copyrights are retained by McMahon Associates, Inc. The client holds McMahon Associates, Inc. harmless for any reuse of or charges without prior written consent by McMahon Associates, Inc.</div>		
		NO.	DATE	REVISION



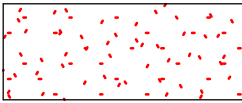
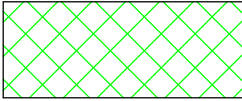
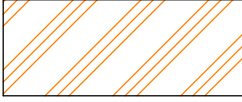


**10/31/25 OPTION 3 OPC SET**

## CODE KEY

	EMERGENCY EXIT PATH OF TRAVEL
	2 HOUR FIRE BARRIER
	2 HOUR FIRE SMOKE BARRIER
	FIRE EXTINGUISHER CABINET (SEM-RECESSED)
	WALL MOUNTED FIRE EXTINGUISHER
	EXIT DISCHARGE PROVIDED (CLEAR WIDTH IN INCHES)
	EXIT SIGN
	RATED FLOOR / CEILING ASSEMBLY UL DESIGN NO. XXXX

# OCCUPANCY CLASSIFICATION

	ASSEMBLY (A-3)
	BUSINESS (B)
	STORAGE (S-1, S-2)

PC SET

**ALTERATION OPTION 3 FOR:  
COMBINED LOCKS FIRE DEPARTMENT  
STATION, VILLAGE OF COMBINED LOCKS  
LIFE SAFETY PLAN**

**ALTERATION OPTION 3 FOR:  
COMBINED LOCKS FIRE DEPARTMENT  
405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113  
LIFE SAFETY PLAN**

DESIGNED MAM	DRAWN AAT
PROJECT NO. C0006 062500120	
DATE OCTOBER 31, 2025	
SHEET NO.	

G013

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[www.mcmahon.com](http://www.mcmahon.com)





# EXISTING FIRST FLOOR - EAST WING



**10/31/25 OPTION 3 OPC SET**  
PRELIMINARY NOT FOR CONSTRUCTION

**ALTERATION OPTION 3 FOR:**

COMBINED LOCKS FIRE DEPARTMENT  
405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113  
FIRST FLOOR EXISTING PLAN

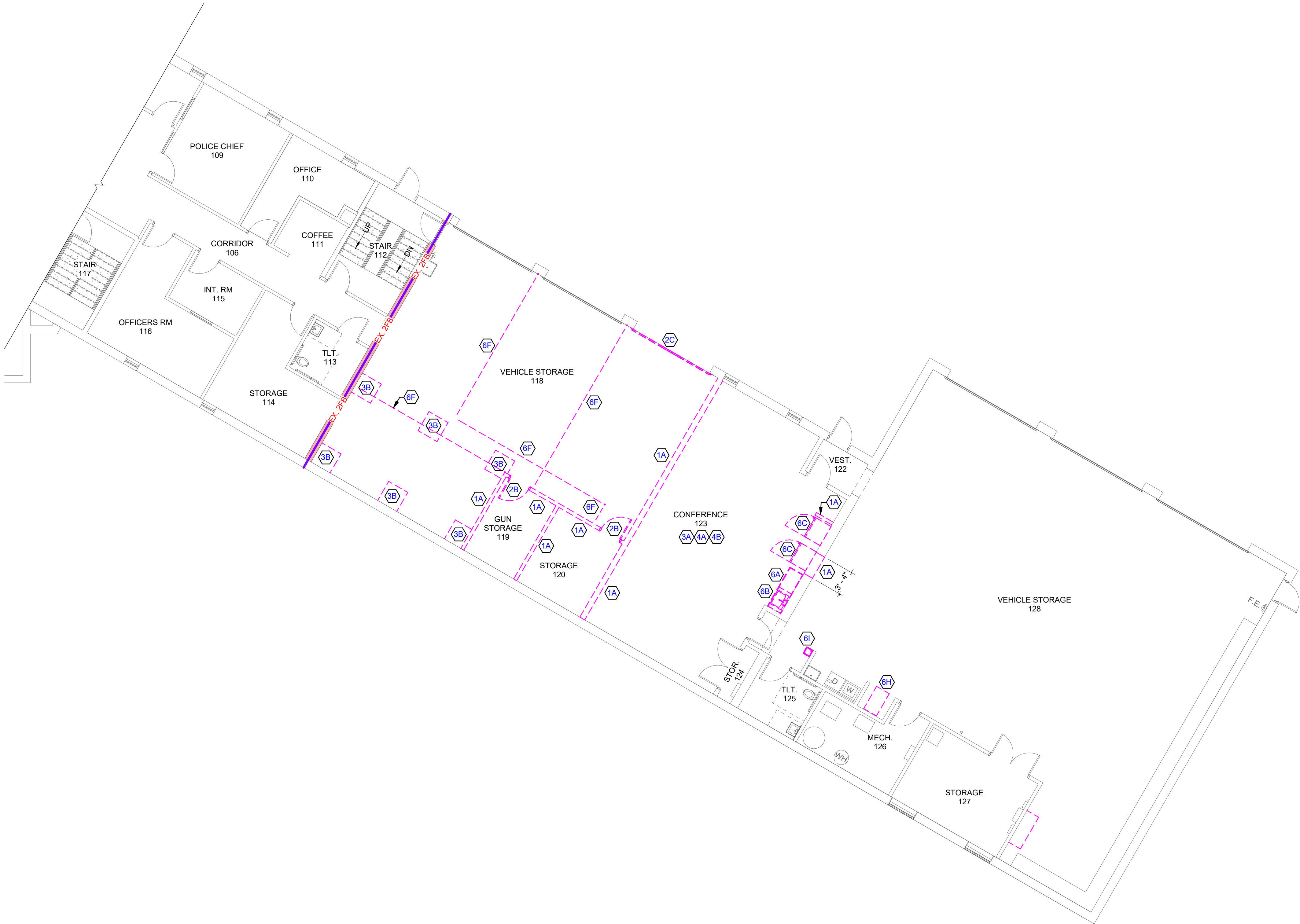
DESIGNED MAM	DRAWN AAT
PROJECT NO. C0006 062500120	
DATE OCTOBER 31, 2025	
SHEET NO.	

# A110

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FIRST FLOOR - EAST WING DEMOLITION PLAN

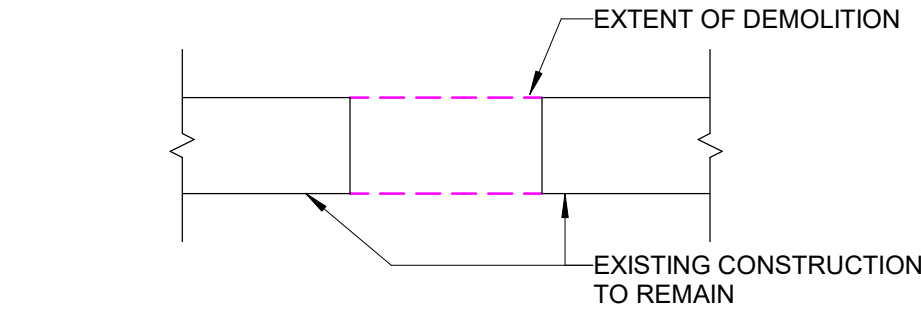
1/8" = 1'-0"

NORTH

GENERAL DEMOLITION NOTES

- EXISTING BUILDING HAS BEEN SHOWN ACCORDING TO ORIGINAL BUILDING PLANS, FIELD NOTES AND MEASUREMENTS. EXISTING CONDITIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTORS AND DISCREPANCIES REPORTED TO THE ARCHITECT.
- DASHED LINES INDICATE EXISTING WALLS, DOORS, WINDOWS, CABINETS & FIXTURES TO BE REMOVED.
- EXISTING WALLS, PARTITIONS, FLOOR LINES, DOORS AND FRAMES THAT REMAIN ARE SHOWN IN CONTINUOUS LINE WEIGHT. THESE AND EXISTING FLOOR AND WALL FINISHES THAT ARE SCHEDULED TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.
- WHERE WALLS OR PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE ENTIRE WALL OR PARTITIONS AS WELL AS DUCTS, PIPING, CONDUITS AND OTHER ELEMENTS IN OR ON THEM WHICH MAY OR MAY NOT BE SPECIFICALLY IDENTIFIED, UNLESS OTHERWISE NOTED. PATCH EXISTING ADJACENT CONSTRUCTION THAT IS TO REMAIN WHERE APPLICABLE.
- THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL DOORS, HARDWARE, FIXTURES AND EQUIPMENT BEING REMOVED DURING DEMOLITION. COORDINATE WITH OWNER ALL EQUIPMENT TO BE SALVAGED AND/OR REUSED ON THE PROJECT.
- EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES.
- MAINTAIN AND PROTECT EXISTING UTILITY SERVICES TO REMAIN AND/OR TO BE OPERATIONAL DURING DEMOLITION AND CONSTRUCTION.
- ALL FIELD VERIFICATION FOR PLUMBING, MECHANICAL & ELECTRICAL DEMOLITION IS THE CONTRACTOR'S RESPONSIBILITY.
- SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED BY THESE DRAWINGS BUT SHALL INCLUDE ANY AND ALL WORK NECESSARY TO FACILITATE NEW CONSTRUCTION.
- CONTRACTOR TO PROTECT AREAS ADJACENT TO DEMOLITION DURING CONSTRUCTION.
- PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- DEMOLITION WORK PERFORMED THAT IS NOT REQUIRED FOR NEW CONSTRUCTION IS TO BE REPLACED AT NO CHARGE TO THE OWNER.
- ALL SHUTDOWNS OF MECHANICAL, SPRINKLER, FIRE ALARM AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER.
- CONTRACTOR TO COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION AS SHOWN ON DRAWINGS. REPORT ANY CONFLICTS TO THE ARCHITECT BEFORE DEMOLITION WORK BEGINS.
- SEQUENCE OF DEMOLITION WORK TO BE COORDINATED WITH NEW CONSTRUCTION.
- SEE OTHER DISCIPLINES' DRAWINGS FOR EXTENT OF ITEMS TO BE REMOVED AND SALVAGED FOR RE-USE.
- REFER TO SPECIFICATIONS SECTION 01 70 00 "CUTTING AND PATCHING" SECTION FOR WORK REQUIRED BY ALL TRADES WHETHER INDICATED ON THE DRAWINGS OR NOT.

