

NOTICE OF PLAN COMMISSION MEETING

DATE: Tuesday, May 5, 2026

TIME: 5:00pm

LOCATION: Combined Locks Civic Center,
Council Chambers, 405 Wallace Street

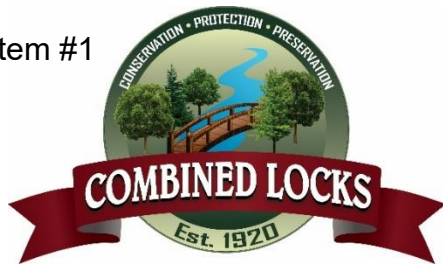
AGENDA

1. Review and consider approval of minutes from 02/03/26 meeting
2. Review and consider recommendation to approve Certified Survey Map for parcels 230020900, 230020400, and 230019900; DeValk and Thiel properties on Buchanan Road
3. Review and consider recommendation to approve Certified Survey Map for parcel 230095900; Rosenbeck property on Shalimar Court
4. Review and consider recommendation to approve plans for Meadow View Dental; Lot 4 in The Locks Business Park
5. Review and update list of photos and videos needed for parks
6. Schedule next meeting
7. Adjourn

Public Notice: Agendas are posted in the following locations: Combined Locks Civic Center main entrance and Village website: www.combinedlocks.wi.gov. 2015 Wisconsin Act 79 allows the publication of certain legal notices on an internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an internet site maintained by the local government.

Special Accommodations: Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 405 Wallace Street, 920-788-7740 extension 203 or email at gieser@combinedlocks.wi.gov.

Notice of Possible Quorum: A quorum of the Village Board, Zoning Board of Appeals, or other Village committee may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Village Board, Board of Review, Zoning Board of Appeals, or other non-Plan Commission Village committee will be taken at this meeting.



MINUTES OF PLAN COMMISSION MEETING

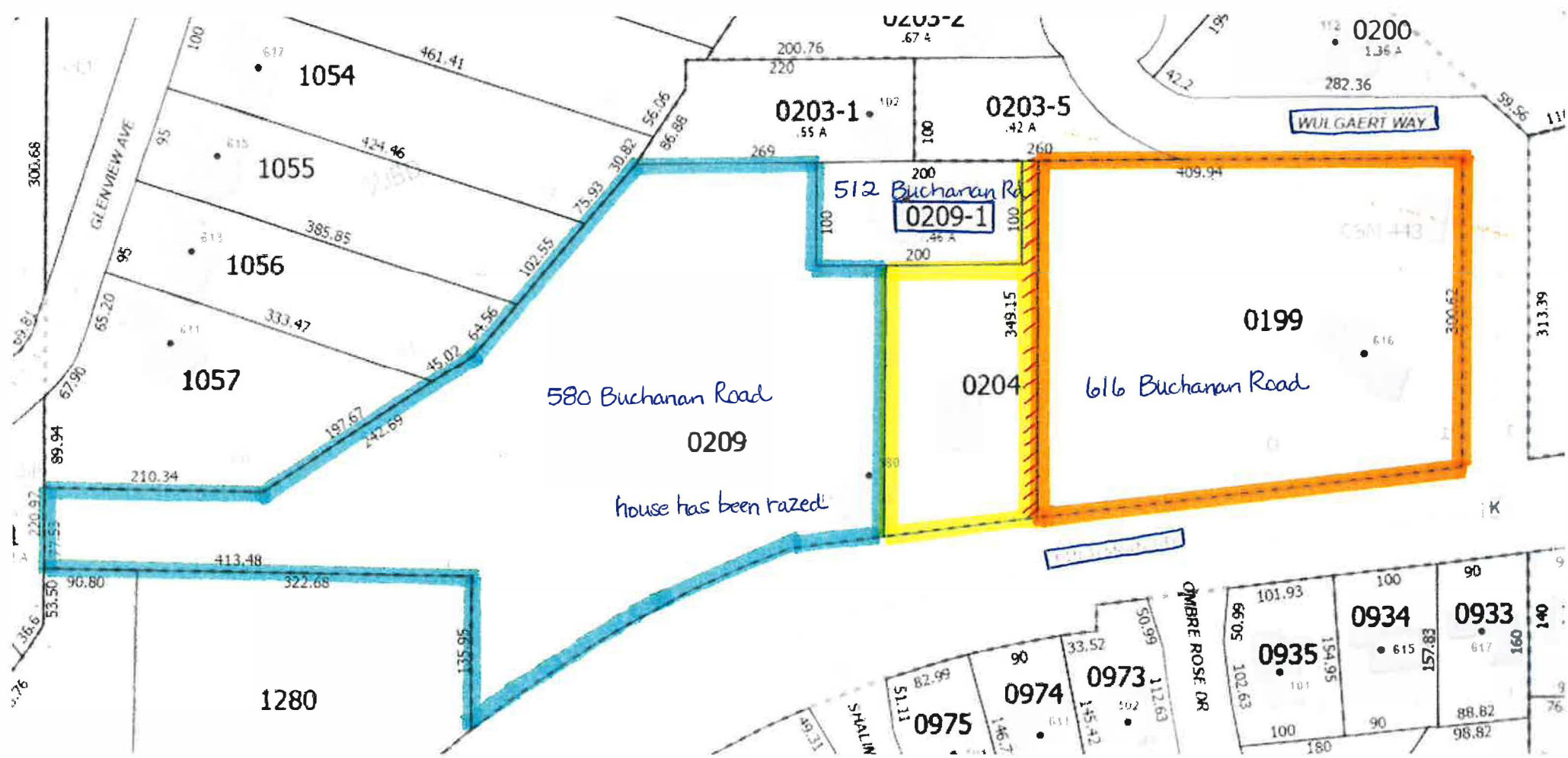
DATE: Tuesday, February 3, 2026

TIME: 5:15pm

LOCATION: Combined Locks Civic Center,
Council Chambers, 405 Wallace Street

MINUTES

- A. Call to order: Meeting** called to order at 5:15pm.
- B. Attendance:** Plan Commission members present – Heckner, Carney, Talbot, Romberg, Weyenberg, Maynard, and Mulry. Plan Commission members absent – Mader. Staff present – Administrator Shampo-Giese. Others present – Trent Hagmann, teacher at Kimberly High School
- 1. Review and consider approval of minutes from 01/20/26 meeting:** K. Carney made a motion to approve the minutes as presented. RJ. Talbot seconded the motion, and it passed unanimously.
 - 2. Meet with Kimberly High School representative and discuss items to capture for the Parks QR Code Project:** Chair Heckner provided a summary of the QR Code Project noting the goals are more visibility of the Village's park system, trails, activities, and shelters. Commission members and Mr. Hagmann discussed the items/scenes/activities the Plan Commission wishes to capture. Mr. Hagmann explained that he and his students are willing to help with photographs, drone footage, and videos but to remember that the work will be done by students, not adults in the business of marketing. Commission members thanked Mr. Hagmann for his insight and help with this project, and Chair Heckner will create and send a winter checklist of sites and activities for the students to get started on.
 - 3. Schedule next meeting:** A date for the next meeting was not chosen. The next meeting will be scheduled for a date that will accommodate a plan review for the proposed dentist office in The Locks Business Park.
 - 4. Adjourn:** J. Weyenberg made a motion to adjourn the meeting. N. Romberg seconded the motion, and it passed unanimously. The meeting adjourned at 5:56pm.



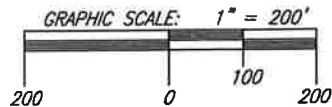
Item #2

CURRENT CONDITION: The DeValk and Thiel families own the three parcels colored blue, yellow, and orange. DeValk owns the blue and yellow lots. Thiel owns the orange lot that includes an easement (red hash lines) for parcel 230020901.

CSM REQUEST: They wish to create two parcels out of the original three as shown on the proposed CSM. Lot 1 of the CSM combines the original blue and yellow lots and includes the easement (hashed red lines). Lot 2 is the acreage that is remaining.

CERTIFIED SURVEY MAP NO. _____

BEING PART OF LOT E OF GOVERNMENT LOT 4, PART OF LOT D OF GOVERNMENT LOT 5, PART OF LOT D OF GOVERNMENT LOT 6, PART OF LOT C OF GOVERNMENT LOT 7, ALL ACCORDING TO THE RECORDED ASSESSOR'S PLAT OF THE VILLAGE OF COMBINED LOCKS AND ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 443 AS RECORDED IN DOCUMENT NO. 907319, ALL LOCATED IN GOVERNMENT LOTS 4-7 OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN.

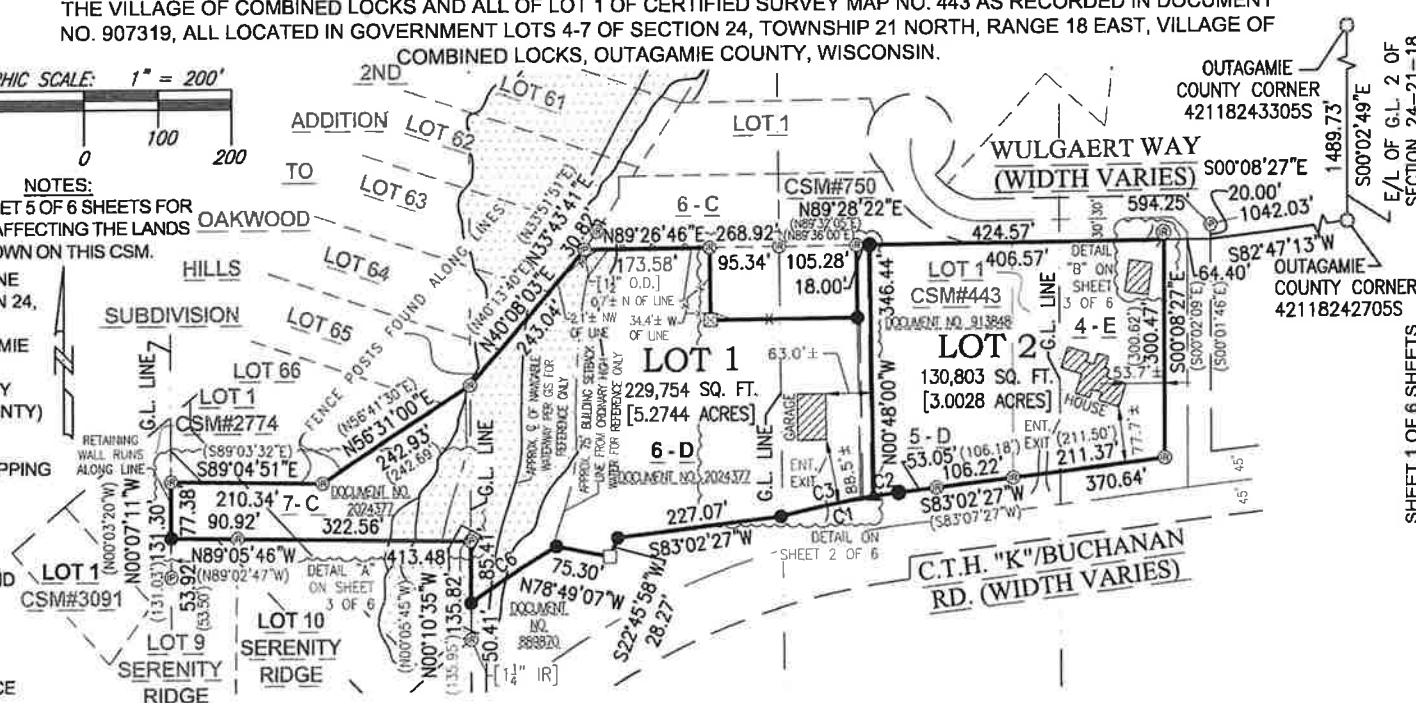


NOTES:
SEE SHEET 5 OF 6 SHEETS FOR NOTES AFFECTING THE LANDS SHOWN ON THIS CSM.

NORTH IS REFERENCED TO THE EAST LINE OF THE GOVERNMENT LOT 2 OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN, WHICH BEARS S00°02'49"E PER THE WISCONSIN COUNTY COORDINATE SYSTEM (OUTAGAMIE COUNTY)

LEGEND:

- = APPROX. FLOODPLAIN PER FEMA MAPPING
- = 1 1/4" X 18" O.D. ROUND IRON PIPE SET, WEIGHING 1.68 LBS. PER LIN. FT.
- ⊙ = 1 1/2" O.D. ROUND IRON PIPE FOUND [UNLESS OTHERWISE NOTED]
- ⊗ = 3/4" SOLID ROUND IRON REBAR FOUND [UNLESS OTHERWISE NOTED]
- ▲ = RAILROAD SPIKE SET
- = RIGHT-OF-WAY POST FOUND
- = MAG AND DISK FOUND
- () = RECORDED AS BEARING OR DISTANCE
- x- = WIRE FENCE FOUND
- r- = FENCE REMAINS FOUND
- ⊠ = CUT CROSS IN CONCRETE SET



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CENTRAL ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT BEARING
C1	1119.30	164.05	8°23'51"	S78°50'31"W	163.90	S83°02'27"W S74°38'36"W
C2	1119.30	34.88	1°47'07"	S82°08'53"W	34.87	S83°02'27"W S81°15'20"W
C3	1119.30	129.17	6°36'44"	S77°56'58"W	129.10	S81°15'20"W S74°38'36"W
C6	1204.30	139.65	6°38'38"	S56°25'54"W	139.57	S59°45'13"W S53°06'35"W

OWNER(S) OF RECORD:
TRAVIS J. & MAGAN A. DEVALK
RICHARD D. & PATRICIA M. THIEL

PARCEL NO.(S):
230020900 230020400 230019900

DOCUMENT NO.(S):
2024377 2063027 913848

CHRISTOPHER E. PERREAULT, PLS-2249 DATED
CAROW LAND SURVEYING & ENVIRONMENTAL
615 N. LYNNDAL DR., APPLETON, WI 54914
N5841 STATE HIGHWAY 47-55, SHAWANO, WI 54166
PHONE: (920)731-4168
A2512.11 DATED:4/15/2026 DRAFTED BY:cwm/fnz-NJO

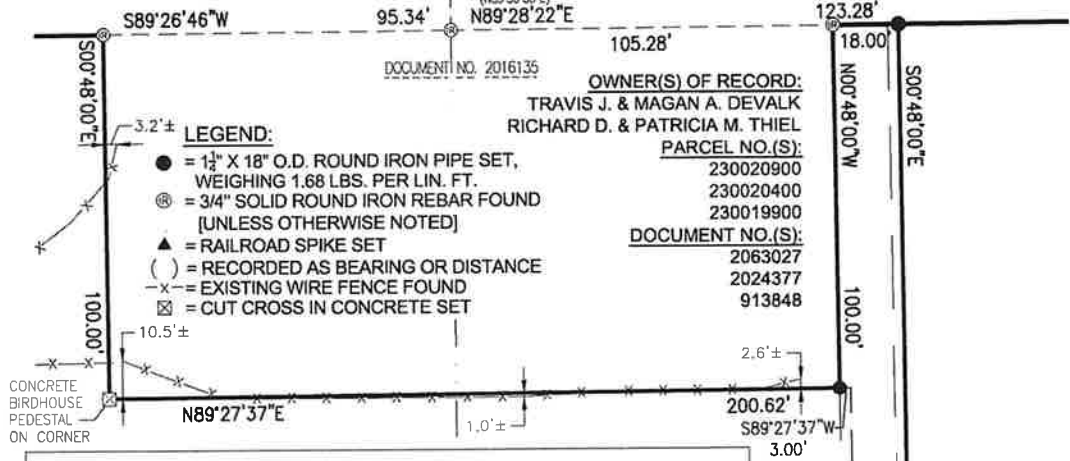
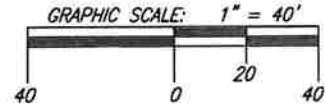
SECTION 24-21-18
E/L OF G.L. 2 OF
SHEET 1 OF 6 SHEETS

CERTIFIED SURVEY MAP NO. _____

BEING PART OF LOT E OF GOVERNMENT LOT 4, PART OF LOT D OF GOVERNMENT LOT 5, PART OF LOT D OF GOVERNMENT LOT 6, PART OF LOT C OF GOVERNMENT LOT 7, ALL ACCORDING TO THE RECORDED ASSESSOR'S PLAT OF THE VILLAGE OF COMBINED LOCKS AND ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 443 AS RECORDED IN DOCUMENT NO. 907319, ALL LOCATED IN GOVERNMENT LOTS 4-7 OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN.

NORTH IS REFERENCED TO THE EAST LINE OF THE GOVERNMENT LOT 2 OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN, WHICH BEARS S00°02'49"E PER THE WISCONSIN COUNTY COORDINATE SYSTEM (OUTAGAMIE COUNTY)

NOTES:
SEE SHEET 5 OF 6 SHEETS FOR NOTES AFFECTING THE LANDS SHOWN ON THIS CSM.



LEGEND:

- = 1 1/2" X 18" O.D. ROUND IRON PIPE SET, WEIGHING 1.68 LBS. PER LIN. FT.
- ⊗ = 3/4" SOLID ROUND IRON REBAR FOUND [UNLESS OTHERWISE NOTED]
- ▲ = RAILROAD SPIKE SET
- () = RECORDED AS BEARING OR DISTANCE
- x- = EXISTING WIRE FENCE FOUND
- ⊠ = CUT CROSS IN CONCRETE SET

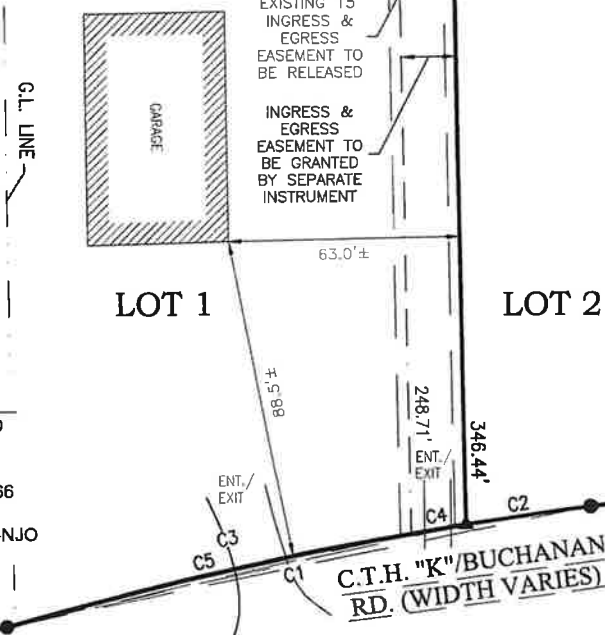
OWNER(S) OF RECORD:
TRAVIS J. & MAGAN A. DEVALK
RICHARD D. & PATRICIA M. THIEL

PARCEL NO.(S):
230020900
230020400
230019900

DOCUMENT NO.(S):
2063027
2024377
913848

CONCRETE BIRDHOUSE PEDESTAL ON CORNER

CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CENTRAL ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT BEARING
C1	1119.30	164.05	8°23'51"	S78°50'31"W	163.90	S83°02'27"W S74°38'36"W
C2	1119.30	34.88	1°47'07"	S82°08'53"W	34.87	S83°02'27"W S81°15'20"W
C3	1119.30	129.17	6°36'44"	S77°56'58"W	129.10	S81°15'20"W S74°38'36"W
C4	1119.30	15.16	0°46'34"	S80°52'03"W	15.16	S81°15'20"W S80°28'46"W
C5	1119.30	114.01	5°50'10"	S77°33'41"W	113.96	S80°28'46"W S74°38'36"W

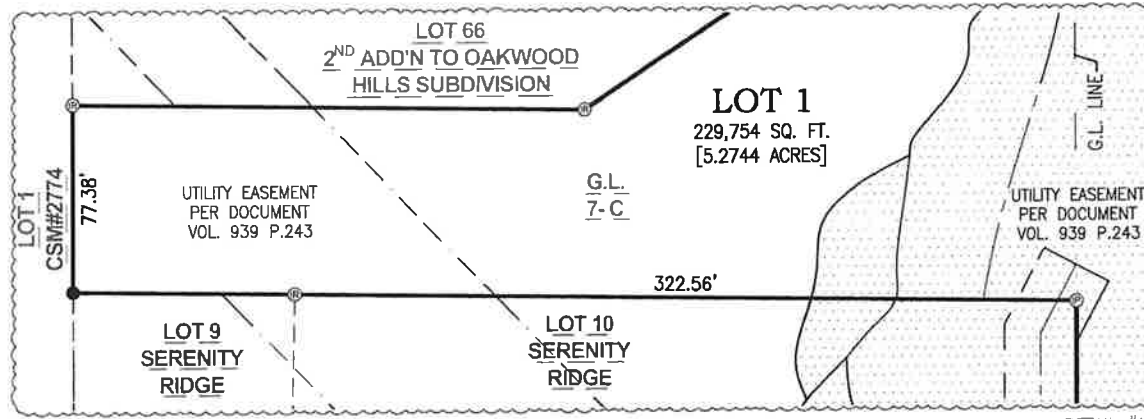


CHRISTOPHER E. PERREAULT, PLS-2249 DATED CAROW LAND SURVEYING & ENVIRONMENTAL 615 N. LYNNDAL DR., APPLETON, WI 54914 N5841 STATE HIGHWAY 47-55, SHAWANO, WI 54166 PHONE: (920)731-4168 A2512.11 DATED:4/15/2026 DRAFTED BY:cwml/fnz-NJO

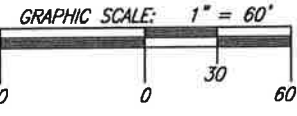
C.T.H. "K"/BUCHANAN RD. (WIDTH VARIES)

CERTIFIED SURVEY MAP NO. _____

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DETAIL "A"



- LEGEND:**
- = APPROX. FLOODPLAIN PER FEMA MAPPING
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 - = 1 1/2" O.D. ROUND IRON PIPE FOUND [UNLESS OTHERWISE NOTED]
 - = 3/4" SOLID ROUND IRON REBAR FOUND [UNLESS OTHERWISE NOTED]
 - = RECORDED AS BEARING OR DISTANCE

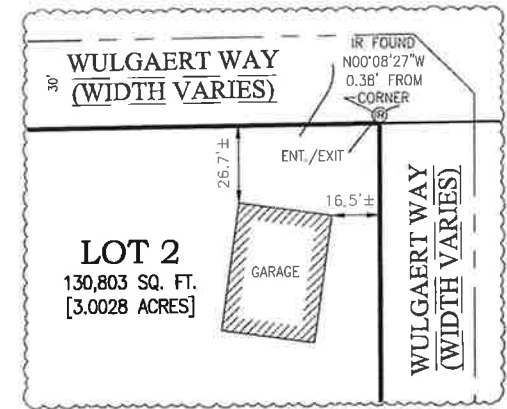
NOTES:
SEE SHEET 6 OF 6 SHEETS FOR NOTES AFFECTING THE LANDS SHOWN ON THIS CSM.

OWNER(S) OF RECORD:
TRAVIS J. & MAGAN A. DEVALK
RICHARD D. & PATRICIA M. THIEL

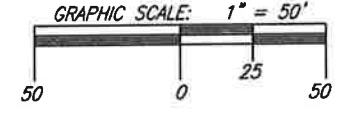
PARCEL NO.(S):
230020900 230020400 230019900

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DETAIL "B"



CHRISTOPHER E. PERREAULT, PLS-2249 DATED
CAROW LAND SURVEYING & ENVIRONMENTAL
615 N. LYNNDAL DR., APPLETON, WI 54914
N5841 STATE HIGHWAY 47-55, SHAWANO, WI 54166
PHONE: (920)731-4168
A2512.11 DATED:4/15/2026 DRAFTED BY:cwm/fnz-NJO

CERTIFIED SURVEY MAP NO. _____

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SURVEYOR'S CERTIFICATE:

I, CHRISTOPHER E. PERREULT, PROFESSIONAL WISCONSIN LAND SURVEYOR, CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED PART OF LOT E OF GOVERNMENT LOT 4, PART OF LOT D OF GOVERNMENT LOT 5, PART OF LOT D OF GOVERNMENT LOT 6, PART OF LOT C OF GOVERNMENT LOT 7, ALL ACCORDING TO THE RECORDED ASSESSOR'S PLAT OF THE VILLAGE OF COMBINED LOCKS AND ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 443 AS RECORDED IN DOCUMENT NO. 907319, ALL LOCATED IN GOVERNMENT LOTS 4-7 OF SECTION 24, TOWNSHIP 21 NORTH RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT OUTAGAMIE CORNER NO. 42118242705S ON THE EAST LINE OF GOVERNMENT LOT 2 OF SAID SECTION 24; THENCE S82°47'13"W, 1042.03 FEET TO THE EAST LINE OF WULGAERT WAY; THENCE S89°28'22"W, 64.40 FEET TO THE WEST LINE OF WULGAERT WAY AND THE POINT OF BEGINNING; THENCE S00°08'27"E, 300.47 FEET ALONG SAID WEST LINE TO THE NORTH LINE OF C.T.H. "K" (BUCHANAN ROAD); THENCE S83°02'27"W, 370.64 FEET ALONG SAID NORTH LINE; THENCE SOUTHWESTERLY, 164.05 FEET ALONG AN ARC OF AN 1119.30 FOOT RADIUS CURVE OF SAID NORTH LINE TO THE LEFT, HAVING A CHORD WHICH BEARS S78°50'31"W AND IS 163.90 FEET IN LENGTH; THENCE S83°02'27"W, 227.07 FEET ALONG SAID NORTH LINE; THENCE S22°45'58"W, 28.27 FEET ALONG SAID NORTH LINE; THENCE N78°49'07"W, 75.30 FEET ALONG SAID NORTH LINE; THENCE SOUTHWESTERLY, 139.65 FEET ALONG THE ARC OF A 1204.30 FOOT RADIUS CURVE OF SAID NORTH LINE TO THE LEFT, HAVING A CHORD WHICH BEARS S56°25'54"W AND IS 139.57 FEET IN LENGTH, TO THE EAST LINE OF LOT 10, SERENITY RIDGE; THENCE N00°10'35"W, 85.41 FEET ALONG SAID EAST LINE TO THE NORTH LINE OF SAID LOT 10; THENCE N89°05'46"W, 413.48 FEET ALONG SAID NORTH LINE TO THE EAST LINE OF CERTIFIED SURVEY MAP NO. 2774; THENCE N00°07'11"W, 77.38 FEET ALONG SAID EAST LINE TO THE SOUTH LINE THE SECOND ADDITION TO OAKWOOD HILLS SUBDIVISION; THENCE S89°04'51"E, 210.34 FEET ALONG SAID SOUTH LINE; THENCE N56°31'00"E, 242.93 FEET ALONG SAID SOUTH LINE; THENCE N40°08'03"E, 243.04 FEET ALONG SAID SOUTH LINE; THENCE N89°26'46"E, 173.58 FEET; THENCE S00°48'00"E, 100.00 FEET; THENCE N89°27'37"E, 200.62 FEET; THENCE N00°48'00"W, 100.00 FEET TO A SOUTH LINE OF CERTIFIED SURVEY MAP NO. 750; THENCE N89°28'22"E, 424.57 FEET ALONG SAID SOUTH LINE AND THE SOUTH LINE OF WULGAERT WAY TO THE POINT OF BEGINNING. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT I HAVE MADE SUCH SURVEY UNDER THE DIRECTION OF TRAVIS DEVALK, 336 WINDMILL DR., KAUKAUNA, WISCONSIN 54130.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED AND THE DIVISION OF THAT LAND.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION ORDINANCE OF THE VILLAGE OF COMBINED LOCKS.

CHRISTOPHER E. PERREULT, PLS-2249 DATE
CAROW LAND SURVEYING & ENVIRONMENTAL
615 N. LYNNDALE DRIVE, APPLETON, WI, 54914
N5841 S.T.H. "47-55", SHAWANO, WI 54166
PHONE: (920)731-4168
A2512.11 (RFR) DATED: 4-15-2026

CERTIFIED SURVEY MAP NO. _____

BEING PART OF LOT E OF GOVERNMENT LOT 4, PART OF LOT D OF GOVERNMENT LOT 5, PART OF LOT D OF GOVERNMENT LOT 6, PART OF LOT C OF GOVERNMENT LOT 7, ALL ACCORDING TO THE RECORDED ASSESSOR'S PLAT OF THE VILLAGE OF COMBINED LOCKS AND ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 443 AS RECORDED IN DOCUMENT NO. 907319, ALL LOCATED IN GOVERNMENT LOTS 4-7 OF SECTION 24, TOWNSHIP 21 NORTH RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN.

OWNER'S CERTIFICATE:

AS OWNER (S), I (WE) CERTIFY THAT I (WE) CAUSED THE LANDS DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON. I (WE) FURTHER CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF COMBINED LOCKS.

WITNESS THE HAND AND SEAL OF SAID OWNER (S) THIS _____ DAY OF _____, 20____.

RICHARD D. THIEL

PATRICIA M. THIEL

STATE OF WISCONSIN)

)SS

OUTAGAMIE COUNTY)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, THE ABOVE NAMED PERSON (S) TO ME KNOWN TO BE THE PERSON (S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

ADDITIONAL NOTES:

- THIS MAP DOES NOT TRANSFER PROPERTY OWNERSHIP OF THE LOTS HEREON. SALE OR TRANSFER OF THE LOTS REQUIRES A DEED.
- FIELD SURVEY DATE: 2/9/2026
- PRIOR TO ANY CONSTRUCTION OR OTHER LAND USE ACTIVITY, ALL BUILDING SETBACKS AND OTHER LAND USE REQUIREMENTS SHOULD BE VERIFIED WITH THE VILLAGE OF COMBINED LOCKS.
- THE ORDINARY HIGH WATER MARK SETBACK IS NOT BASED ON AN OFFICIAL DETERMINATION AND PRIOR TO ANY BUILDING, AN OFFICIAL DETERMINATION OF THE ORDINARY HIGH WATER MUST BE MADE BY THE VILLAGE OF COMBINED LOCKS OR OTHER AUTHORIZED PERSON.
- PRIOR TO ANY CONSTRUCTION CONTACT WISCONSIN DEPARTMENT OF NATURAL RESOURCES TO DETERMINE NAVIGABILITY OF WATERWAY AND LOCATION OF ORDINARY HIGH WATER.
- DESCRIPTION OF LAND IN DOCUMENT NO. 889870 DOES NOT CLOSE AND CONTAINS PATENT AMBIGUITIES. BEST AVAILABLE PAROL AND FIELD EVIDENCE WAS USED TO REESTABLISH LOCATION OF RIGHT OF WAY LINE. OUTAGAMIE COUNTY AND COMBINED LOCKS HIGHWAY DEPARTMENTS WERE UNABLE TO PROCURE ADDITIONAL INFORMATION.
- LANDS DESCRIBED IN DOCUMENT NO. 889870 DEFINING THE RIGHT-OF-WAY FOR C.T.H. "K" DOES NOT CLOSE AND CONTAINS PATENT AMBIGUITY.

CHRISTOPHER E. PERREAULT, PLS-2249 DATE
CAROW LAND SURVEYING & ENVIRONMENTAL
615 N. LYNNDAL DRIVE, APPLETON, WI, 54914
N5841 S.T.H. "47-55", SHAWANO, WI 54166
PHONE: (920)731-4168
A2512.11 (RFR) DATED: 4-15-2026

Item #3

CURRENT CONDITION: The Rosenbeck family owns parcel #230095900. It is .60 acre (est) and is the result of combining lots 26 and 27 of the Ravina Meadows Subdivision in 2007.

CSM REQUEST: They wish to divide the .60 acre parcel back into two separate parcels as shown on the proposed CSM. Lot 1 of the CSM includes a house and would be .303 acre. Lot 2 is undeveloped and would be .294 acre or 12,807 square feet. This is enough area to build a house, but there are two frontages requiring 25' setbacks. The future builder may need to be creative with the house layout. For comparison, the property at 109 Shalimar Court is .29 acre. Utilities are stubbed to the proposed new lot.