GENERAL DEMOLITION LEGEND



KEYED DEMOLITION NOTES

DEMO WALLS

- 1A SITE CLEAR EXISTING WALL AS REQUIRED FOR NEW WORK.

DEMO OPENINGS

- 2B SITE CLEAR EXISTING DOOR AND FRAME.  
2C SITE CLEAR EXISTING OVERHEAD DOOR

DEMO FLOORS

- 3A SITE CLEAR EXISTING FLOORING. PATCH AND PREP FLOOR FOR NEW WORK.  
3B REMOVE EXISTING CONCRETE FOR NEW FOOTING

DEMO CEILINGS

- 4A SITE CLEAR EXISTING CEILING TILE AND GRID SYSTEM.  
4B SITE CLEAR EXISTING CEILING FIXTURE(S).

DEMO MISC

- 6A SITE CLEAR EXISTING CASEWORK & COUNTERTOP  
6B SITE CLEAR EXISTING SINK  
6C REMOVE & REUSE EXISTING REFRIGERATOR BY OWNER  
6F SITE CLEAR EXISTING INTERIOR FENCE  
6H SITE CLEAR EXISTING COMPRESSOR  
6I REMOVE EXISTING DRINKING FOUNTAIN & CAP PIPING

10/31/25 OPTION 3 OPCSET

PRELIMINARY NOT FOR CONSTRUCTION

ALTERATION OPTION 3 FOR:  
COMBINED LOCKS FIRE DEPARTMENT  
405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113  
FIRST FLOOR DEMOLITION PLAN

DESIGNED MAM	DRAWN AAT
PROJECT NO. C0006 062500120	
DATE OCTOBER 31, 2025	
SHEET NO. A111	

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TECHNICAL DATA

Model	Charging Rate <sup>1</sup>		Number of Stages	Motor		FAD <sup>2</sup>	RPM	Purification System
	SCFM	l/min		HP	kW			
6000 PSIG (414 BAR)								
Legacy 2-8 E1/E3	8	227	3	7.5	5.6	7.5	1450	P2 B-SECURUS
Legacy 2-13 E1/E3	13	368	4	10	7.5	10.8	1420	P2 B-SECURUS
Legacy 2-18 E3	18	510	4	15	11	15	1325	P6 B-SECURUS

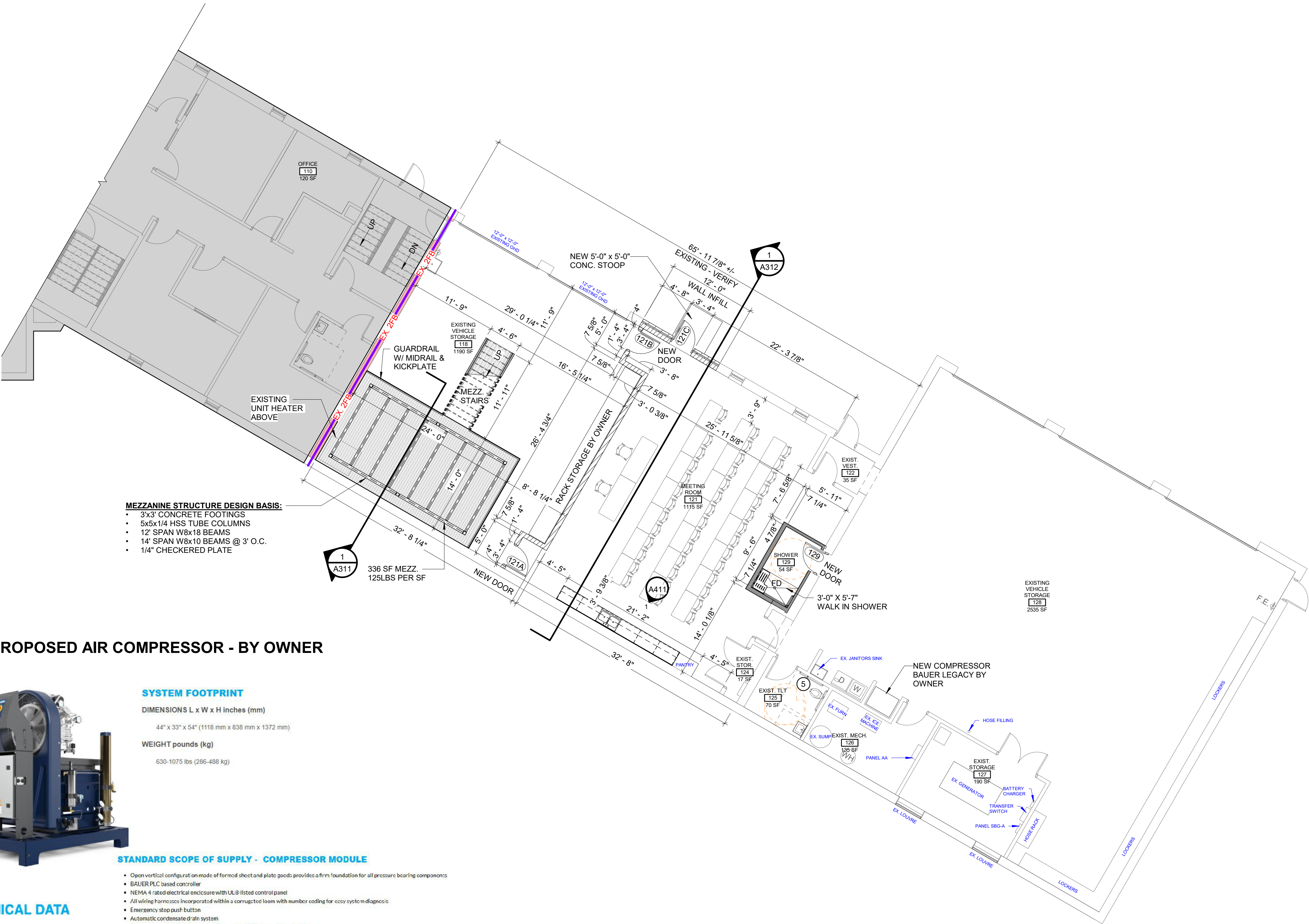
1) Based on recharging an 80 cubic foot tank from 500 to 3000 psig.  
2) Compressor capacity referenced to standard inlet conditions.

E1= Single phase electric, 230 VAC/60 Hz  
E3=Three phase electric, 208 VAC/60 Hz

PROPOSED AIR COMPRESSOR - BY OWNER

**SYSTEM FOOTPRINT**  
DIMENSIONS L x W x H inches (mm)  
44" x 33" x 54" (1118 mm x 838 mm x 1372 mm)  
WEIGHT pounds (kg)  
630-1075 lbs (286-488 kg)

- STANDARD SCOPE OF SUPPLY - COMPRESSOR MODULE**
- Open vertical configuration on made of formed sheet and plate goods provides a firm foundation for all pressure bearing components
  - BAUER PLC based controller
  - NEMA 4 rated electrical enclosure with UL8 listed control panel
  - All wiring harnesses incorporated within a corrugated loom with number coding for easy system diagnosis
  - Emergency stop push button
  - Automatic condensate drain system
  - Compressor on/off, final pressure, oil pressure, high temperature shutdown



- MEZZANINE STRUCTURE DESIGN BASIS:**
- 3x3' CONCRETE FOOTINGS
  - 5x5x1/4 HSS TUBE COLUMNS
  - 12' SPAN W8x18 BEAMS
  - 14' SPAN W8x10 BEAMS @ 3' O.C.
  - 1/4" CHECKERED PLATE

ENLARGED FIRST FLOOR - EAST WING

1/8" = 1'-0"

VERIFY EXISTING PRIOR TO CONSTRUCTION



GENERAL PLAN NOTES

- DO NOT SCALE FROM DRAWINGS. BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- COORDINATE LOCATIONS AND QUANTITY OF WORK WITH MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS.
- ALL DIMENSIONS ARE CLEAR FROM THE FACE OF FINISHED WALL/PARTITION TO FACE OF FINISHED WALL/PARTITION OR FACE OF EXISTING WALLS ACTUAL FACE.
- ALL PIPING, CONDUIT AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN GYPSUM BOARD FURRING AS REQUIRED IN FINISHED AREAS WHETHER SHOWN ON DRAWINGS OR NOT, UNLESS NOTED OTHERWISE.
- PROVIDE METAL PLATE BACKING AND/OR TREATED WOOD BLOCKING IN WALLS WHERE WALL-MOUNTED EQUIPMENT IS SHOWN ON PLANS OR ELEVATIONS. VERIFY HEIGHT AND LENGTH WITH ACTUAL EQUIPMENT.
- SEE LIFE SAFETY PLAN FOR WALL RATINGS.
- SHADED AREA INDICATES EXISTING BUILDING.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS BEFORE CONSTRUCTION.