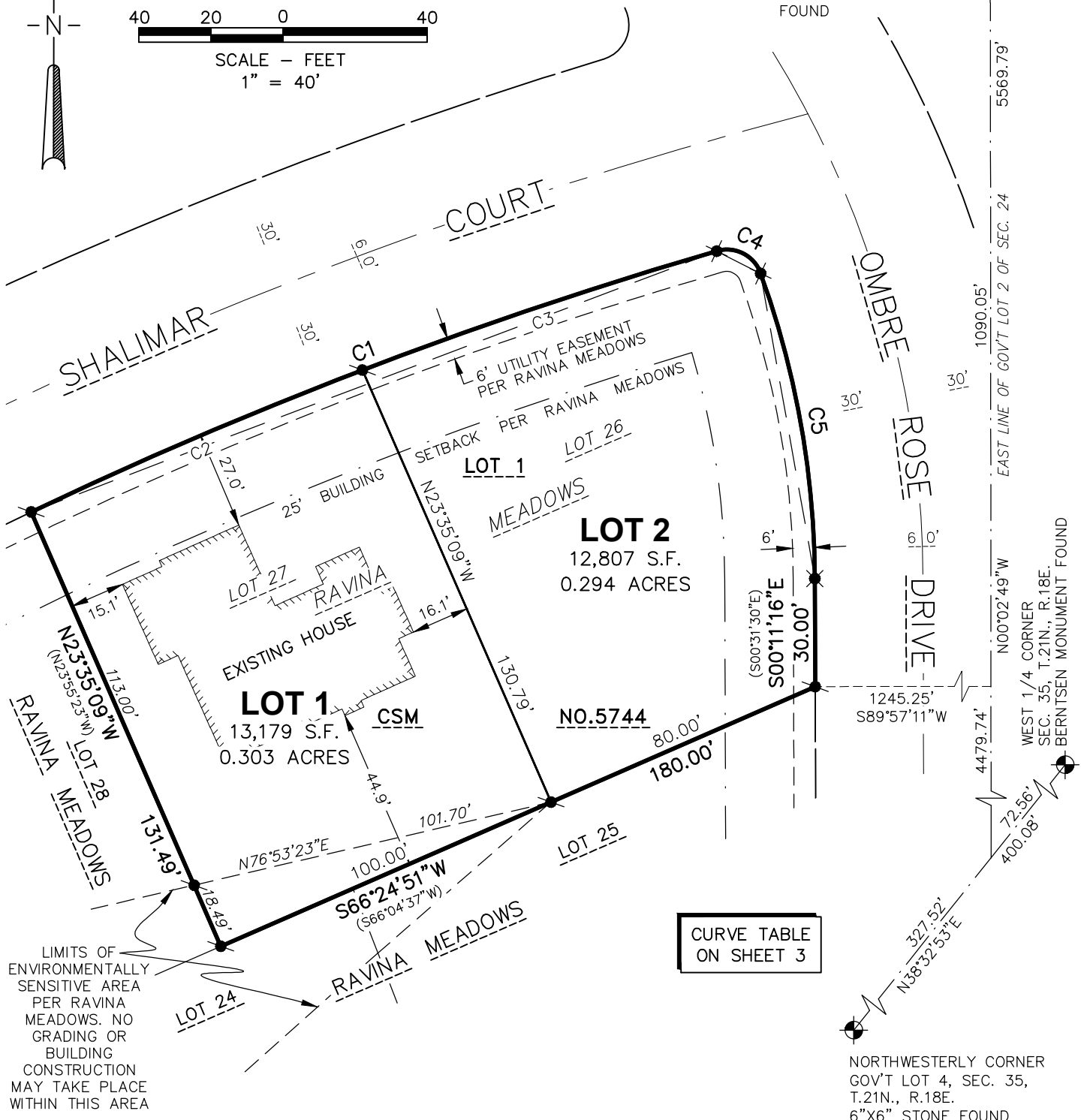
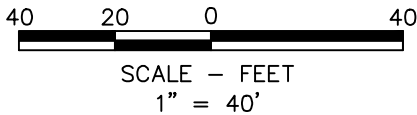
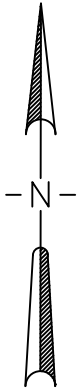
CERTIFIED SURVEY MAP SHEET 1 OF 3

ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5744, RECORDED IN
VOLUME 33 OF CERTIFIED SURVEY MAPS ON PAGE 5744 AS
DOCUMENT NO. 1777822, BEING PART OF GOVERNMENT LOT 5 OF
SECTION 24, TOWNSHIP 21 NORTH, RANGE 18 EAST,
VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN

BEARINGS ARE REFERENCED TO THE EAST
LINE OF GOVERNMENT LOT 2 OF SECTION
24, TOWNSHIP 21 NORTH, RANGE 18 EAST,
WHICH BEARS N00°02'49"W PER THE
WISCONSIN COUNTY COORDINATE SYSTEM
AS PUBLISHED FOR OUTAGAMIE COUNTY

FOR:
STEVEN ROSENBECK
118 SHALIMAR COURT
COMBINED LOCKS, WI 54113

CORNER NO.
4 21 18 24 27 05S
ON THE EAST LINE OF
GOV'T LOT 2 OF
SEC. 24, T.21N., R.18E.
MAG NAIL WITH WASHER
FOUND



LIMITS OF ENVIRONMENTALLY SENSITIVE AREA PER RAVINA MEADOWS. NO GRADING OR BUILDING CONSTRUCTION MAY TAKE PLACE WITHIN THIS AREA

LEGEND

- 3/4" STEEL REBAR FOUND
- 1 1/4" STEEL REBAR FOUND
- CERTIFIED LAND CORNER OUTAGAMIE COUNTY
- S.F. - SQUARE FEET
- () - RECORDED BEARING AND/OR DISTANCE
- EXISTING BUILDING

McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O.BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM
DRAFTED BY: AMY M. SEDLAR

CERTIFIED SURVEY MAP

SHEET 3 OF 3

ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5744, RECORDED IN VOLUME 33 OF CERTIFIED SURVEY MAPS ON PAGE 5744 AS DOCUMENT NO. 1777822, BEING PART OF GOVERNMENT LOT 5 OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN

OWNER'S CERTIFICATE

I, as Owner, hereby certify that I caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented on this Certified Survey Map. I also certify that this Certified Survey Map is required by S.236.10 or S.236.12 of the Wisconsin Statutes to be submitted to the following for approval or objection: Village of Combined Lock

Dated this _____ day of _____, 20____

Steven K. Rosenbeck

State of Wisconsin)
)SS
_____ County)

Personally came before me this _____ day of _____, 20____, the above named person to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public

_____ County, WI

My Commission Expires: _____

CURVE TABLE							
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH	TANGENT IN	TANGENT OUT
C1	1260.00'	009°15'53"	203.74'	N69°10'25"E (N68°50'12"E)	203.53'	N64°32'28"E	N73°48'22"E
C2	1260.00'	004°32'54"	100.02'	N66°48'56"E (N66°28'55"E)	100.00'		
C3	1260.00'	004°42'59"	103.72'	N71°26'52"E (N71°06'51.5"E)	103.69'		
C4	10.00'	086°11'57"	15.04'	S63°05'38"E (S63°25'40.5"E)	13.67'	N73°48'22"E (N73°28'21"E)	S19°59'37"E (S20°19'42"E)
C5	250.00'	019°48'12"	86.41'	S10°05'26"E (S10°25'36"E)	85.98'	S19°59'37"E (S20°19'42"E)	S00°11'16"E (S00°31'30"E)



April 13, 2026

Village of Combined Locks
Attn: Racquel Shampo-Giese
405 Wallace Street
Combined Locks, WI 54113

Re: Meadowview Dental – 544 Martineau Road
Stormwater & Site Plan Review #1
McM. No. C0006-09-26-00330.00

Dear Racquel,

On April 9, 2026, McMahon Associates, Inc. (McMAHON) received a construction plan set for the proposed Meadowview Dental site submitted by Mach IV. As requested, McMAHON performed a review of these documents for conformance with Village standards, requirements, and preferences.

PROJECT DESCRIPTION / SITE PLAN

The proposed project is a new office building for Meadowview Dental located at 544 Martineau Road (Lot 4 of the Locks Business Park). The project site is 79,715 square-feet (1.83 acres) and is generally located at the northwest end of Martineau Road. The project includes a 5,521 square-foot office building and 18,690 square-feet of parking lot & sidewalks, resulting in a total of 24,211 square feet (30%) of imperviousness. The site requires 21 parking stalls and provides 30 total parking stalls, including 2 ADA handicap stalls.

SITE DEMOLITION PLAN

The proposed site demolition plan identifies sawcutting and removing the existing curb & gutter for the proposed driveways/aprons.

- The existing 4" thick sidewalk within the proposed driveway locations should also be identified to be removed. The site plan should show/call out the sidewalk being replaced with 6" thick concrete, similar to the new 6" thick concrete apron.

EROSION CONTROL PLAN

The erosion control plan consists of installing temporary tracking pads, silt fence, inlet protection, ditch checks, dust control, and dewatering throughout construction. Permanent erosion control measures include rip-rap placement and final restoration (seed, mulch and erosion mat). Although no Sediment

Discharge calculations were submitted, the site appears to include standard erosion control measures that are anticipated to satisfy the 5 tons per acre per year sediment discharge requirement.

STORMWATER MANAGEMENT PLAN

Stormwater runoff from the site drains to the Village's Coonen Pond "A" via storm sewer and overland flow. The Coonen Pond "A" is designed to provide total suspended solids (TSS) reduction, total phosphorus (TP) reduction, and peak discharge attenuation for the site. The project site is exempt from infiltration performance standards due to in-situ clay soil textures that are present. There are no wetlands located within the project area, so protective area setbacks do not apply.

LANDSCAPING/LIGHTING PLAN

The submitted Landscaping Plan does include a good mix of trees, shrubs and plantings that seem appropriate for the site. However, there are no plantings proposed within the 15' Planting Easement along CTH "CE".

- Per the Village's Zoning Ordinance, a landscape buffer is required for properties adjacent to CTH "CE" per the requirements of § [580-14](#) and must be approved by the Planning Commission. It's up to Village Staff and/or Planning Commission if you want to require additional plantings within the 15' Planting Easement.

The submitted photometric/lighting plan does include some pole mounted lights within the parking lot.

- Per the submitted photometric plan, there will be minimal (0.1-0.2 footcandles) light dispersion on the adjacent parcel to the east. I searched the Village's ordinances for lighting requirements but could not find any. As such, this comment is for informational purposes and up to the Village if they'd like to see a revision to the photometric/lighting plan so there is zero light dispersion on the adjacent parcel.

In summary, there may be some modifications to the Demolition, Site, Landscaping or Lighting Plans depending on final Village or preferences. As previously mentioned, the proposed site plan indicates the site will contain a total of 24,211 sq ft of imperviousness. Based on an ERU being equivalent to 3,623 sq ft, this equates to **6.76 ERU's** for future Stormwater Utility Rate billings. If you have any questions or would like to discuss any of this information, please let me know.

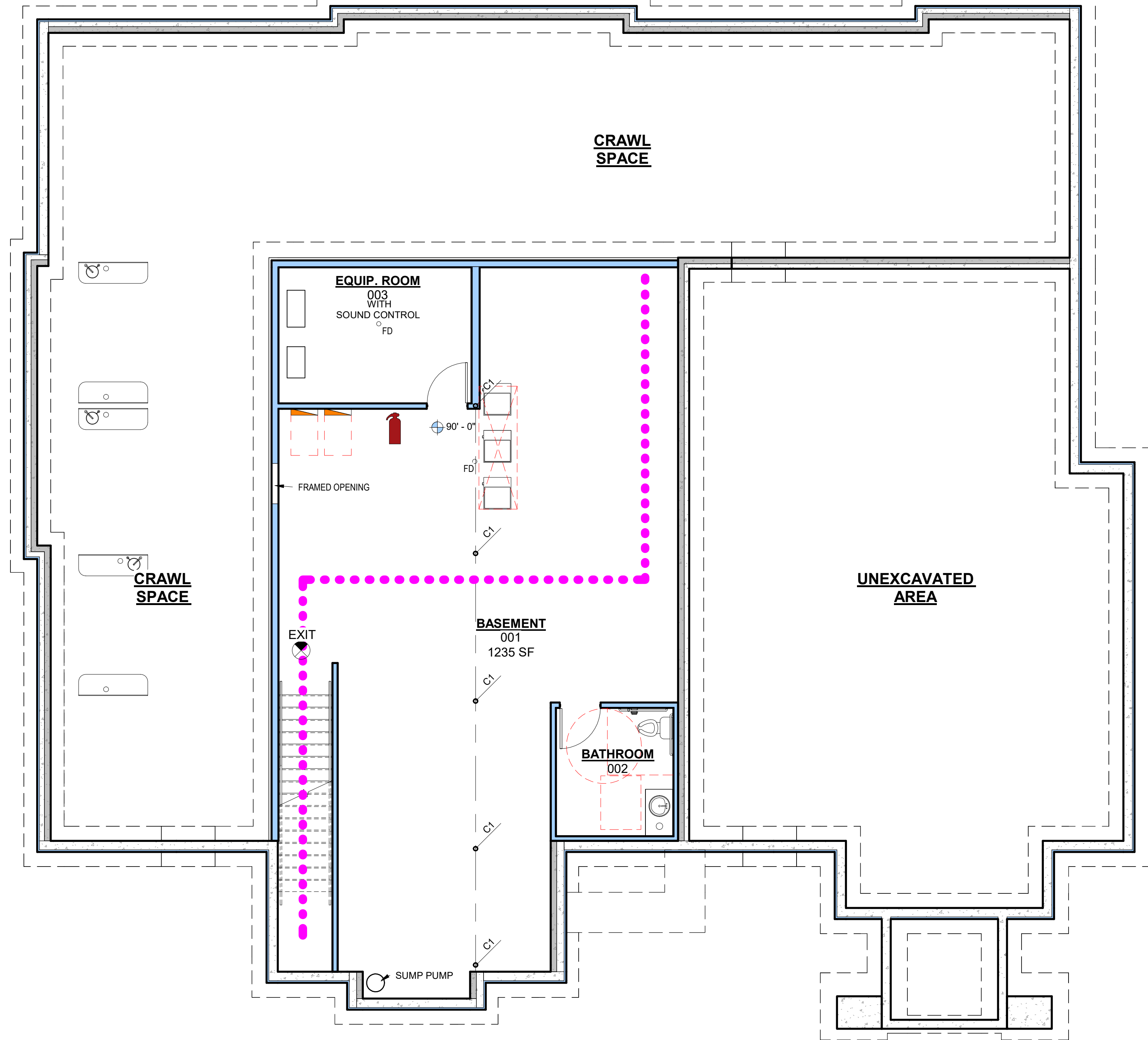
Respectfully,

McMahon Associates, Inc.



Phil Kleman
Associate/Municipal & Water Resource Engineer

Cc: Keith Weyenberg, V. Combined Locks



BASEMENT EGRESS PLAN
Scale: 3/16" = 1'-0"



EGRESS PLAN
Scale: 3/16" = 1'-0"

No.	Date	Description

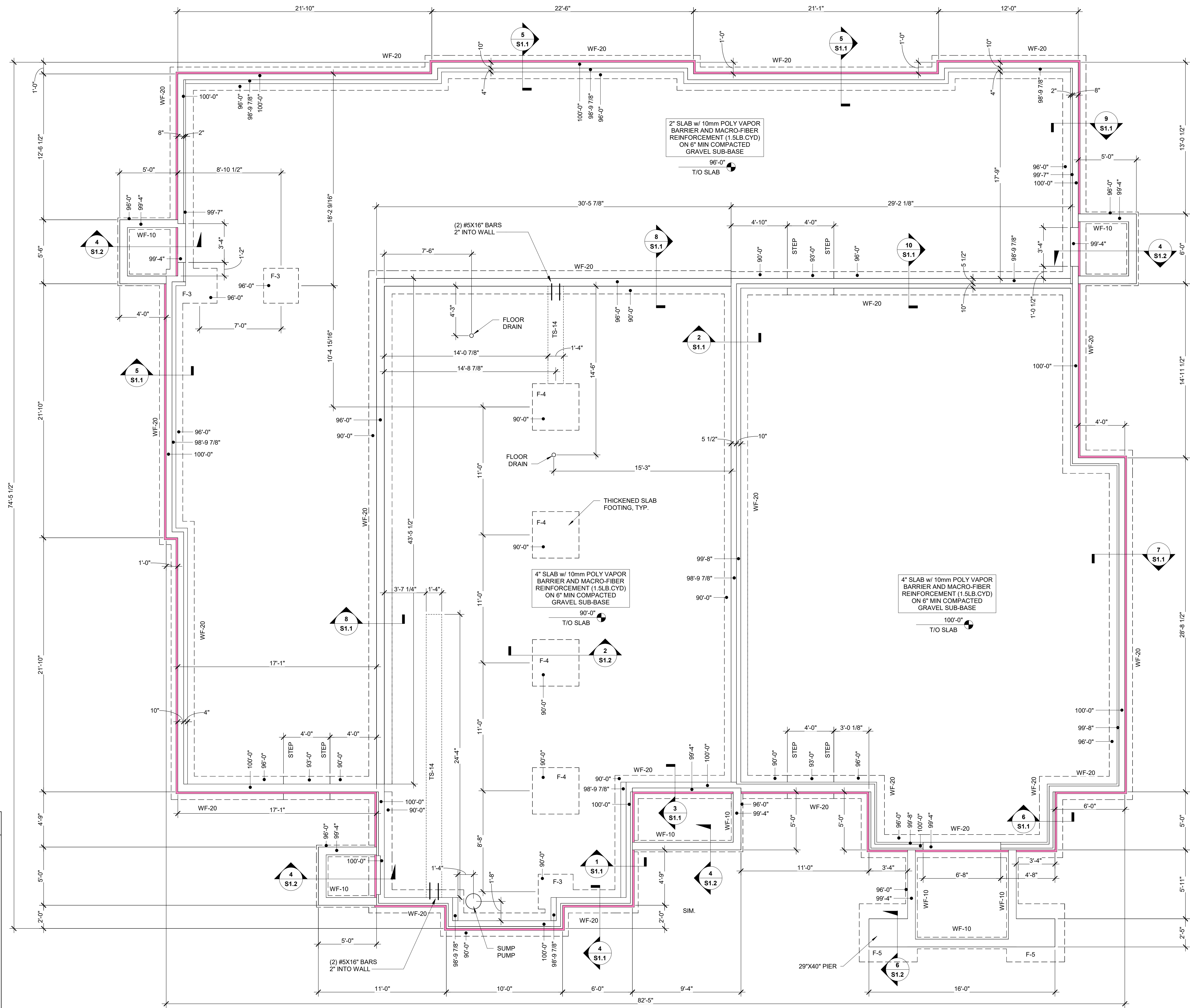
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Drawn By	Approved By
Designer	Checker
Project No.	Date
25-0082	3/19/26
Sheet No.	

No.	Date	Description

ISSUED FOR CONSTRUCTION

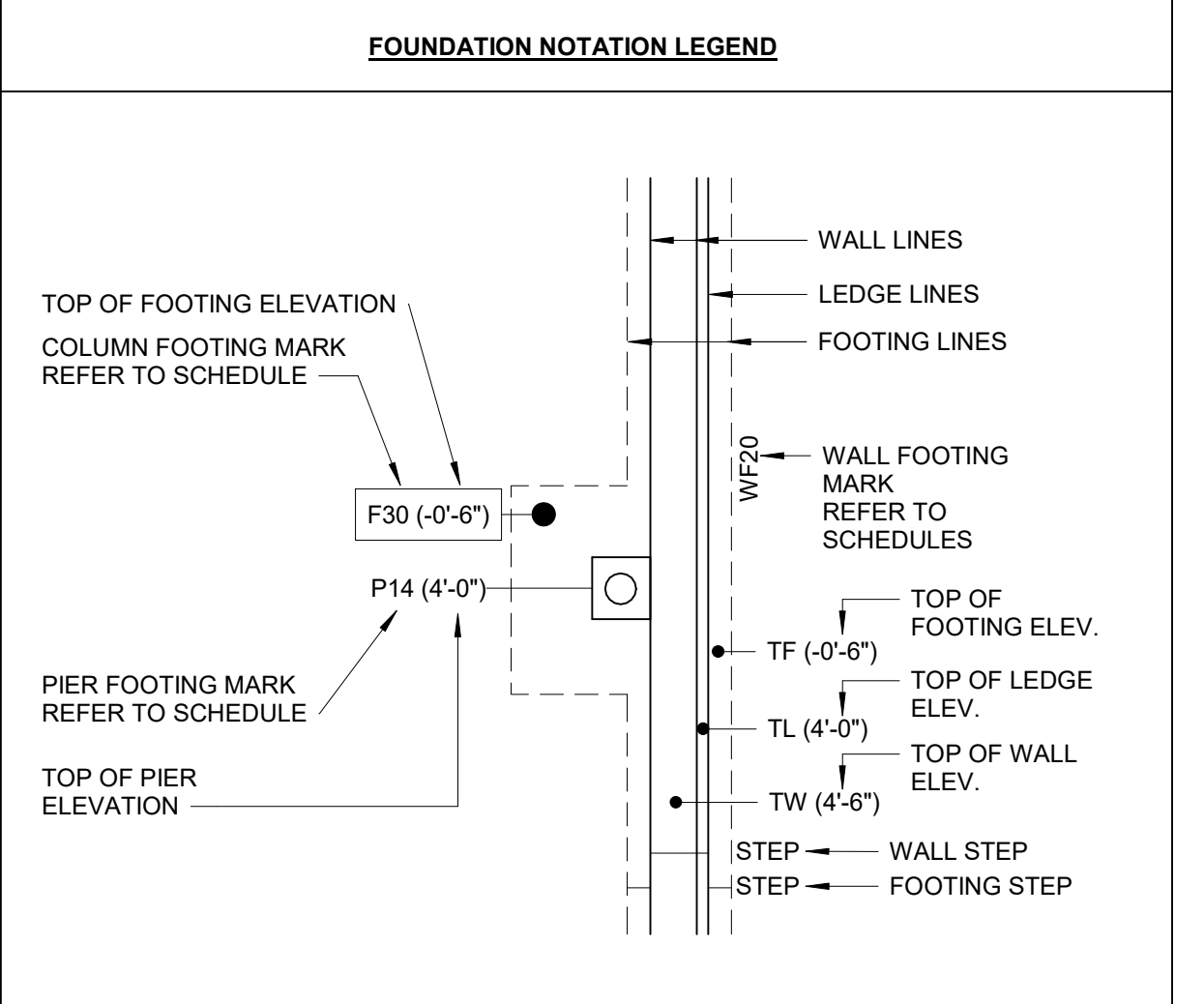
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Project No. -	Date 2/15/2026
Sheet No.	



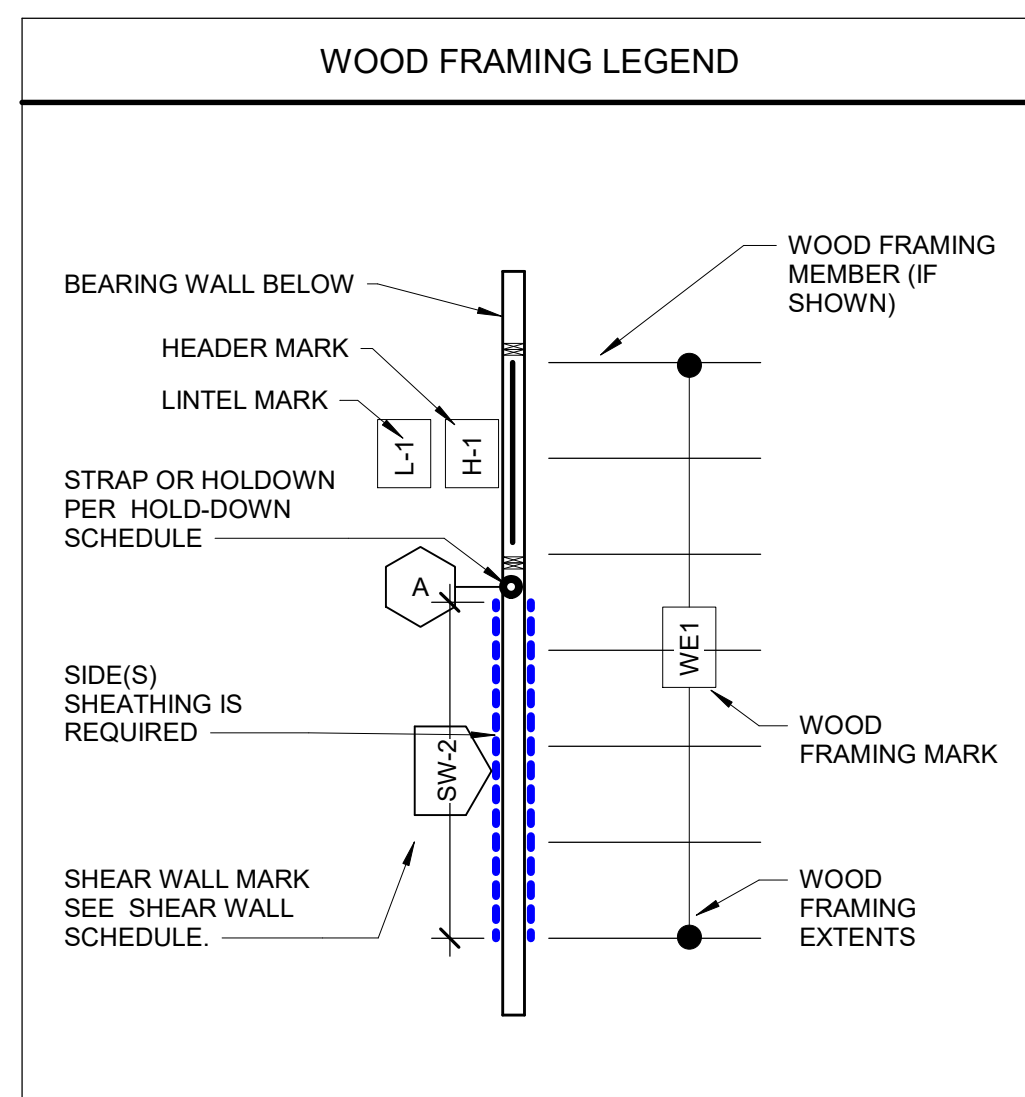
FOOTING SCHEDULE

MARK	DIMENSIONS			BOTTOM REINF.		TOP REINF.		NOTES
	WIDTH	LENGTH	THICKNESS	SHORT	LONG	SHORT	LONG	
TS-14	1'-4"	CONT.	10"	-	(2) #4	-	-	
WF-20	2'-0"	CONT.	10"	-	(2) #4	-	-	
WF-10	1'-0"	CONT.	8"	-	(2) #4	-	-	
F-3	3'-0"	3'-0"	10"	(4) #4 BOTH WAYS	-	-	-	ISOLATED COLUMN FOOTING
F-4	4'-0"	4'-0"	10"	(5) #4 BOTH WAYS	-	-	-	ISOLATED COLUMN FOOTING
F-5	5'-0"	5'-0"	12"	(6) #4 BOTH WAYS	-	-	-	ISOLATED COLUMN FOOTING

NOTES:
 1. ALL BARS TO HAVE 3" COVER FROM BOTTOM
 2. SEE GENERAL STRUCTURAL FOUNDATION NOTES
 3. CONTRACTOR TO HIRE SOILS ENGINEER TO FIELD VERIFY AT TIME OF FOOTING EXCAVATION



- FOUNDATION PLAN NOTES**
- VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL DRAWINGS.
 - ALL DIMENSIONS ARE TO EDGE OF FRAMING, CONCRETE OR CENTER OF COLUMN / POST.
 - ALL SCHEDULE MARK DESIGNATIONS MAY NOT NECESSARILY BE FOUND IN THIS PLAN. SCHEDULES ARE TYPICAL TO THIS PROJECT.
 - ALL FOOTINGS AND SLABS TO BEAR ON COMPETENT NATIVE SOILS AND/OR STRUCTURAL FILL.
 - VERIFY LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY DRILLING OR EXCAVATION.
 - COORDINATE AND VERIFY LOCATION OF ALL UNDERGROUND WORK PRIOR TO POURING CONCRETE SLAB
 - CONTRACTOR TO BE AWARE OF POSSIBLE NEED OF OVER EXCAVATION OF POOR SOILS.
 - ANCHOR BOLT AND EMBEDDED HOLD DOWN ANCHORS ARE SHOWN ON THE FRAMING PLANS.
 - W1, W2, ETC. - AS SHOWN ON PLAN INDICATES CONCRETE OR MASONRY WALLS. SEE WALL SCHEDULE FOR ADDITIONAL INFORMATION.
 - WF18, WF24, ETC. - AS SHOWN ON PLAN INDICATES A CONTINUOUS WALL FOOTING. SEE FOOTING SCHEDULE FOR ADDITIONAL INFORMATION.
 - F36, F48, ETC. - AS SHOWN ON THE PLAN INDICATES A WOOD POST. SEE POST SCHEDULE FOR MORE INFORMATION.
 - PF-1, PF-2, ETC. - AS SHOWN ON PLAN INDICATES A CONCRETE PIER. SEE PIER SCHEDULE FOR ADDITIONAL INFORMATION



- ### FRAMING PLAN NOTES
- VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL DRAWINGS.
 - ALL DIMENSIONS ARE TO EDGE OF FRAMING OR CENTER OF COLUMN / POST.
 - ALL SCHEDULE MARK DESIGNATIONS MAY NOT NECESSARILY BE FOUND IN THIS PLAN. SCHEDULES ARE TYPICAL TO THIS PROJECT.
 - WALL SHEATHING** TO BE APA STRUCTURAL I 1/2" OSB SHEATHING (ZIP) ATTACHED WITH 8d NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD SPACING, UNLESS NOTED OTHERWISE. (SEE SHEARWALL SCHEDULE).
 - ROOF DECKING** TO BE 5/8" T&G OSB ATTACHED WITH 8d NAILS @ 6" O.C. AT ALL PERIMETER AND SUPPORTED EDGES.
 - WALL STUDS** TO BE 2 x 6 #1/#2 SPF @ 16" O.C. W/ **DOUBLE** TOP PLATE PER WALL SCHEDULE, UNLESS NOTED OTHERWISE. (SEE WALL SCHEDULE)
 - GIRDER TRUSSES**: VERIFY GIRDER TRUSS LAYOUT W/ TRUSS MANUFACTURER AND COORDINATE POST LOCATIONS PRIOR TO FRAMING.
 - FLOOR DECKING** TO BE 3/4" APA RATED T&G PLYWOOD, GLUED AND NAILED

HEADER AND BEAM SCHEDULE

MARK	SIZE	JACK STUDS	KING STUDS	MULTI-PLY FASTENING
H-1	(3) 2X6 SPF #1/#2	1	1	2 ROWS 12d @ 12" o.c. BOTH SIDES
H-2	(3) 2X6 SPF #1/#2	1	2	2 ROWS 12d @ 12" o.c. BOTH SIDES
H-3	(3) 2X6 SPF #1/#2	2	1	2 ROWS 12d @ 12" o.c. BOTH SIDES
H-4	(3) 2X10 SPF #1/#2	1	2	2 ROWS 12d @ 12" o.c. BOTH SIDES

- ### HEADER NOTES:
- STUDS NOTED ON PLANS ARE TO BE USED, WHEN NOTED, RATHER THAN STUDS SHOWN ON SCHEDULE
 - AT WALLS FRAMING PERPENDICULARLY INTO WALLS, USE NUMBER OF STUDS EQUAL TO THE NUMBER OF PLYS OF HEADER
 - AT INTERIOR WALL OPENINGS WITHOUT SCHEDULED HEADERS, USE (2) BEARING STUD AND (1) KING STUD
 - AT EXTERIOR WALL OPENINGS WITHOUT SCHEDULED HEADERS, PROVIDE (2) BEARING STUDS AND (2) KING STUDS
 - ALL KING STUDS TO EXTEND TO DOUBLE TOP PLATE
 - NO BEARING PLATES WHERE HEADERS BEAR ON PSL COLUMNS.