KEYED PLAN NOTES

- 5 PROVIDE 18" VERTICAL GRAB BAR IN EXISTING RESTROOM

10/31/25 OPTION 3 OPC SET

PRELIMINARY NOT FOR CONSTRUCTION

ALTERATION OPTION 3 FOR:

COMBINED LOCKS FIRE DEPARTMENT  
405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113  
ENLARGED FIRST FLOOR PLAN

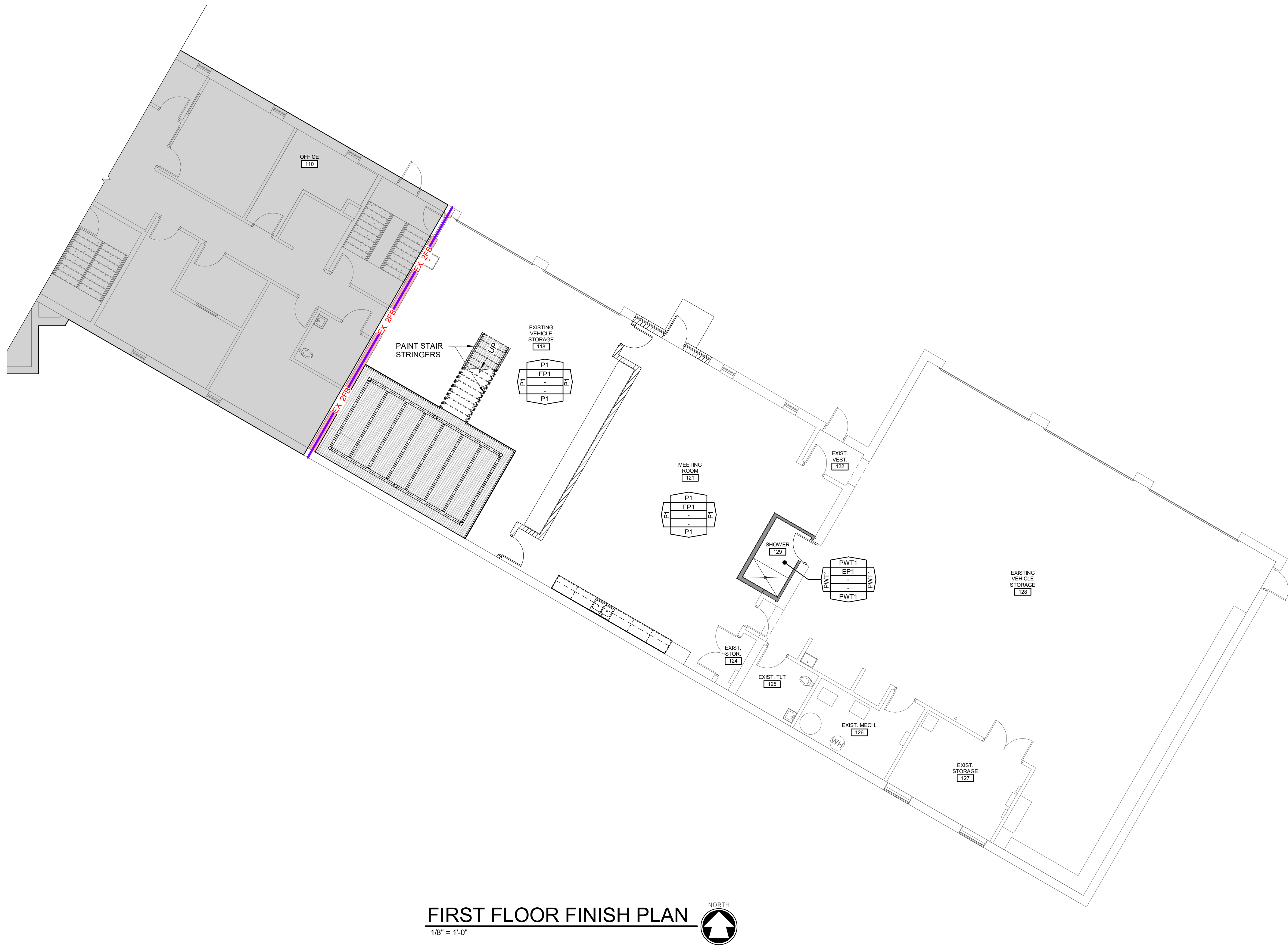
DESIGNED MAM	DRAWN AAT
PROJECT NO. C0006 062500120	
DATE OCTOBER 31, 2025	
SHEET NO.	

A211

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- SEE SPECIFICATIONS FOR SPECIFIC FINISH INFORMATION.
- PAINT ALL EXPOSED STEEL.
- SEE REFLECTED CEILING PLAN FOR CEILING FINISHES.
- COORDINATE FLOORING WITH PLUMBING FLOOR DRAINS.
- BASE 6" IN TOILET ROOMS.
- EXPOSED CEILING PAINTED (INCLUDES DUCTWORK, CONDUIT, STRUCTURE, ETC.) WHERE INDICATED

XX# XX#

TRANSITION BETWEEN FLOORING MATERIALS

FLOORING INSTALLATION DIRECTION

WALL  
FLOOR  
BASE  
NOTES  
WALL

MATERIAL ABBREVIATIONS - SEE ABBREVIATIONS LIST AND SPECIFICATIONS FOR ADDITIONAL INFORMATION

7  
CG-#

CORNER GUARD LOCATION - ALL CORNER GUARDS CG1 UNLESS OTHERWISE NOTED

**FLOORS**

EP1 NON-SLIP EPOXY W/ COVERED BASE

## WALLS

## WALLS

P1 PAINT: DESIGN BASIS: SHERWIN WILLIAMS  
P2 PAINT: DESIGN BASIS: SHERWIN WILLIAMS (GYP. BD CEILING  
P3 PAINT: DESIGN BASIS: SHERWIN WILLIAMS (DOOR FRAMES)

## CABINETRY

PL1	PLASTIC LAMINATE: DESIGN BASIS: WILSONART (CASEWORK)
SS1	SOLID SURFACE: DESIGN BASIS: CORIAN (COUNTERTOP)

1. GYP BD CEILINGS PAINTED w/ P
2. DOOR FRAMES PAINTED w/ P3

# 10/31/25 OPTION 3 OPC SET

PRELIMINARY NOT FOR CONSTRUCTION

### ALTERATION OPTION 3 FOR:

**COMBINED LOCKS FIRE DEPARTMENT  
405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113  
FINISH PLAN**

DESIGNED MAM	DRAWN AAT
PROJECT NO. C0006 062500120	
DATE OCTOBER 31, 2025	
SHEET NO.	

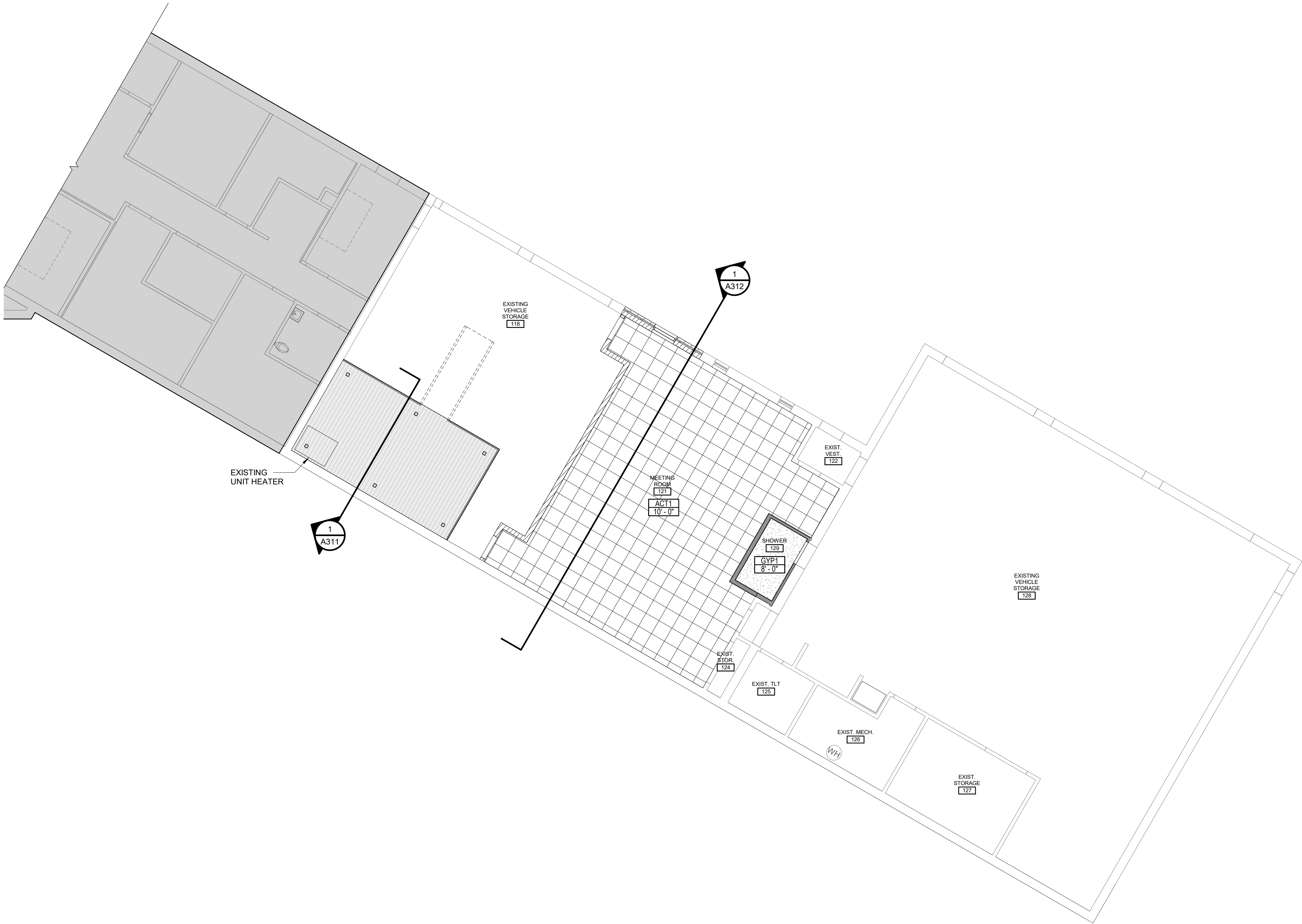
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FIRST FLOOR CEILING PLAN

1/8" = 1'-0"



GENERAL CEILING PLAN NOTES

- VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CEILING INSTALLATION.
- CEILING PLAN SHOWS DESIGN INTENT ONLY, REFER TO SPECIFICATIONS AS WELL AS MECHANICAL AND ELECTRICAL DRAWINGS FOR DEVICES, TYPES AND INSTALLATION. DEVICES SHOWN ON ARCHITECTURAL PLAN AND NOT ON THE ENGINEERING DRAWINGS OR SPECIFICATIONS SHOULD BE BROUGHT TO ARCHITECTS ATTENTION FOR CLARIFICATION.
- ACOUSTICAL CEILING GRID SHALL BE CENTERED IN ROOMS UNLESS NOTED OTHERWISE.
- CEILING HEIGHTS ARE DIMENSIONED FROM FINISH FLOOR LINE TO DESIGN ELEVATION OF FINISHED CEILING UNLESS NOTED OTHERWISE.
- CENTER IN BOTH DIRECTIONS RECESSED LIGHTS, ELECTRICAL AND MECHANICAL DEVICES AND SPRINKLER HEADS WHEN SHOWN IN CEILING TILE.
- MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS SHALL COORDINATE DEVICES REQUIRING ACCESS IN NON ACCESSIBLE CEILING. PROVIDE ACCESS PANELS AS NEEDED (EXAMPLE: MECHANICAL VAV BOXES, PLUMBING CLEANOUTS, ETC.).

CEILING HEIGHTS SHOWN ARE ESTIMATES OF WHAT CAN BE ACCOMPLISHED. MECHANICAL EQUIPMENT MAY NECESSITATE A CHANGE TO THESE HEIGHTS. VERIFY FEASIBLE. CEILING HEIGHTS AND DISCUSS NECESSARY CHANGES WITH THE ARCHITECT PRIOR TO INSTALLATION OF SYSTEMS ABOVE CEILING.

CEILING PLAN LEGEND

- CEILING FINISH
- CEILING HEIGHT (AFF)
- EXPOSED CEILING
- GYPSUM BOARD CEILING / SOFFIT (GYP)
- ACOUSTICAL CEILING (ACT)

CEILING DESCRIPTIONS

- ACT1 ACOUSTICAL CEILING PANELS & GRID - STANDARD
- GYP1 GYPSUM BOARD (PAINT P2)

10/31/25 OPTION 3 OPC SET

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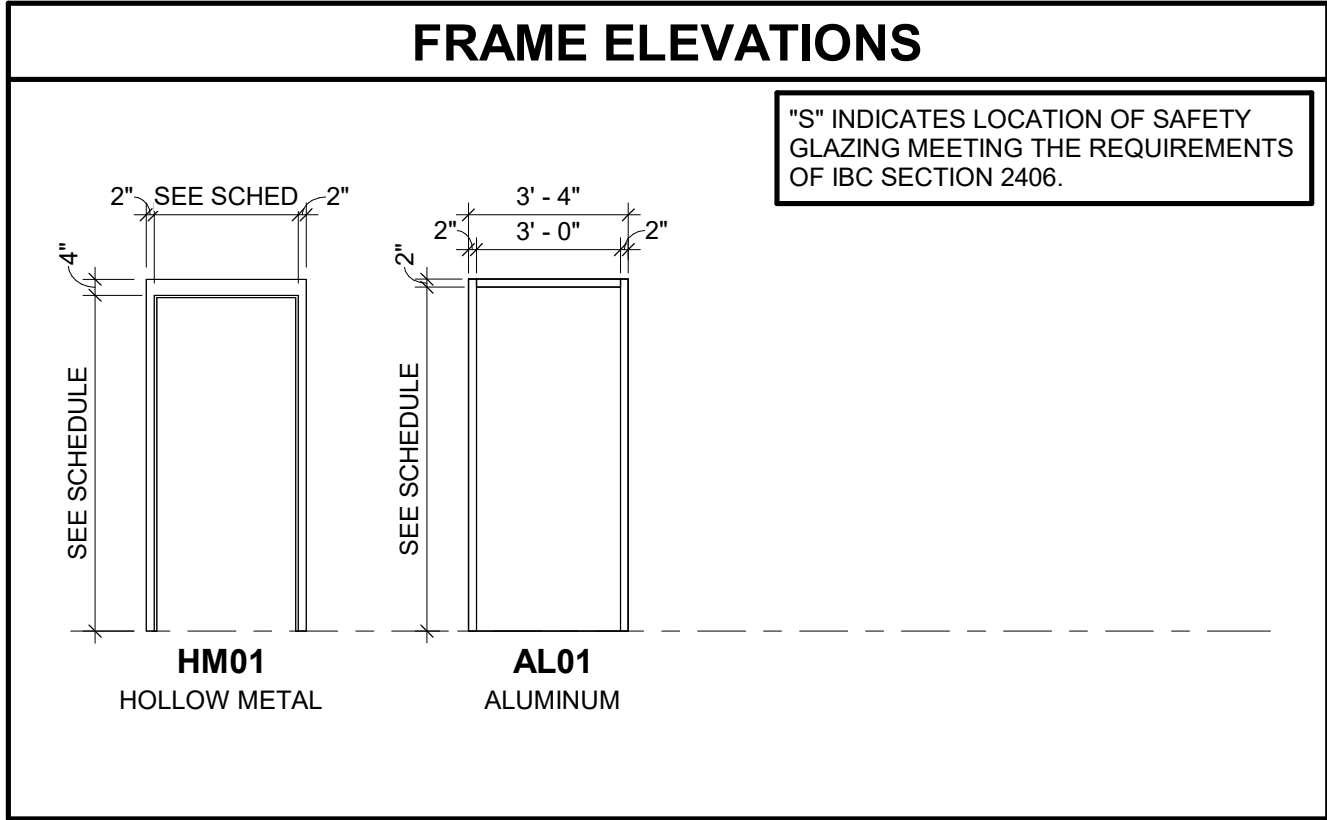
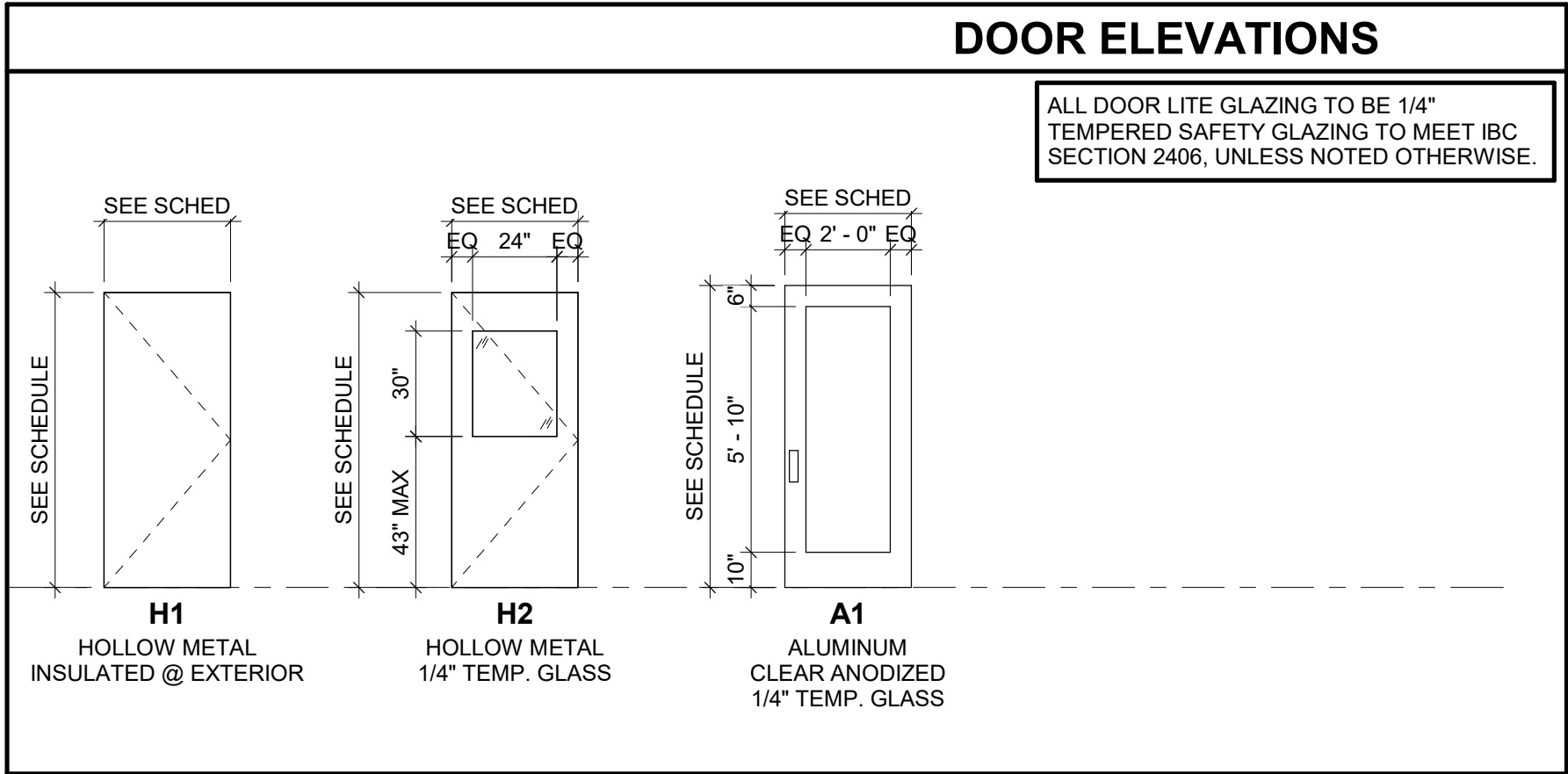
ALTERATION OPTION 3 FOR:  
COMBINED LOCKS FIRE DEPARTMENT  
405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113  
REFLECTED CEILING PLAN