SHEARWALL TYPE SCHEDULE

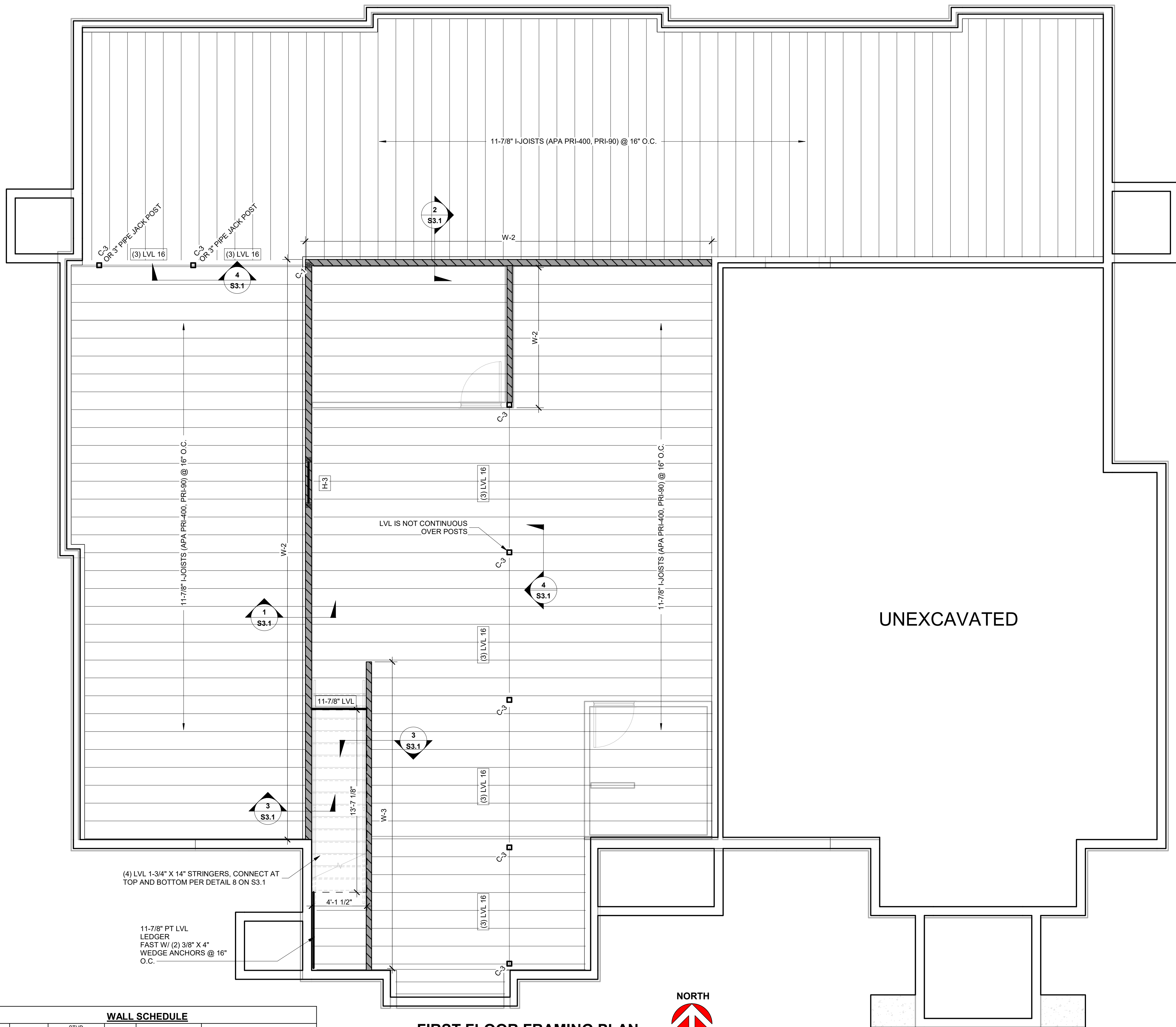
NOTES:
 1. SHEARWALL TYPES LISTED BELOW ARE NOT JOB SPECIFIC. SOME TYPES MAY NOT BE USED ON THE PLANS.
 2. FRAMING MEMBER SUPPORTING MATERIAL SHALL BE SPACED AT 16" O.C. MAXIMUM.
 3. A MINIMUM OF (2) ANCHOR BOLTS SHALL BE USED ON EACH BASE PLATE PIECE. PROVIDE (1) ANCHOR BOLT MINIMUM WITHIN 8" OF EACH END PIECE.
 4. PROVIDE CONTINUOUS DOUBLE 2X TOP PLATE AT ALL SHEARWALLS AND EXTERIOR WALLS. UNLESS NOTED OTHERWISE, LAP SPLICE TOP PLATE A MINIMUM OF 4'-0" WITH 16d NAILS STAGGERED AT 2' O.C. (24) 16d NAILS TOTAL BETWEEN SPLICE JOINTS.)
 5. PROVIDE FULL HEIGHT DOUBLE STUDS AT ENDS OF SHEARWALLS UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.
 6. BLOCK ALL PANEL EDGES. EDGE NAIL SHEATHING AT BLOCKED EDGES.
 7. SEE TYPICAL SHEARWALL DETAIL FOR ADDITIONAL REQUIREMENTS.
 8. ALL EXTERIOR WALLS ARE SW-1 UNLESS NOTED OTHERWISE. SEE FRAMING PLAN FOR SHEARWALL MARKS.

MARK	SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	BOTTOM PLATE ATTACHMENT
SW1	1/2" APA RATED SHEATHING ZIP BLOCKED	8d @ 6" O.C.	8d @ 12" O.C.	CONCRETE: 1/2" @ TITEN HD ANCHORS WITH MIN 4" EMBED @ 48" O.C. WOOD: (2) 0.131" X 3 1/2" NAILS AT 8" O.C. THRU PLATE AND SHEATHING
SW2	1/2" APA RATED SHEATHING ZIP BLOCKED	8d @ 3" O.C.	8d @ 12" O.C.	CONCRETE: 1/2" @ TITEN HD ANCHORS WITH MIN 4" EMBED @ 48" O.C. WOOD: (2) 0.131" X 3 1/2" NAILS AT 8" O.C. THRU PLATE AND SHEATHING
SW3	1/2" APA RATED SHEATHING ZIP BLOCKED	8d @ 4" O.C.	8d @ 12" O.C.	CONCRETE: 1/2" @ TITEN HD ANCHORS WITH MIN 4" EMBED @ 48" O.C. WOOD: (2) 0.131" X 3 1/2" NAILS AT 8" O.C. THRU PLATE AND SHEATHING

WALL SCHEDULE

MARK	STUD SIZE	STUD GRADE	SPACING	TOP PLATE	NOTES
W-1	2X6	SPF #1/#2	16" O.C.	(2) MSR SP 1850	
W-2	2X6	SPF #1/#2	16" O.C.	(2) SPF #1/2	
W-3	2X4	SPF #1/#2	16" O.C.	(2) SPF #1/2	

- ### TYPICAL WALL NOTES:
- ALL EXTERIOR WALLS ARE MARK W-1 UNLESS NOTED OTHERWISE
 - DOUBLE TOP PLATE SIZE AND GRADE SHALL MATCH WALL STUD OR BETTER, U.N.O.
 - AT PLATES IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER, BOTTOM PLATE SHALL BE TREATED SYP OR TREATED LSL
 - PROVIDE DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE U.N.O.
 - BOTTOM PLATE TO BE SYP #2 PRESSURE TREATED UNLESS NOTED OTHERWISE



FIRST FLOOR FRAMING PLAN
1/4" = 1'-0"

COLUMN / POST SCHEDULE

MARK	SIZE	GRADE	NOTES
C-1	(3) 2X6	SPF #1/#2	
C-2	(4) 2X6	SYP #1	
C-3	HSS 474"x14"	ASTM A500 GR. B	

HOLD DOWN SCHEDULE

MARK	DESCRIPTION	ANCHOR	FASTENERS TO STUDS	NUMBER OF END STUDS
A	SIMPSON HDUES-SDS3 (HOLD DOWN CAPACITY = 4,700 LBS)	5/8" DIAM. X 16" A307 THREADED ROD, EPOXIED WITH HILTY HY-200 OR SIMPSON SET-3C. MINIMUM EMBEDMENT 8" INTO CONCRETE	(10) 1/4 x 3 SDS	2



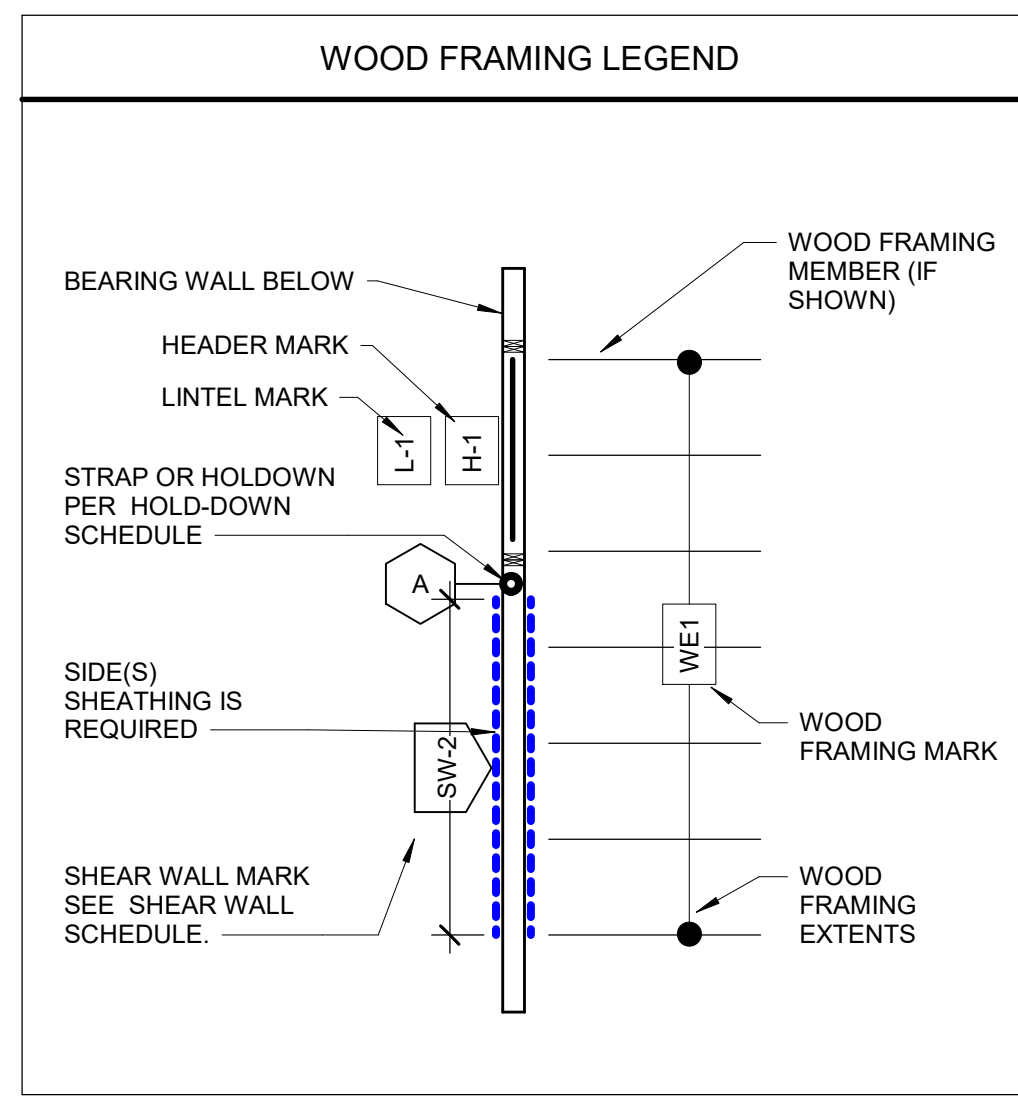
ISSUED FOR CONSTRUCTION

Drawn By: AJL
 Approved By: EMJ
 Project No.:
 Date: 2/15/2026
 Sheet No.:

S2.0

PROPOSED NEW BUILDING FOR:
MEADOW VIEW DENTAL
 LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI
1ST FLOOR FRAMING PLAN





- ### FRAMING PLAN NOTES
- VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL DRAWINGS.
 - ALL DIMENSIONS ARE TO EDGE OF FRAMING OR CENTER OF COLUMN / POST.
 - ALL SCHEDULE MARK DESIGNATIONS MAY NOT NECESSARILY BE FOUND IN THIS PLAN. SCHEDULES ARE TYPICAL TO THIS PROJECT.
 - WALL SHEATHING** TO BE APA STRUCTURAL 1 1/2" OSB SHEATHING (ZIP) ATTACHED WITH 8d NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD SPACING, UNLESS NOTED OTHERWISE. (SEE SHEARWALL SCHEDULE).
 - ROOF DECKING** TO BE 5/8" T&G OSB ATTACHED WITH 8d NAILS @ 6" O.C. AT ALL PERIMETER AND SUPPORTED EDGES.
 - WALL STUDS** TO BE 2 x 6 #1/#2 SPF @ 16" O.C. W/ **DOUBLE** TOP PLATE PER WALL SCHEDULE, UNLESS NOTED OTHERWISE. (SEE WALL SCHEDULE).
 - GIRDER TRUSSES:** VERIFY GIRDER TRUSS LAYOUT W/ TRUSS MANUFACTURER AND COORDINATE POST LOCATIONS PRIOR TO FRAMING.
 - FLOOR DECKING** TO BE 3/4" APA RATED T&G PLYWOOD, GLUED AND NAILED.

HEADER AND BEAM SCHEDULE

MARK	SIZE	JACK STUDS	KING STUDS	MULTI-PLY FASTENING
H-1	(3) 2X6 SPF #1/#2	1	1	2 ROWS 12d @ 12" o.c. BOTH SIDES
H-2	(3) 2X6 SPF #1/#2	1	2	2 ROWS 12d @ 12" o.c. BOTH SIDES
H-3	(3) 2X6 SPF #1/#2	2	1	2 ROWS 12d @ 12" o.c. BOTH SIDES
H-4	(3) 2X10 SPF #1/#2	1	2	2 ROWS 12d @ 12" o.c. BOTH SIDES

- ### HEADER NOTES:
- STUDS NOTED ON PLANS ARE TO BE USED, WHEN NOTED, RATHER THAN STUDS SHOWN ON SCHEDULE.
 - AT WALLS FRAMING PERPENDICULARLY INTO WALLS, USE NUMBER OF STUDS EQUAL TO THE NUMBER OF PLIES OF HEADER.
 - AT INTERIOR WALL OPENINGS WITHOUT SCHEDULED HEADERS, USE (2) BEARING STUD AND (1) KING STUD.
 - AT EXTERIOR WALL OPENINGS WITHOUT SCHEDULED HEADERS, PROVIDE (2) BEARING STUDS AND (2) KING STUDS.
 - ALL KING STUDS TO EXTEND TO DOUBLE TOP PLATE.
 - NO BEARING PLATES WHERE HEADERS BEAR ON PSL COLUMNS.

SHEARWALL TYPE SCHEDULE

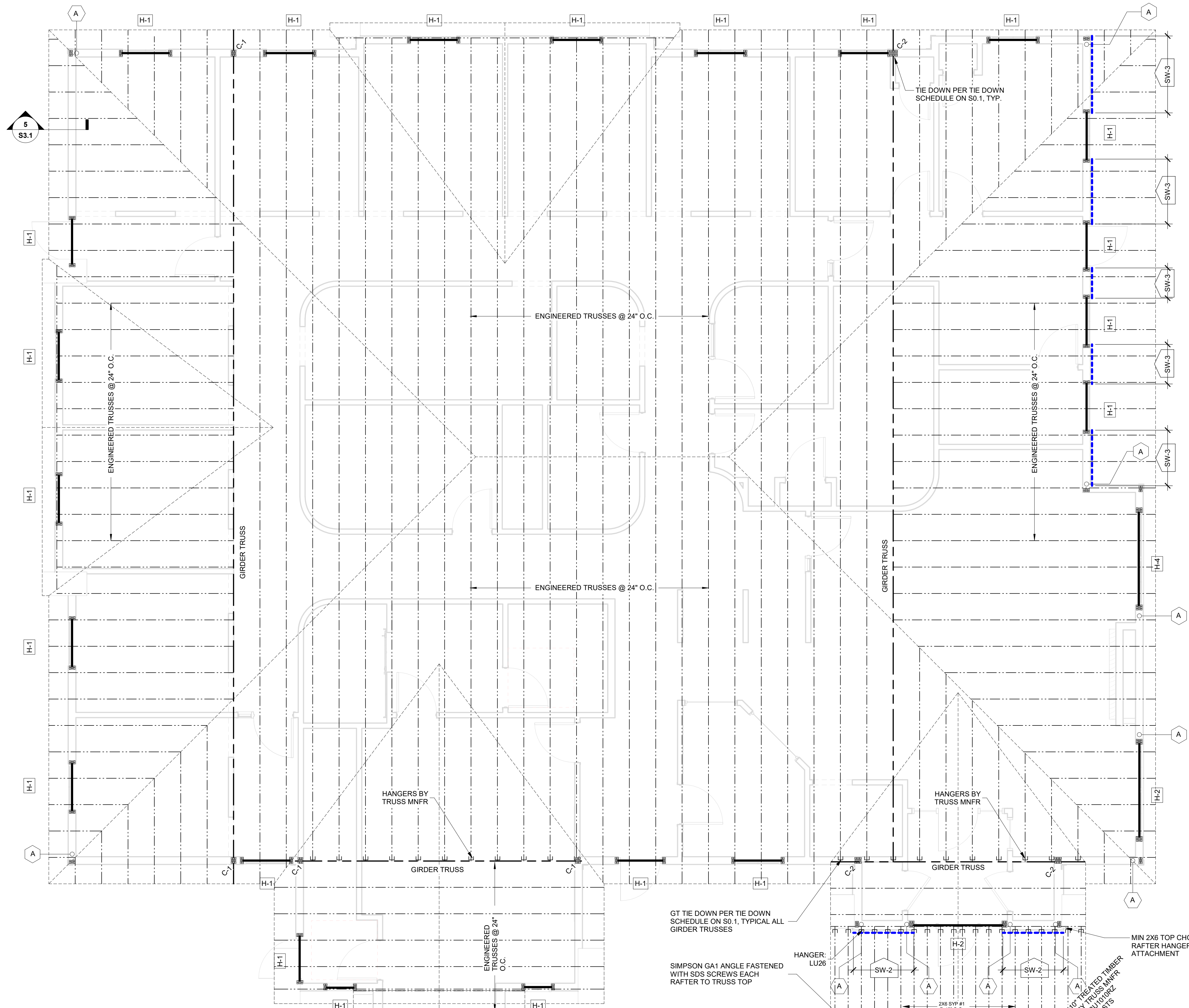
NOTES:
 1. SHEARWALL TYPES LISTED BELOW ARE NOT JOB SPECIFIC. SOME TYPES MAY NOT BE USED ON THE PLANS.
 2. FRAMING MEMBER SUPPORTING MATERIAL SHALL BE SPACED AT 16" O.C. MAXIMUM.
 3. A MINIMUM OF (2) ANCHOR BOLTS SHALL BE USED ON EACH BASE PLATE PIECE. PROVIDE (1) ANCHOR BOLT MINIMUM WITHIN 8" OF EACH END PIECE.
 4. PROVIDE CONTINUOUS DOUBLE 2X TOP PLATE AT ALL SHEARWALLS AND EXTERIOR WALLS, UNLESS NOTED OTHERWISE. LAP SPLICE TOP PLATE A MINIMUM OF 4'-0" WITH 16d NAILS STAGGERED AT 2" O.C. (24) 16d NAILS TOTAL BETWEEN SPLICE JOINTS.)
 5. PROVIDE FULL HEIGHT DOUBLE STUDS AT ENDS OF SHEARWALLS UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.
 6. BLOCK ALL PANEL EDGES. EDGE NAIL SHEATHING AT BLOCKED EDGES.
 7. SEE TYPICAL SHEARWALL DETAIL FOR ADDITIONAL REQUIREMENTS.
 8. ALL EXTERIOR WALLS ARE SW-1 UNLESS NOTED OTHERWISE. SEE FRAMING PLAN FOR SHEARWALL MARKS.