DESIGNED	DRAWN
PROJECT NO.	C0006 062500120
DATE	OCTOBER 31, 2025
SHEET NO.	A271

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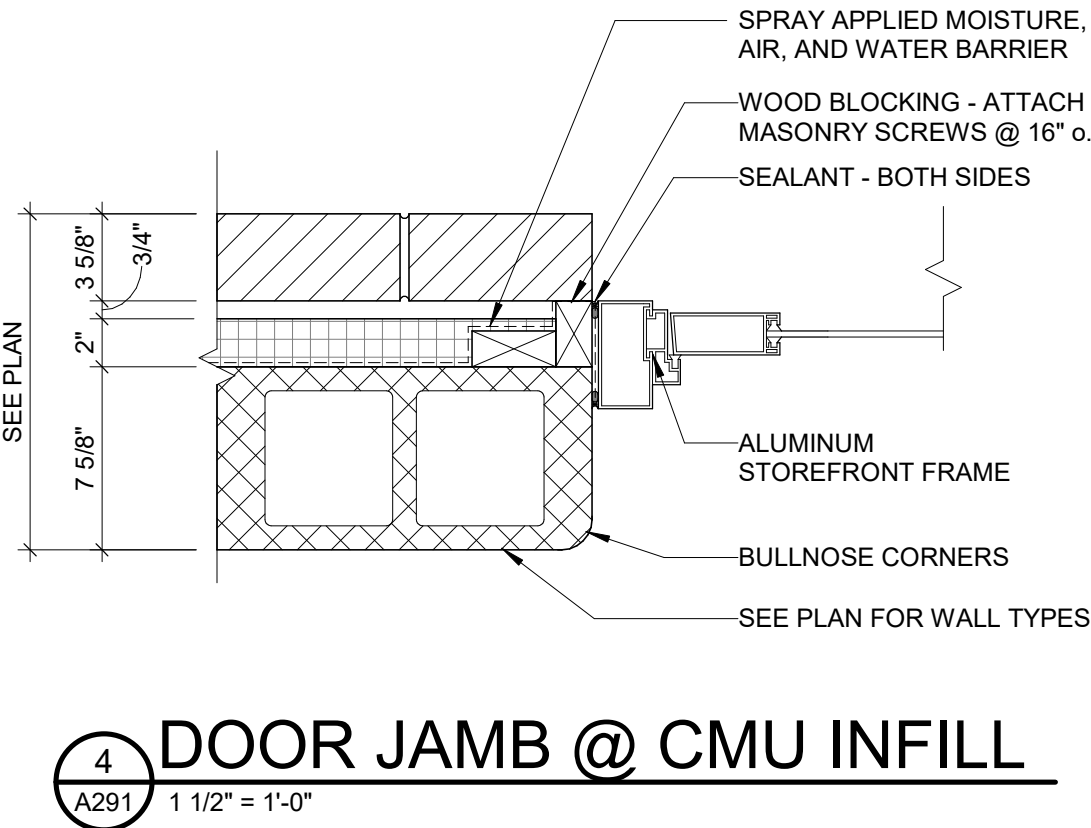
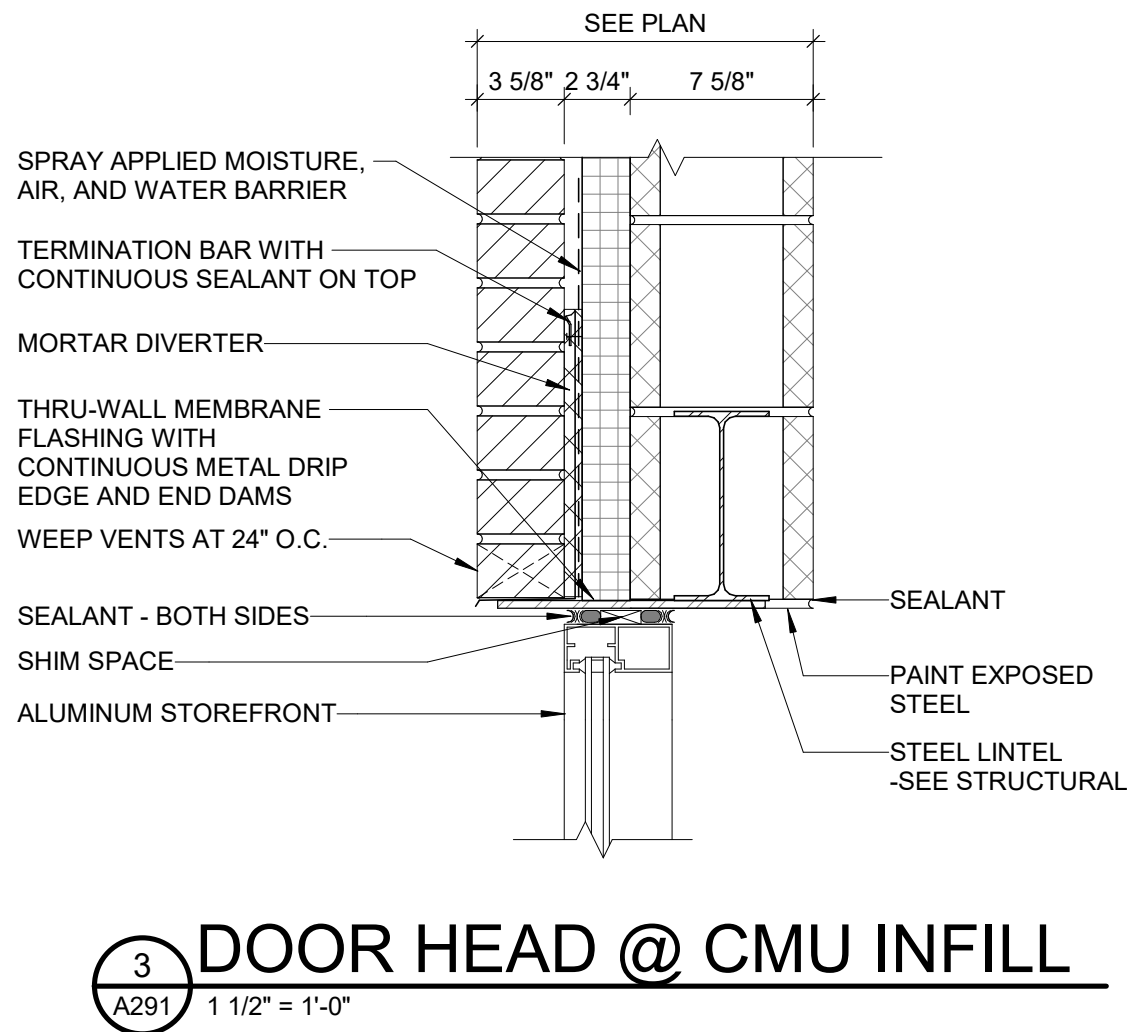
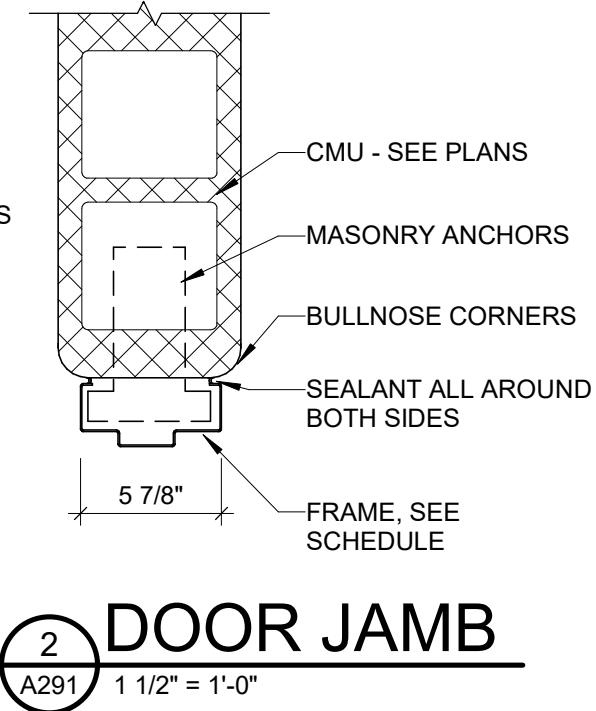
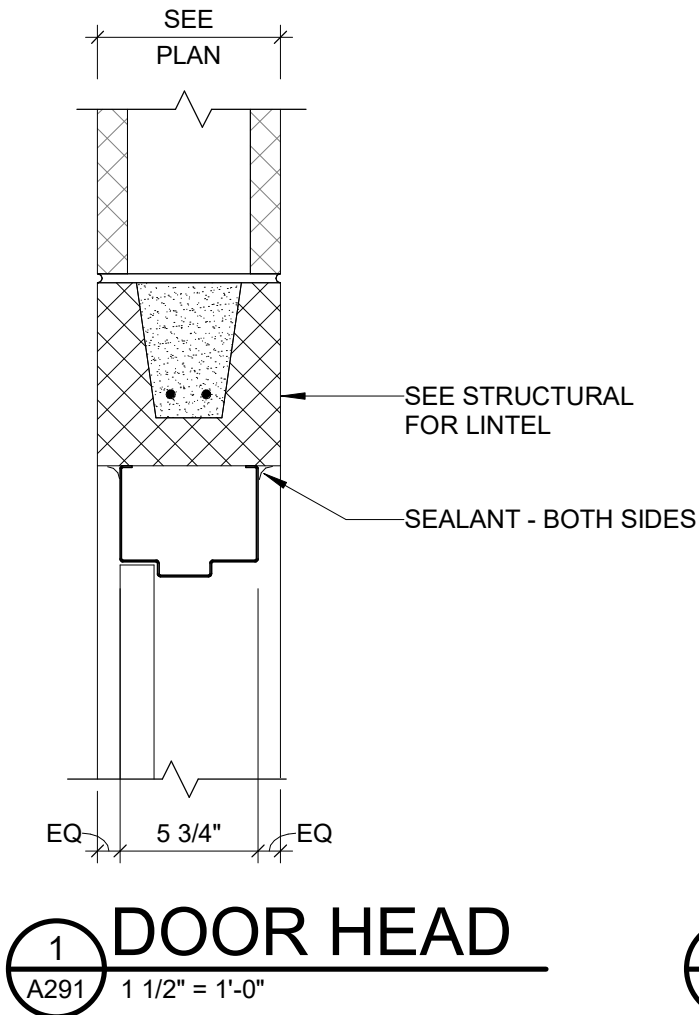




DOOR NUMBER	LEAF QTY	OPENING SIZE			DOOR TYPE	FRAME TYPE	FIRE RATING	HARDWARE SET	DETAILS (A291)	COMMENTS
		WIDTH	DOOR HEIGHT	THICKNESS						
121A	1	3' - 0"	7' - 0"	1 3/4"	H2	HM01	--	SET 2	1 & 2	
121B	1	3' - 0"	7' - 0"	1 3/4"	H2	HM01	--	SET 2	1 & 2	
121C	1	3' - 0"	7' - 2"	1 3/4"	A1	AL01	--	SET 1	3 & 4	
129	1	3' - 0"	7' - 0"	1 3/4"	H1	HM01	--	SET 3	1 & 2	