MARK	SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	BOTTOM PLATE ATTACHMENT
SW1	1/2" APA RATED SHEATHING ZIP BLOCKED	8d @ 6" O.C.	8d @ 12" O.C.	CONCRETE: 1/2" Ø TITEN HD ANCHORS WITH MIN 4" EMBED @ 48" O.C. WOOD: (2) 0.131" X 3 1/2" NAILS AT 8" O.C. THRU PLATE AND SHEATHING
SW2	1/2" APA RATED SHEATHING ZIP BLOCKED	8d @ 3" O.C.	8d @ 12" O.C.	CONCRETE: 1/2" Ø TITEN HD ANCHORS WITH MIN 4" EMBED @ 48" O.C. WOOD: (2) 0.131" X 3 1/2" NAILS AT 8" O.C. THRU PLATE AND SHEATHING
SW3	1/2" APA RATED SHEATHING ZIP BLOCKED	8d @ 4" O.C.	8d @ 12" O.C.	CONCRETE: 1/2" Ø TITEN HD ANCHORS WITH MIN 4" EMBED @ 48" O.C. WOOD: (2) 0.131" X 3 1/2" NAILS AT 8" O.C. THRU PLATE AND SHEATHING

WALL SCHEDULE

MARK	STUD SIZE	STUD GRADE	SPACING	TOP PLATE	NOTES
W-1	2X6	SPF #1/#2	16" O.C.	(2) MSR SP 1850	
W-2	2X6	SPF #1/#2	16" O.C.	(2) SPF #1/2	
W-3	2X4	SPF #1/#2	16" O.C.	(2) SPF #1/2	

- ### TYPICAL WALL NOTES:
- ALL EXTERIOR WALLS ARE MARK W-1 UNLESS NOTED OTHERWISE.
 - DOUBLE TOP PLATE SIZE AND GRADE SHALL MATCH WALL STUD OR BETTER, U.N.O.
 - AT PLATES IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER, BOTTOM PLATE SHALL BE TREATED SYP OR TREATED LSL.
 - PROVIDE DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE U.N.O.
 - BOTTOM PLATE TO BE SYP #2 PRESSURE TREATED UNLESS NOTED OTHERWISE.



COLUMN / POST SCHEDULE

MARK	SIZE	GRADE	NOTES
C-1	(3) 2X6	SPF #1/#2	
C-2	(4) 2X6	SYP #1	
C-3	HSS 4"X4"X1/4"	ASTM A500 GR. B	

HOLD DOWN SCHEDULE

MARK	DESCRIPTION	ANCHOR	FASTENERS TO STUDS	NUMBER OF END STUDS
A	SIMPSON HDUE5-SDS3 (HOLD DOWN CAPACITY = 4,700 LBS)	5/8" DIAM. X 16" A307 THREADED ROD, EPOXIED WITH HILTY HY-200 OR SIMPSON SET-3G. MINIMUM EMBEDMENT 8" INTO CONCRETE	(10) 1/4" x 3 SDS	2

ROOF FRAMING PLAN
 1/4" = 1'-0"



PROPOSED NEW BUILDING FOR:
MEADOW VIEW DENTAL
 LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI
ROOF FRAMING PLAN

UTSCHIG
 DESIGN - CONSTRUCTION - DEVELOPMENT
Your Construction Solution!
 N1040 CRAFTSMEN DRIVE
 GREENVILLE, WI 54942
 PHONE: 920.757.0999
 FAX: 920.757.1015

No.	Date	Description

Page Information

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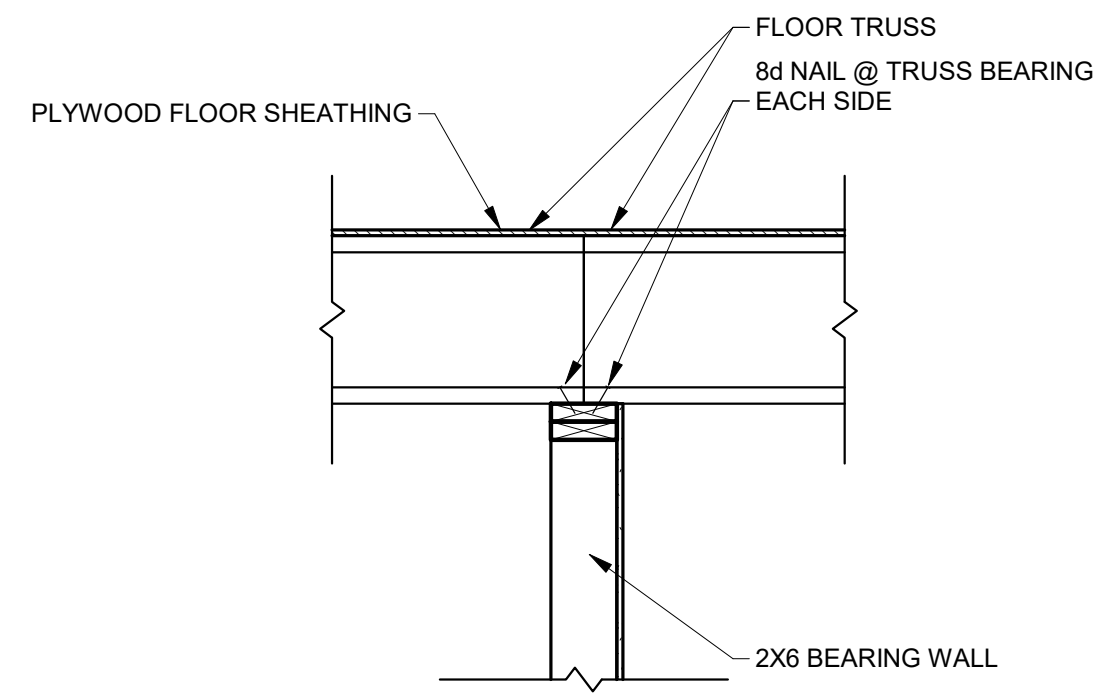
Drawn By: AJL
 Approved By: EMJ

Project No. _____ Date: 2/15/2026

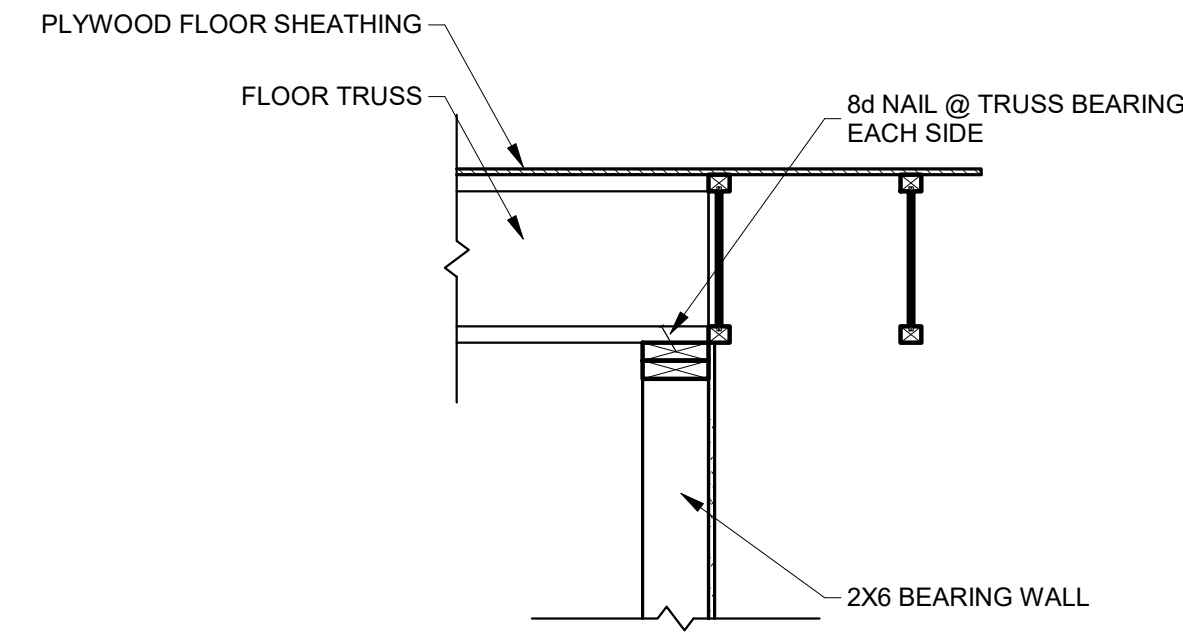
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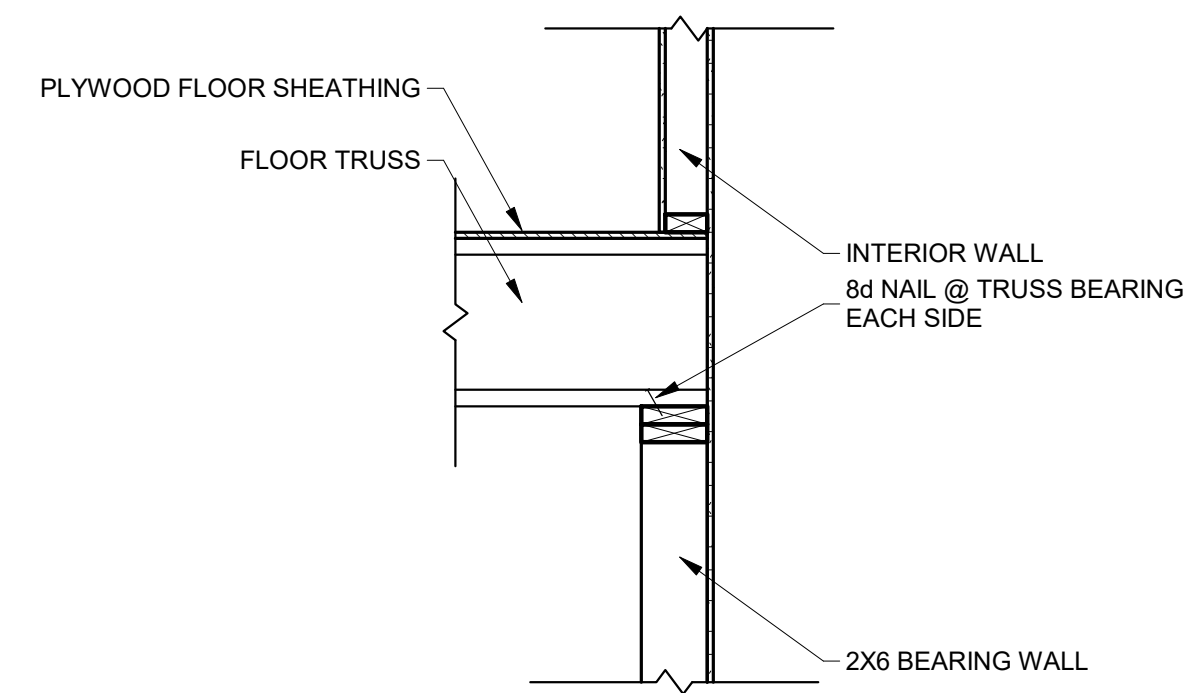
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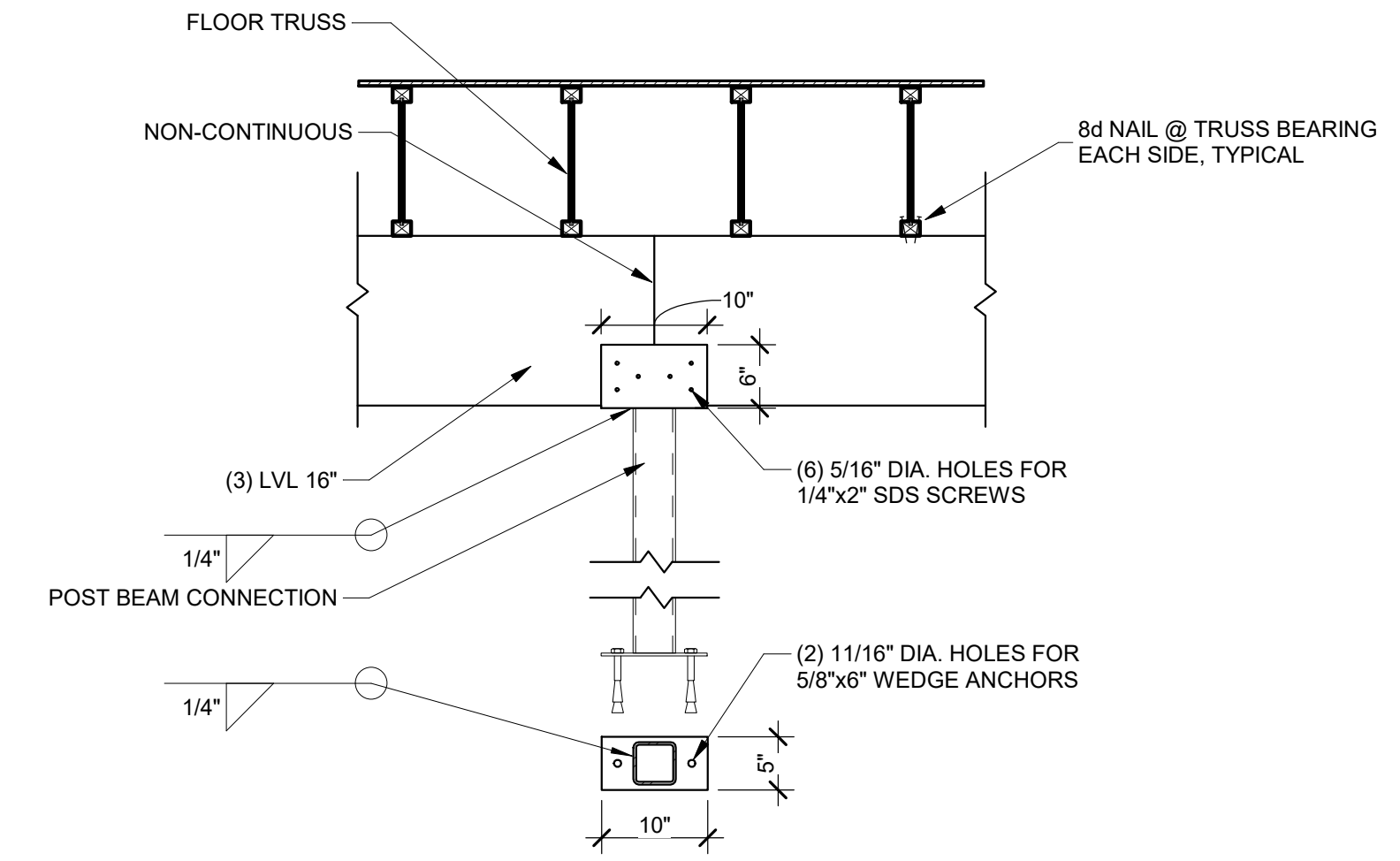
1 FLOOR TRUSS SPLICE
3/4" = 1'-0"