- GENERAL DOOR & HARDWARE NOTES
- ALL DOOR HARDWARE SHALL BE CAPABLE OF OPERATION W/ THE USE OF ONE (1) HAND & SHALL NOT REQUIRE TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. THUMBTURN DEADBOLTS ARE PROHIBITED. LEVER OR PADDLE DEADBOLT RELEASES ARE ACCEPTABLE. DOOR THRESHOLD SHALL NOT EXCEED ONE-HALF INCH IN HEIGHT & SHALL HAVE 1:2 BEVEL. DOOR CLOSERS SHALL MEET THE FORCE & SWEEP PERIOD REQUIREMENTS.
  - PROVIDE LEVER TYPE HANDLES ON LOCKETS
  - SEE HARDWARE SETS FOR DOORS WITH ELECTRONIC, KEYPADS, ALARMS, ETC.
  - HARDWARE FINISH: BHMA 65L SATIN CHROME FINISH

HARDWARE SETS			
SET #1: ENTRANCE		SET #2: PASSAGE	
1 1/2 PR	HINGES	1 1/2 PR	HINGES
1	LOCKSET - ENTRANCE	1	LOCKSET - PASSAGE
1	CLOSER		PUSH / PULL
1	THRESHOLD	1	CLOSER
1	SET WEATHERSTRIPPING		
1	DRIP CAP		
SET #3: PRIVACY			
1 1/2 PR	HINGES		
1	LOCKSET - PRIVACY		
1	CLOSER		
1	WALL STOP		



10/31/25 OPTION 3 OPC SET

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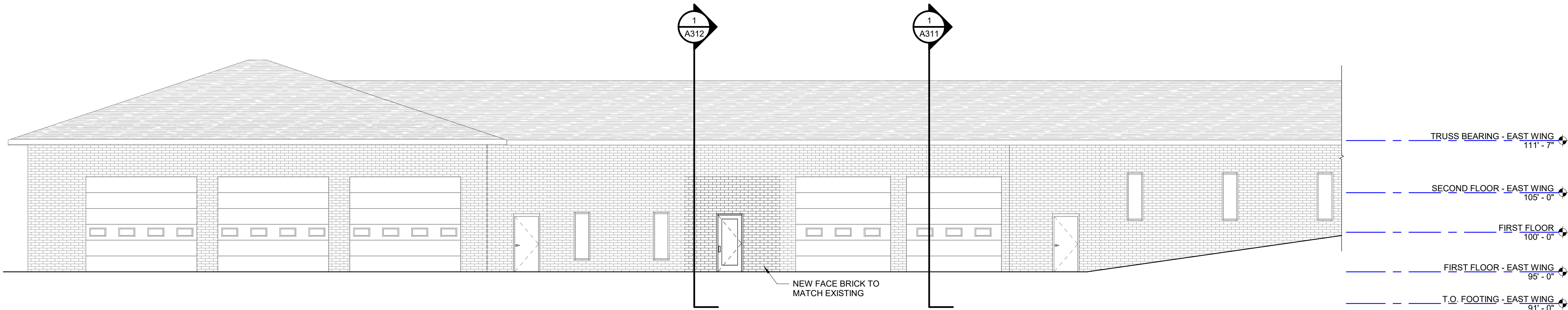
ALTERATION OPTION 3 FOR:  
COMBINED LOCKS FIRE DEPARTMENT  
405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113  
DOOR SCHEDULE, DOOR & WINDOW ELEVATIONS

DESIGNED MAM	DRAWN AAT
PROJECT NO. C0006 062500120	
DATE OCTOBER 31, 2025	
SHEET NO. A291	

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**1 NORTH EXTERIOR ELEVATION**  
A301 1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND

10/31/25 OPTION 3 OPC SET

PRELIMINARY NOT FOR CONSTRUCTION

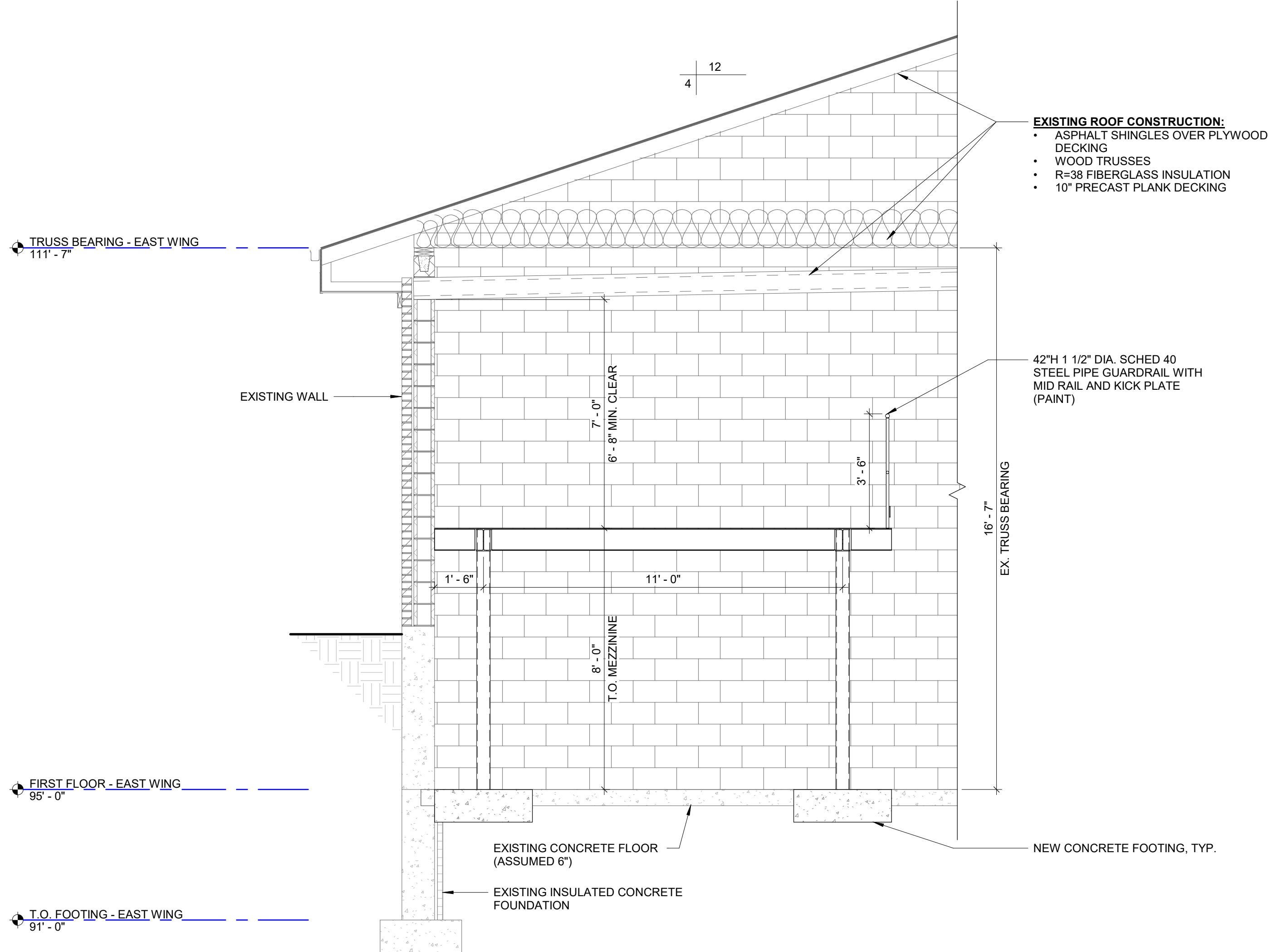
ALTERATION OPTION 3 FOR:  
COMBINED LOCKS FIRE DEPARTMENT  
405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113  
EXTERIOR ELEVATIONS

DESIGNED MAM	DRAWN AAT
PROJECT NO. C0006 062500120	
DATE OCTOBER 31, 2025	
SHEET NO.	

A301

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**BUILDING SECTION**  
A311 3/8" = 1'-0"

10/31/25 OPTION 3 OPC SET

PRELIMINARY NOT FOR CONSTRUCTION

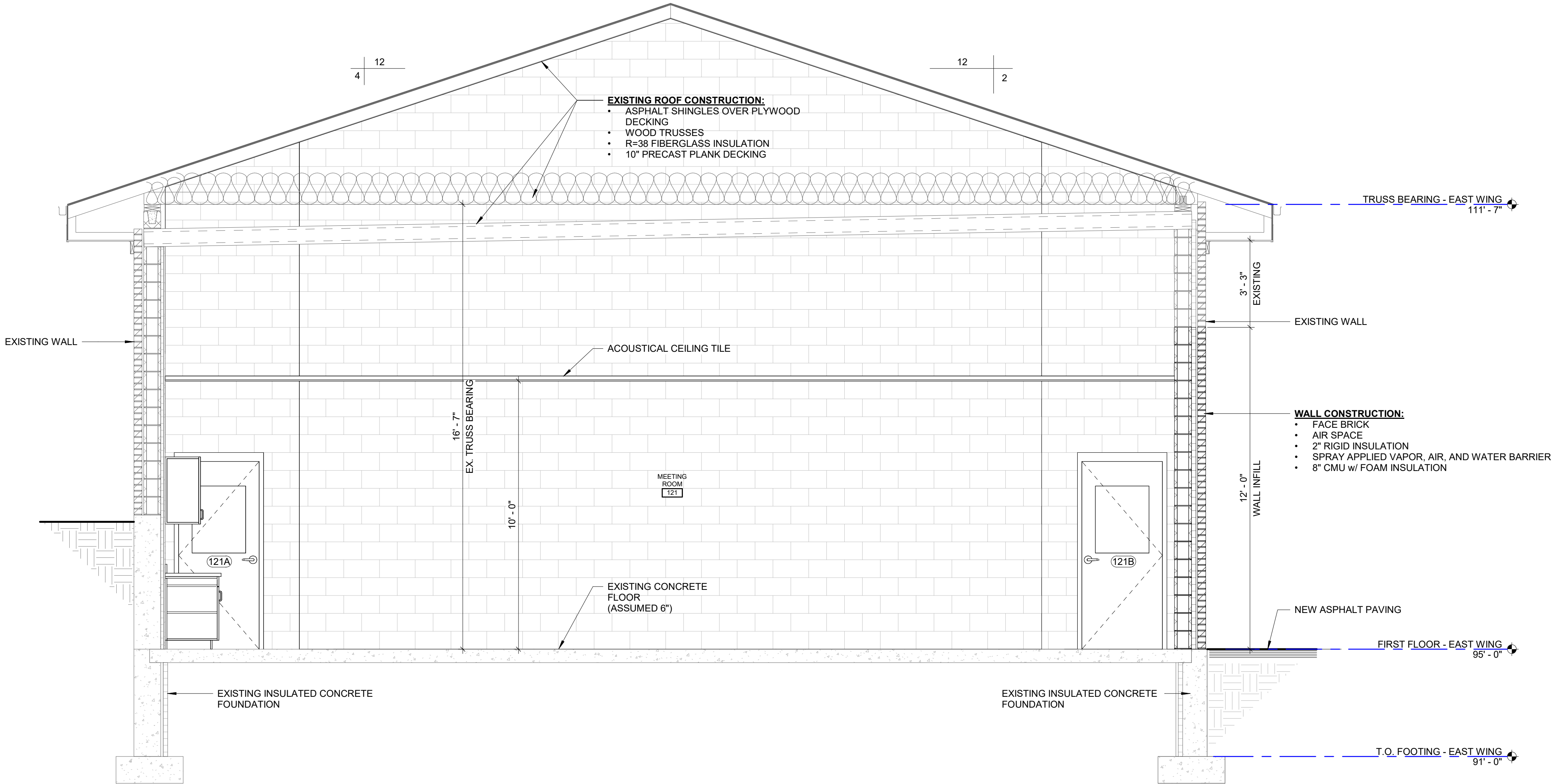
DESIGNED MAM		DRAWN AAT	
PROJECT NO. C0006 062500120			
DATE OCTOBER 31, 2025			
SHEET NO. A311			

ALTERATION OPTION 3 FOR: <b>COMBINED LOCKS FIRE DEPARTMENT 405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113 BUILDING SECTIONS</b>		McMAHON ASSOCIATES, Inc. provides this drawing and data, regardless of form, as advisory only. It is not to be used for any other purpose without the written consent of McMahon Associates, Inc. The client accepts responsibility for the use of the information herein. McMahon Associates, Inc. holds McMahon Associates, Inc. harmless for any reuse of or changes to this drawing and data without prior written consent by McMahon Associates, Inc.	
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1 BUILDING SECTION  
A312 3/8" = 1'-0"

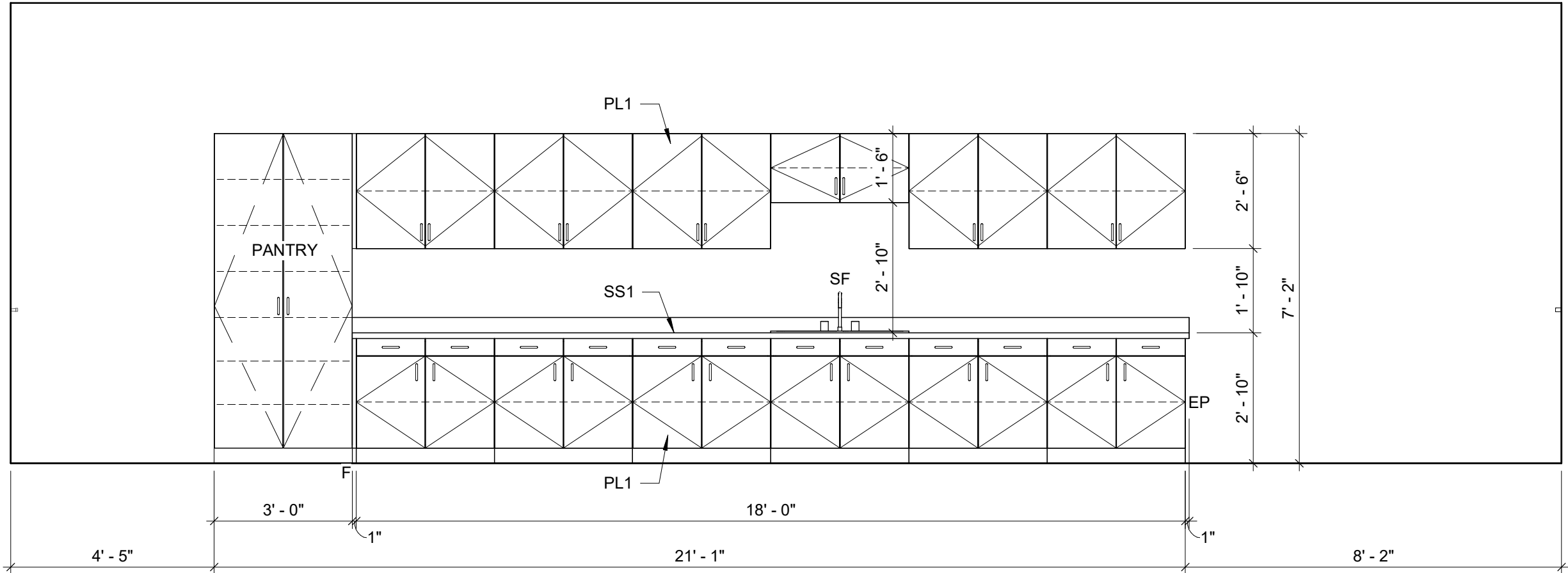
10/31/25 OPTION 3 OPC SET  
PRELIMINARY NOT FOR CONSTRUCTION

DESIGNED MAM		DRAWN AAT	
PROJECT NO. C0006 062500120			
DATE OCTOBER 31, 2025			
SHEET NO. A312			

ALTERATION OPTION 3 FOR:  
COMBINED LOCKS FIRE DEPARTMENT  
405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113  
BUILDING SECTIONS

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1 MEETING ROOM 121  
A411 3/8" = 1'-0"

GENERAL INTERIOR & CASEWORK NOTES

- PROVIDE TOILET ACCESSORIES PER SPECIFICATIONS OR APPROVED EQUAL. INSTALL ACCORDING TO MANUF. SPECIFICATIONS.
- GENERAL CONTRACTOR TO PROVIDE ALL NECESSARY BACKING IN WALLS.
- PROVIDE OFFSET TRAP AND HW, CW, DRAIN INSULATION KIT AT ALL OPEN SINKS.
- FIELD VERIFY ALL DIMENSIONS PRIOR TO CASEWORK CONSTRUCTION.
- VERIFY ALL EQUIPMENT WITH OWNER PRIOR TO CONSTRUCTION.
- COORDINATE GROMMET LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
- RADIUS ALL OUTSIDE CORNERS OF COUNTERTOPS.
- SUPPLY AND INSTALL SUPPORT BRACKETS AS NEEDED UNDER COUNTERTOPS.
- MINIMUM 1" FILLER WHERE CABINET IS 90 DEGREES TO WALL OR OTHER CABINETS
- FOR SHELVES GREATER THAN 2'-6" IN WIDTH PROVIDE DOUBLE PLY FOR EACH ADJUSTABLE SHELF

CASEWORK LEGEND

- INDICATES CASEWORK AND COUNTER MATERIAL. SEE FINISH SCHEDULE.
- F CABINET FILLER - MINIMUM 1" FILLER WHERE CABINET IS 90 DEGREES TO WALL OR OTHER CABINETS
- CS COUNTER SUPPORT BRACKET
- EP FINISHED END PANEL
- G GROMMET TO BE LOCATED APPROXIMATELY 2" FROM BACK OF COUNTERTOPS. COORDINATE WITH OWNER PRIOR TO INSTALLATION.
- KS KNEE SPACE
- L LOCK ON CASEWORK DOOR
- FL FILE DRAWER HARDWARE WITH LOCK
- WM WIRE MANAGEMENT
- MC MOBILE CABINET
- UC UNDERCOUNTER / UNDER CABINET LIGHT FIXTURE BY ELECTRICAL TRADE
- AP ACCESS PANEL
- PD PENCIL DRAWER
- SF SINK & FAUCET - SEE PLUMBING DRAWINGS
- TB TACKBOARD
- CO 6" DIA COUNTER TOP OPENING, SEE PLANS FOR QUANTITY, VERIFY SIZE WITH OWNER

10/31/25 OPTION 3 OPC SET

PRELIMINARY NOT FOR CONSTRUCTION

ALTERATION OPTION 3 FOR:  
COMBINED LOCKS FIRE DEPARTMENT  
405 WALLACE ST, VILLAGE OF COMBINED LOCKS, WI, 54113  
ENLARGED PLANS & ELEVATIONS

DESIGNED MAM	DRAWN AAT
PROJECT NO. C0006 062500120	
DATE OCTOBER 31, 2025	
SHEET NO.	