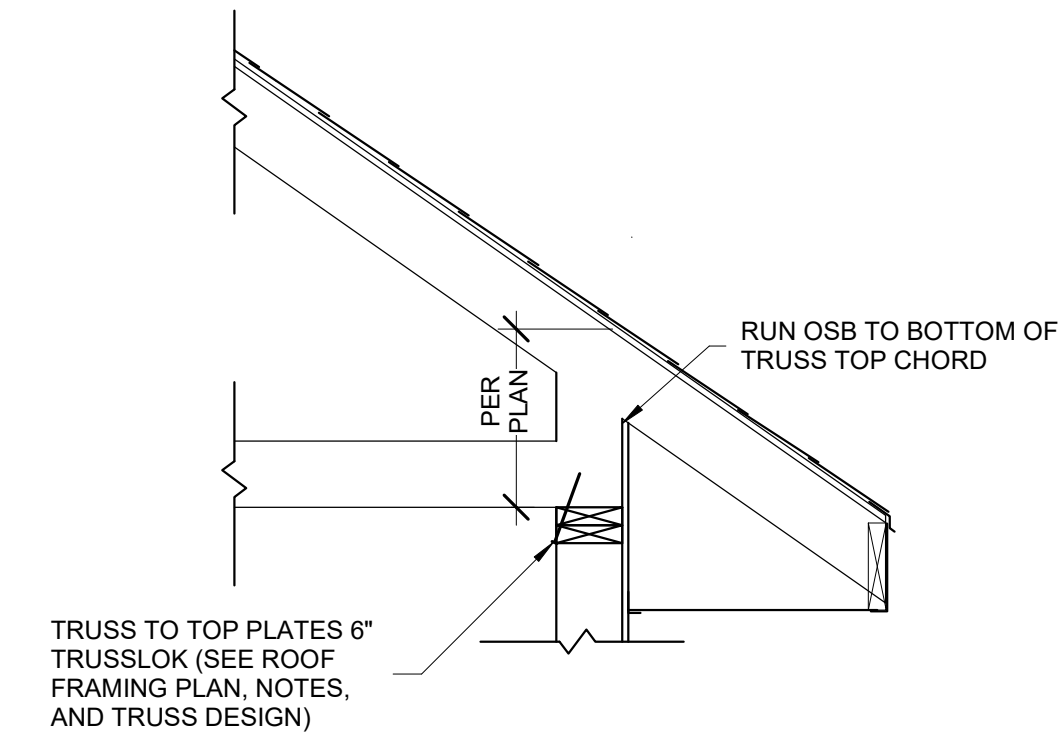
2 FLOOR TRUSS DIRECTION CHANGE
3/4" = 1'-0"



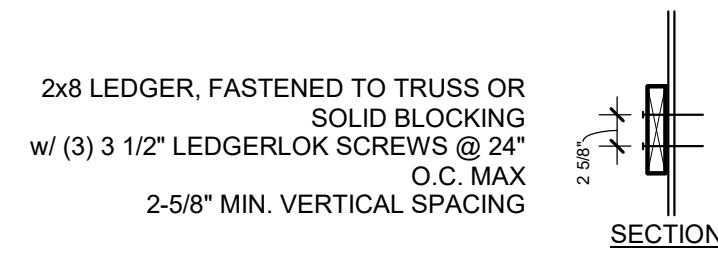
3 FLOOR TRUSS END WALL BEARING
3/4" = 1'-0"



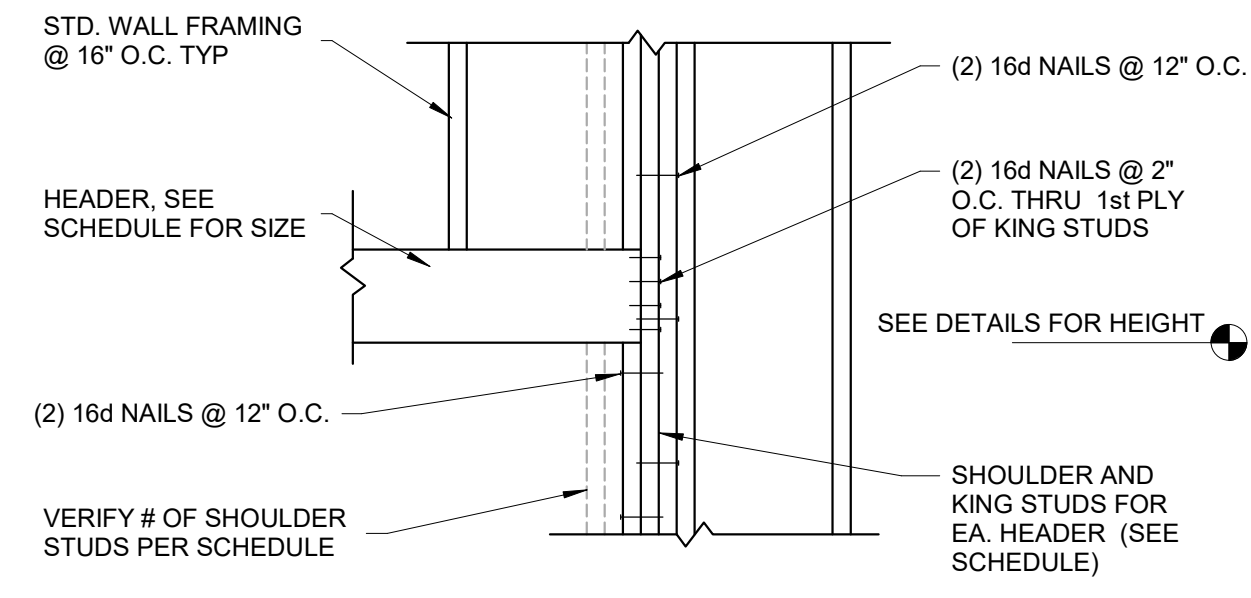
4 TYPICAL POST BEAM CONNECTION
3/4" = 1'-0"



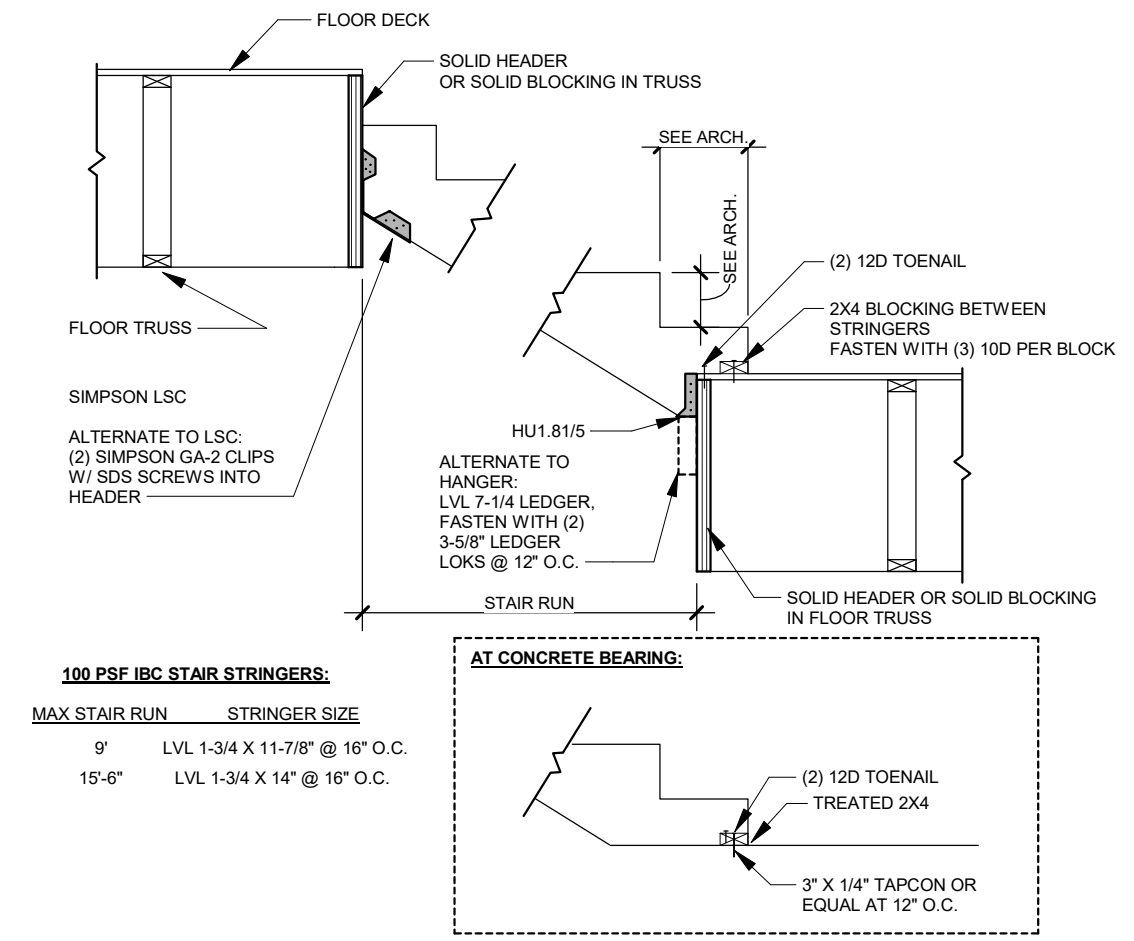
5 ROOF TRUSS BEARING / BLOCKING
3/4" = 1'-0"



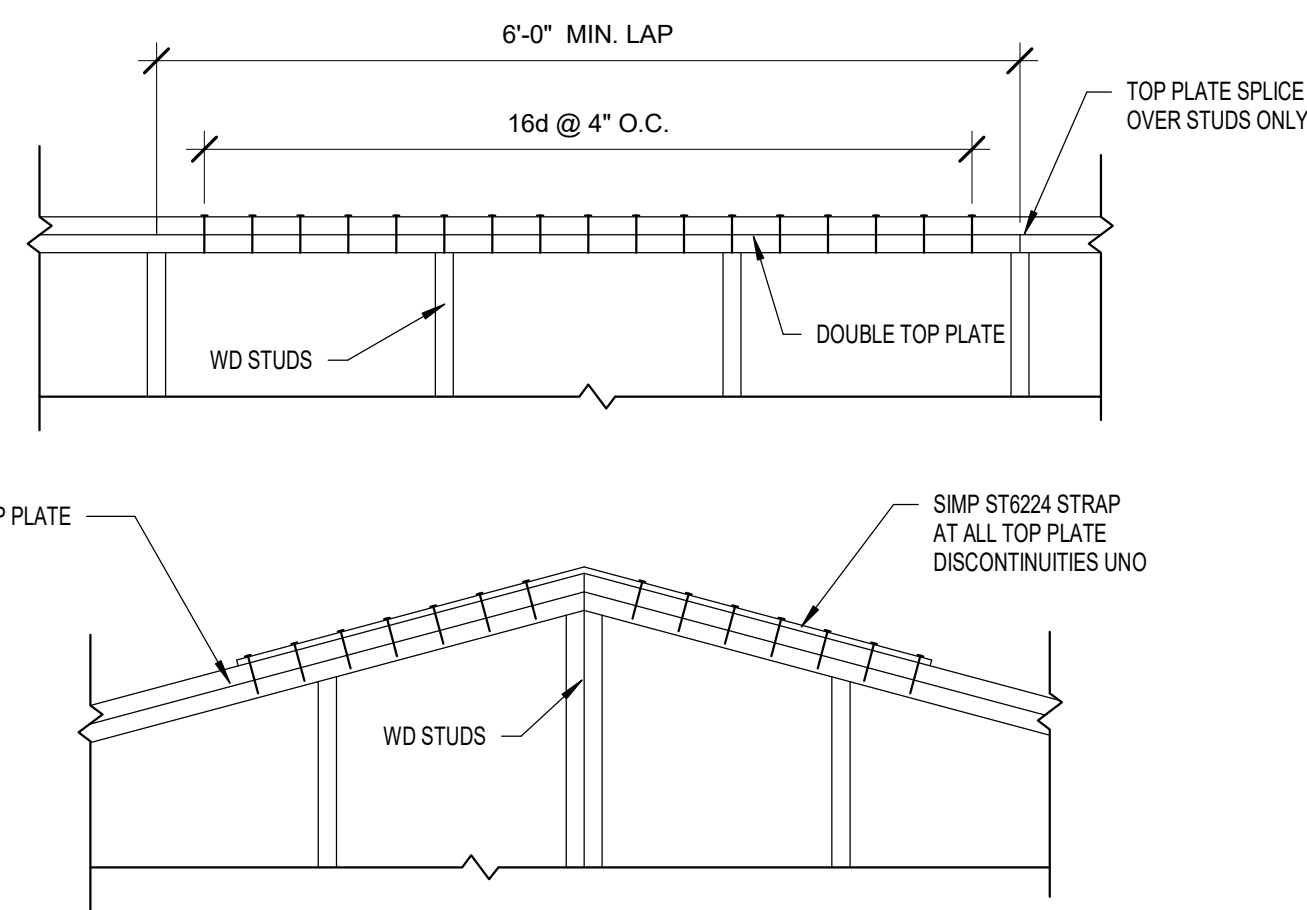
6 TYPICAL BEARING LEDGERS
3/4" = 1'-0"



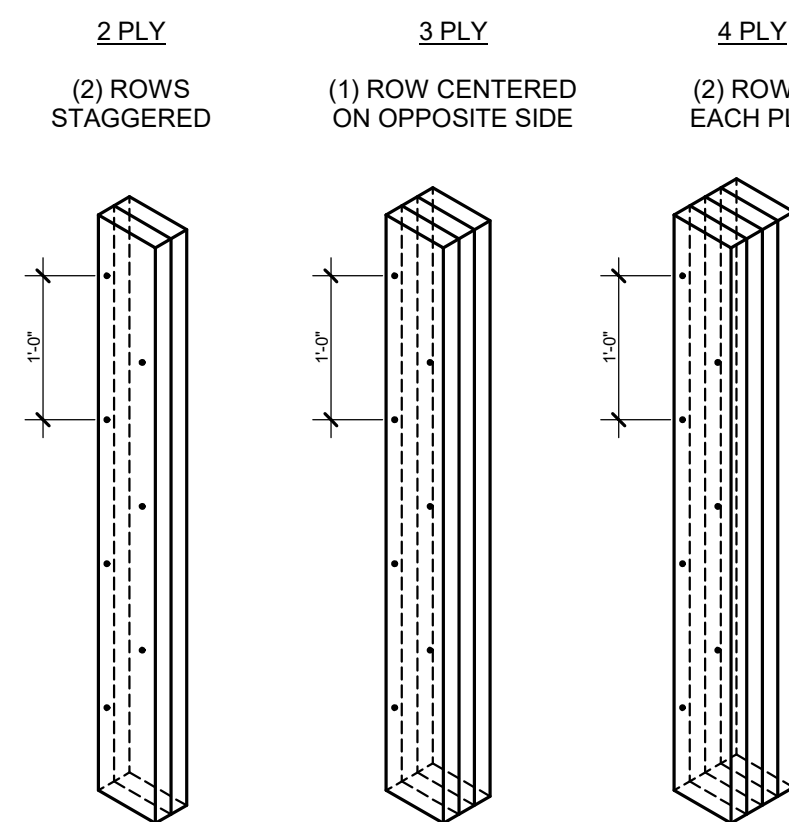
7 TYPICAL HEADER FRAMING DETAIL
3/4" = 1'-0"