A411

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## VILLAGE OF COMBINED LOCKS

2026 STORM WATER BUDGET

	2024 Actual	2025 Year End Est	Proposed 2026
<b>REVENUES</b>			
Storm Water Fees	\$ 253,082	\$ 256,067	\$ 265,749
Storm Water Reserve Fund	-	398,792	-
Right of Way Permits <i>1/3 share of permit fees</i>	500	833	500
UNPS - Construction Grant 60/40 split	-	-	-
Miscellaneous (interest)	4,200	3,136	500
Erosion Control Permits (\$315 each)	2,205	1,261	3,150
Total Revenues	<u>\$ 259,987</u>	<u>\$ 660,089</u>	<u>\$ 269,899</u>
<b>EXPENSES</b>			
2018 Leaf Vacuum Vehicle Maintenance Expense/Gas/Oil	\$ 500	\$ 500	\$ 500
Village Property Storm Water Fees	6,454	6,454	6,685
NEWSC & DNR Annual Fees/Conferences	1,145	1,551	1,600
Landfill - Sweepings	2,500	2,400	2,400
Sweeper Fuel	1,600	1,600	1,600
Sweeper Repairs/Brooms	2,233	1,328	1,800
Allocated Wages & Benefits	43,904	46,764	46,514
Engineering:			
Planning/Construction/General Review	4,672	5,000	5,000
Outfall Screenings	2,002	1,444	2,000
Pond Inspections	1,890	1,802	2,000
Erosion Control Inspections	2,507	1,525	3,000
Ponds Maintenance:	17,289	4,724	19,000
Memorial Pond - located in Village of Kimberly			
Cortland Pond - located in Village of Kimberly			
Coonen Subdivision #1			
Coonen Subdivision #2			
Coonen Subdivision #3			
Hidden Ridges Subdivision			
Hideaway Ridges Subdivision			
Locks Business Park Pond - establish prairie plantings and aquatic plants ongoing			
Ruys Ridge Subdivision			
Storm Drains Maintenance	10,853	5,584	10,000
GIS Annual Maintenance/Upgrades/Data/License	660	750	750
Storm Water/Erosion/Drainage Projects:			
DeBruin Road - Wolfinger Estates		-	59,000
Cedars East - Pond behind old Shopko	-	401,085	83,000
Wallace Street - Abandon and Replace	-	-	-
Unidentified Storm Water Projects/Needs	13,687	155,983	5,000
Reserve - Sweeper Replacement	10,000	10,000	10,000
Reserve - Future Ponds/Erosion Control Projects	137,750	10,000	10,000
Total Expenses	<u>\$ 259,646</u>	<u>\$ 658,494</u>	<u>\$ 269,849</u>
Net Gain / (Loss)	\$ 341	\$ 1,595	\$ 50

**VILLAGE OF COMBINED LOCKS**  
**2025 SANITATION BUDGET**

<b>REVENUES</b>	<b>2024 - actual</b>	<b>2025 Year End Estimate</b>	<b>Proposed 2026</b>
Refuse Fees	\$ 185,207	\$ 209,061	\$ 210,181
Appliance Disposal Fees/Cart Sales	\$ 2,045	\$ 2,055	\$ 2,000
Interest on Investments	\$ 8,545	\$ 7,440	\$ 5,580
Sanitation Reserve Fund	-	-	-
<b>Total Revenues</b>	<b>\$ 195,797</b>	<b>\$ 218,556</b>	<b>\$ 217,761</b>
<b>EXPENSES</b>			
Landfill Charges - refuse and appliances	\$ 63,155	\$ 75,199	\$ 78,197
Trash Truck Fuel	8,170	8,475	9,500
Allocated Mechanic/Laborer/Administrative Wages & Benefits	61,376	64,355	60,014
Trash Trucks Maintenance	20,852	9,319	18,000
Purchase - Cart Replacement	811	18,817	6,000
Reserve - Trash Truck Purchase	41,257	42,050	45,874
Purchase New Trash Truck	-	-	-
Hauling License/Contingency	176	176	176
<b>Total Expenses</b>	<b>\$ 195,797</b>	<b>\$ 218,391</b>	<b>\$ 217,761</b>
Difference	\$ -	\$ 165	\$ (0)
<i>Total number of stops (est)</i>	<i>1400</i>	<i>Current Fees</i>	60g \$140.00
<i>Each \$5 increase in rate =</i>	<i>\$ 7,000</i>		96g \$200.00
Audited Reserve Balance 2024	\$ 257,011		
Estimated Reserve Balance 2025	\$ 299,226		
Estimated Reserve Balance 2026	\$ 345,100		

**\*\*2030** new automated truck estimate = \$550,000

**\*\*2029** used/new rear load truck estimate = \$250,000

## VILLAGE OF COMBINED LOCKS - 2026 WATER UTILITY BUDGET - Proposed

<b>REVENUES</b>	<b>2023 - Actual</b>	<b>2024 - Actual</b>	<b>2025 - Est</b>	<b>2026</b>
Residential Water Sales	\$ 441,203	\$ 414,780	\$ 431,138	\$ 517,366
Commercial Water Sales	28,778	29,510	30,406	36,487
Industrial Water Sales	89,727	98,876	140,379	168,455
Public Authority Water Sales	21,866	15,632	22,010	38,837
Hydrant Rental	175,475	176,476	177,872	186,766
Forfeited Discounts	3,563	3,230	3,283	3,275
Interest Income	11,750	12,241	9,256	3,500
Debt Proceeds - Main Replacement	-	-	178,000	-
Sewer Fund Contribution to Water Capital	-	-	230,000	-
Reserve Funds	-	-	270,000	145,000
<b>Total Revenues</b>	<b>\$ 772,362</b>	<b>\$ 750,745</b>	<b>\$ 1,492,344</b>	<b>\$ 1,099,685</b>
<b>EXPENSES</b>				
Salaries & Wages	\$ 91,886	\$ 93,821	\$ 106,607	\$ 109,423
Benefits	42,395	46,119	52,121	48,872
Purchased Water	300,768	300,606	406,028	487,234
Distribution System Repairs	23,116	28,835	39,839	40,000
Patch Utility Openings	4,800	24,717	10,455	10,000
Meters	3,400	3,222	3,800	4,000
Transportation Expense	14,888	14,888	14,888	14,888
Office Rent	14,935	14,935	14,935	14,935
Computer Maintenance	2,640	2,759	2,719	2,801
Office Expense	8,536	6,768	9,431	8,000
Outside Services	7,016	7,016	7,537	8,000
Property/Liability Insurance	10,845	10,697	9,590	9,590
GIS - Updates/Maintenance	1,300	1,300	1,300	1,300
Training	1,251	1,971	2,212	2,500
Contract - Valve Operations/Fire Flow Tests/Large Meter Testing/Back-Flow Testing	2,910	2,910	3,800	4,000
Hydrant and/or Valve Replacements	6,117	-	7,588	8,000
Water Risk & Resilience Assessment & Emergency Response Plan - McMahon	-	-	-	-
Hydrant Maintenance - Painting thru 2028	4,455	4,350	4,375	3,000
PILOT	58,626	62,815	65,956	67,934
Engineering/Construction Marcella Avenue Utility Replacement	3,870	53,000	643,816	145,000
Equipment Purchase - Fire Flow Test Device	23,157	-	16,945	4,000
Update Meter Reading Technology	1,575	1,600	1,300	62,843
Debt - Principal	25,015	38,773	37,523	35,021
Debt - Interest	7,329	6,672	5,843	2,290
<b>Total Expenses</b>	<b>\$ 660,830</b>	<b>\$ 727,774</b>	<b>\$ 1,468,608</b>	<b>\$ 1,093,631</b>
Estimated Net Income/(Loss)	\$ 111,532	\$ 22,971	\$ 23,736	\$ 6,054
Audited Net Income	\$ 116,542	\$ 71,390	\$ -	
Rate of Return	4.14%	2.59%		

January 2026 = estimated rate increase 20% in response to V. Kimberly rate increase

August 2019 = last rate increase PWAC

March 2015 = rate increase Simple - Inflationary

August 2011 = rate increase Full

August 2009 = rate increase PWAC



**VILLAGE OF COMBINED LOCKS - 2026 SANITARY SEWER UTILITY BUDGET - Proposed**

<b>REVENUES</b>	<b><u>2024 - Actual</u></b>	<b><u>2025 - Est</u></b>	<b><u>2026</u></b>
Sewer Use Charges	\$ 717,942	\$ 870,013	\$ 765,586
Quarterly Fee for I & I Reduction & Rate Stabilization	294,944	296,365	298,405
Kimberly Sewer Use Charges	14,370	15,146	14,600
New Construction Connection Fee	3,200	3,200	8,000
Sewer Lateral Assessments	10,681	10,679	10,000
Debt Proceeds - Main Replacement			
Reserve Fund - Rate Stabilization			
Reserve Fund - I & I Projects & Water Main	-	1,092,000	450,000
Forfeited Discounts	4,320	4,320	4,300
Interest Income	22,670	30,217	25,000
<b>Total Revenues</b>	<b><u>\$ 1,068,127</u></b>	<b><u>\$ 2,321,940</u></b>	<b><u>\$ 1,575,891</u></b>

**EXPENSES**

Salaries & Wages	\$ 93,821	\$ 106,606	\$ 113,838
Benefits	46,118	52,149	50,844
HOVMSD Disposal Fees & Fog Monitoring	449,719	522,524	557,533
Darboy Sewer Users Payable	35,223	34,111	36,500
Kimberly Sewer Users Payable	3,737	3,794	4,000
Manhole Repair/Replacement	72,000	66,935	75,000
Manhole Inspections - New Technology	-		
Meter Replacement	2,500	4,000	65,000
Main Cleaning & Televising	14,335	18,808	18,000
Computer Maintenance-Software/Hardware	5,125	5,220	5,500
Outside Services	7,567	6,433	7,000
Property/Liability Insurance	10,697	9,502	9,590
GIS - Updates/Maintenance	1,300	1,300	1,300
Training	825	723	2,000
Office Rent	14,935	14,935	14,935
Equipment Maintenance	15,625	16,650	16,500
Patch Utility Openings	9,887	8,228	10,000

Engineering/Construction Park Street/Paul Court/Fairway Street Utility Replacement	53,000	1,092,000	450,000
Equipment Purchase	-		-
Equipment Purchase	-		-
Update Meter Reading Technology	1,500	2,000	2,000
Depreciation	64,000	65,000	65,000
Debt - Principal & Interest (HOVMSD Improvements)	34,540	-	-
Debt - Principal & Interest (DPW Building)	16,130	16,130	16,130
Debt - Principal (Prospect/State/Ryan Mains)	38,773	37,523	35,021
Debt - Interest (Prospect/State/Ryan Mains)	6,672	5,843	2,290
<b>Total Expenses</b>	<b><u>\$ 998,029</u></b>	<b><u>\$ 2,090,414</u></b>	<b><u>\$ 1,557,982</u></b>

Difference - Net Profit/(Loss)	\$ 70,098	\$ 231,526	\$ 17,909
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