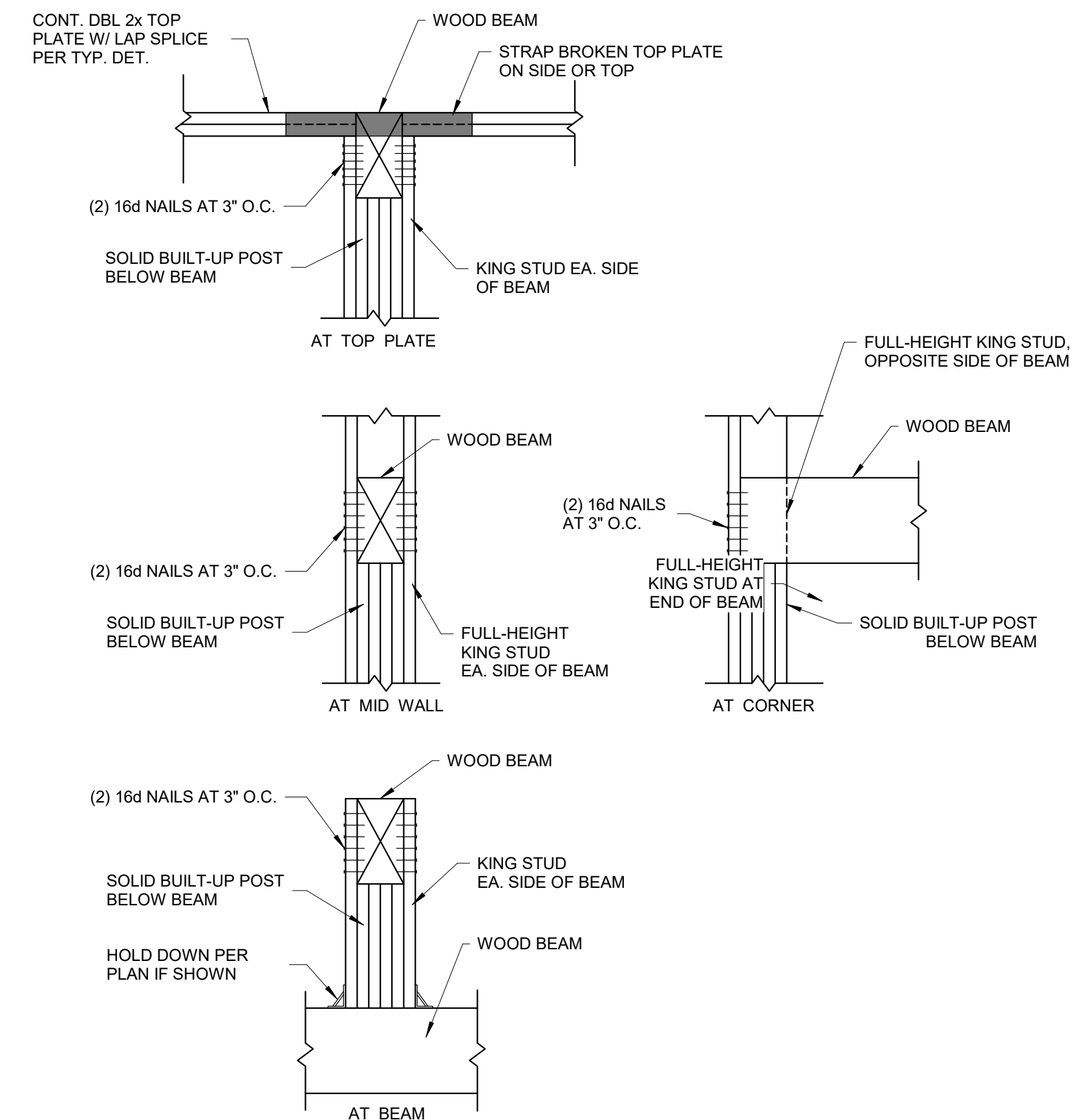
8 STAIR STRINGER CONNECTIONS
1/2" = 1'-0"



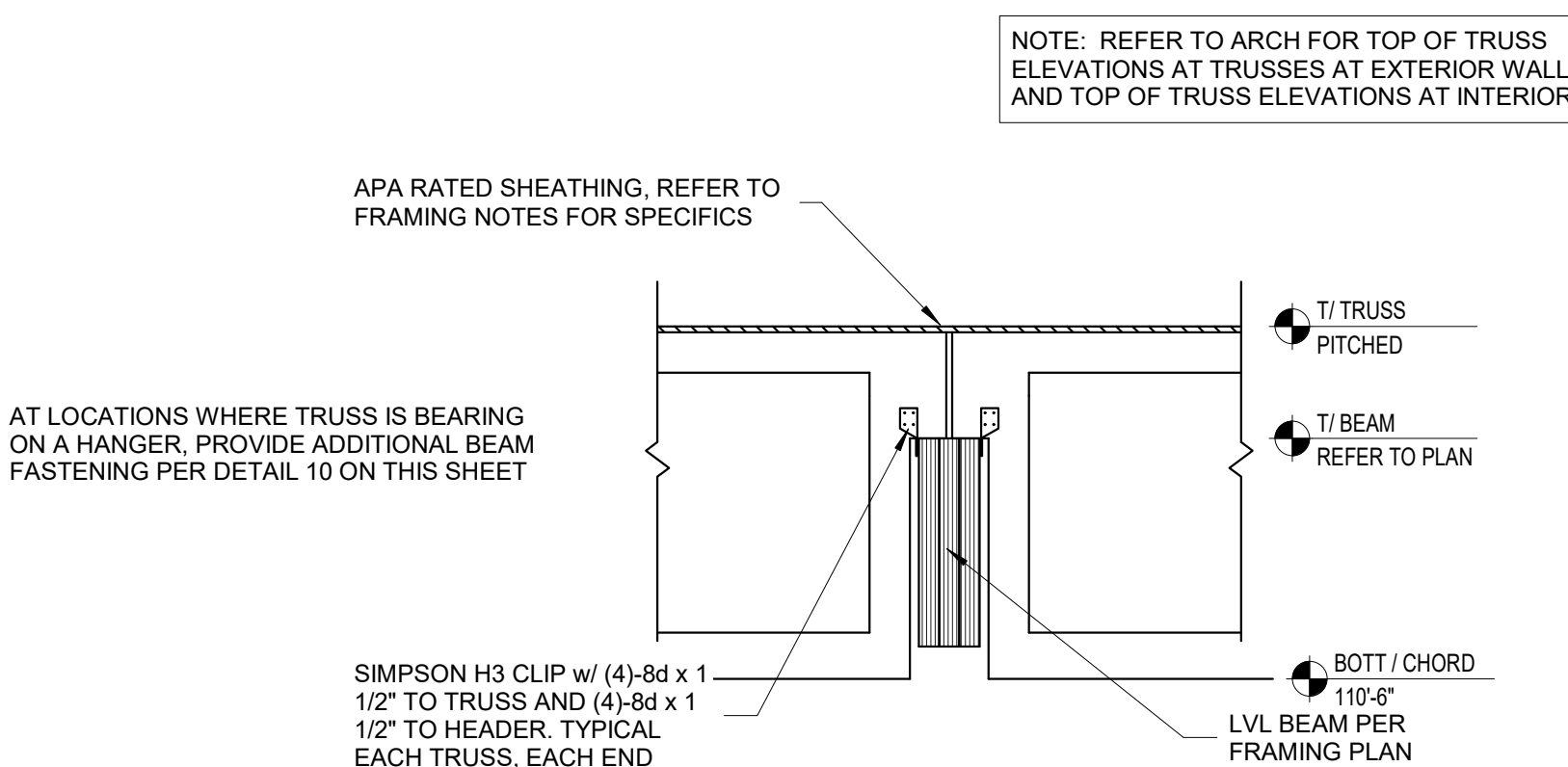
9 TOP PLATE SPLICE DETAIL
3/4" = 1'-0"



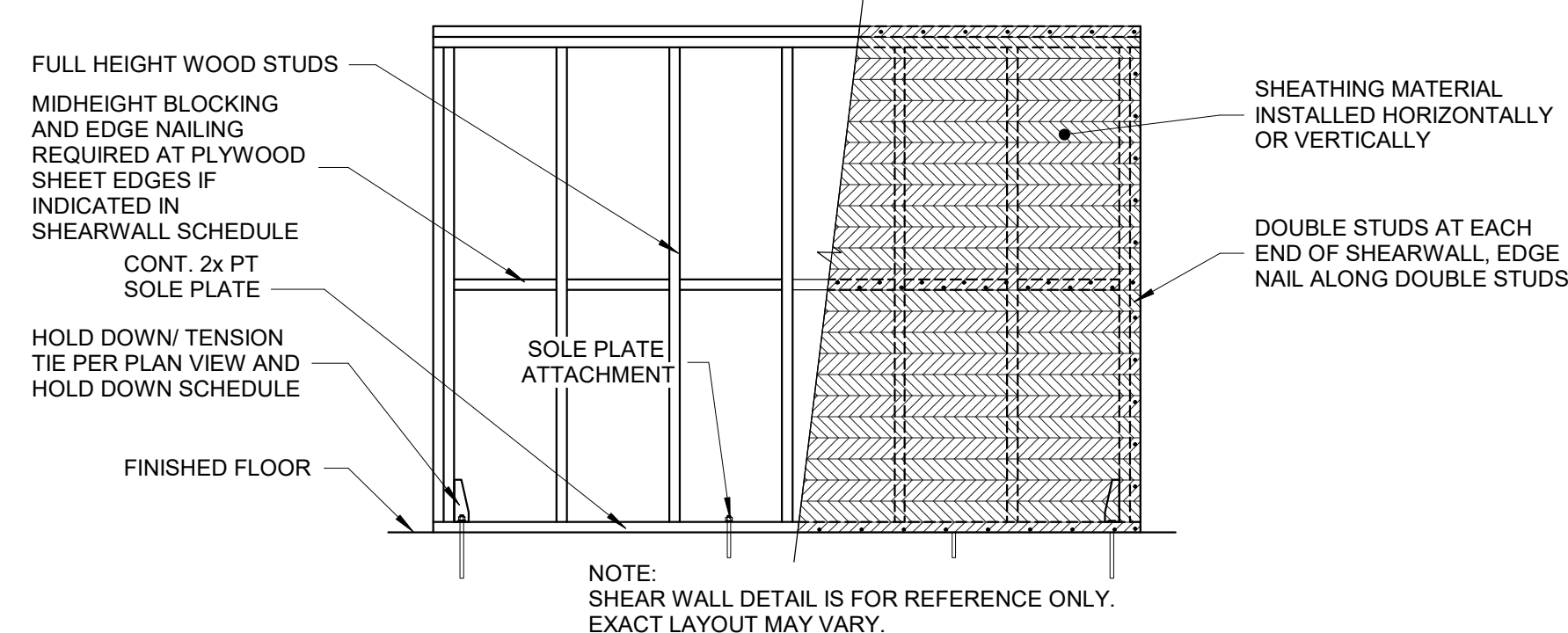
10 MULTIPLE MEMBER CONNECTIONS STUD COLUMNS
3/4" = 1'-0"



13 TYPICAL BEAM POCKET
3/4" = 1'-0"



11 ROOF TRUSS AT BEAM
3/4" = 1'-0"



12 TYPICAL SHEAR WALL ELEVATION
1/2" = 1'-0"

No.	Date	Description

Page Information

ISSUED FOR CONSTRUCTION

Drawn By	Approved By
AJL	EMJ
Project No.	Date
	2/15/2026
Sheet No.	

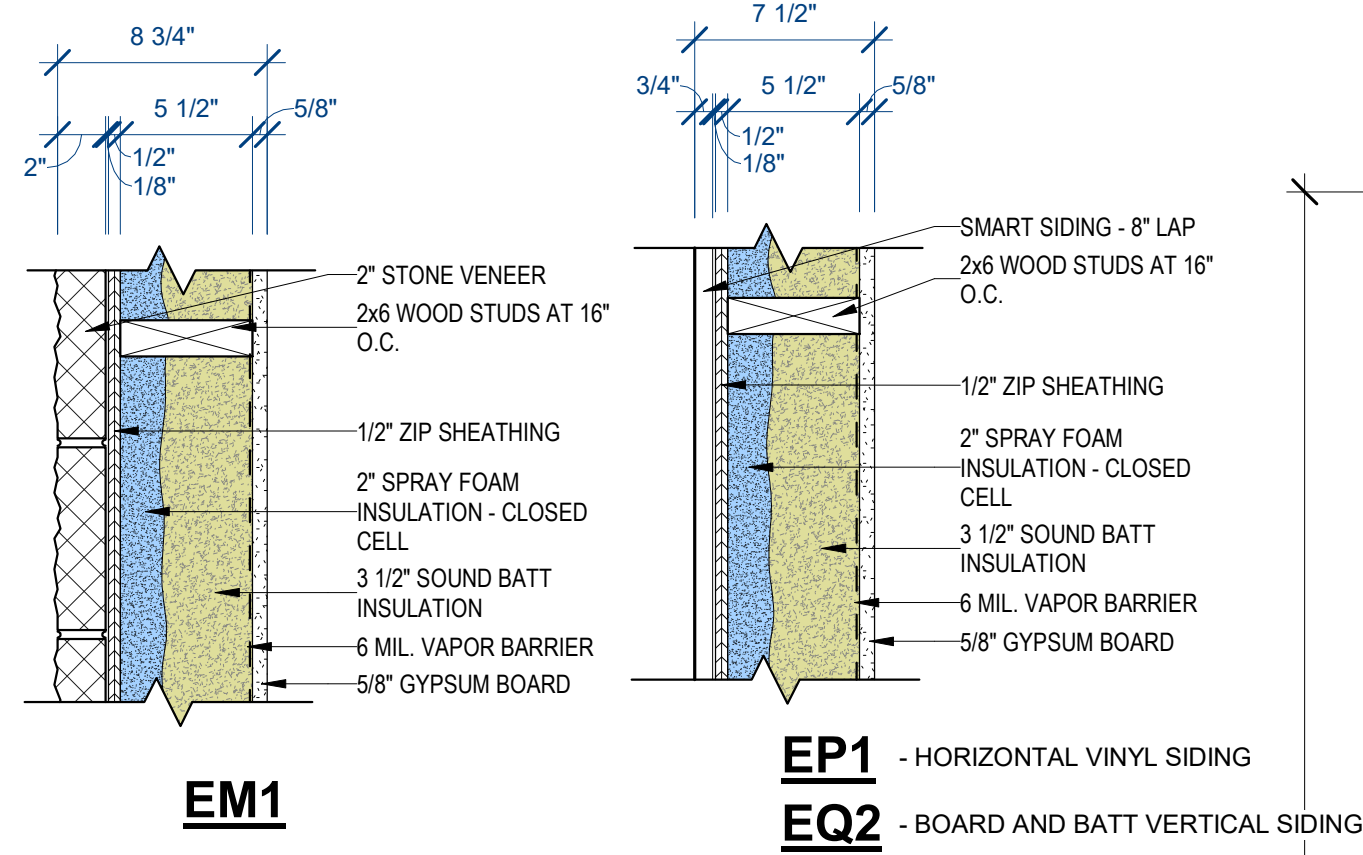


OVERALL FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0" 5,280 SQ.FT.

PROPOSED NEW BUILDING FOR:
MEADOW VIEW DENTAL
 LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI
OVERALL FLOOR PLAN

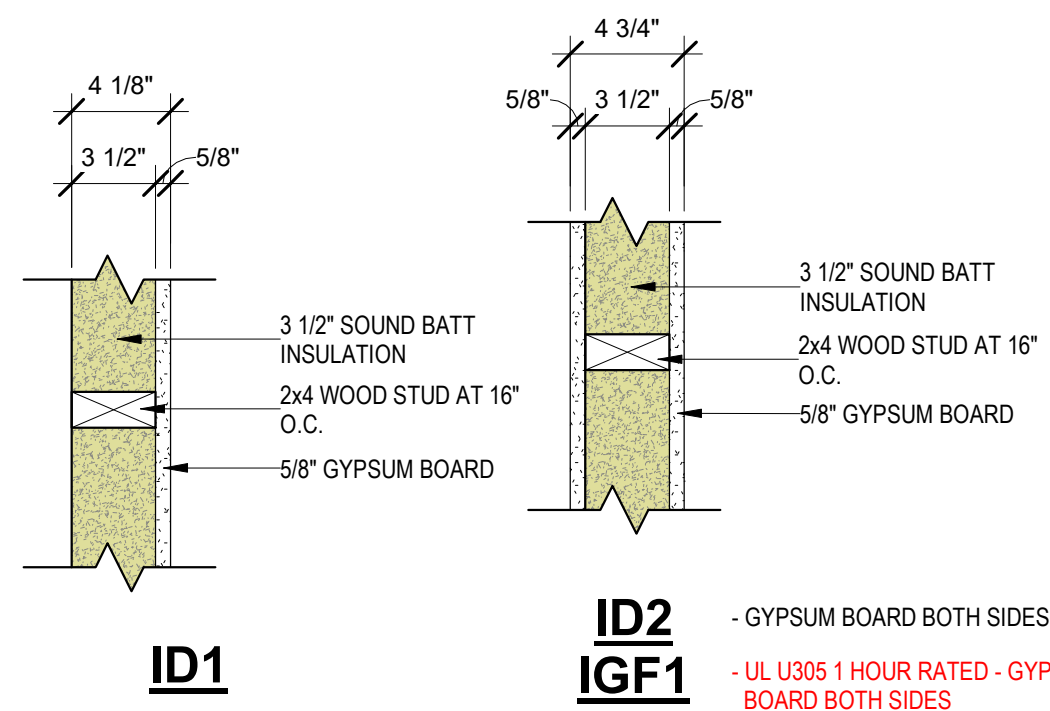
No.	Date	Description

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 Project No. 25-0082 Date 3/19/26
 Sheet No. _____



EXTERIOR WALL TYPES

Scale: 1 1/2" = 1'-0"



INTERIOR WALL TYPES

Scale: 1 1/2" = 1'-0"



FIRST FLOOR DIMENSION PLAN

Scale: 1/4" = 1'-0"

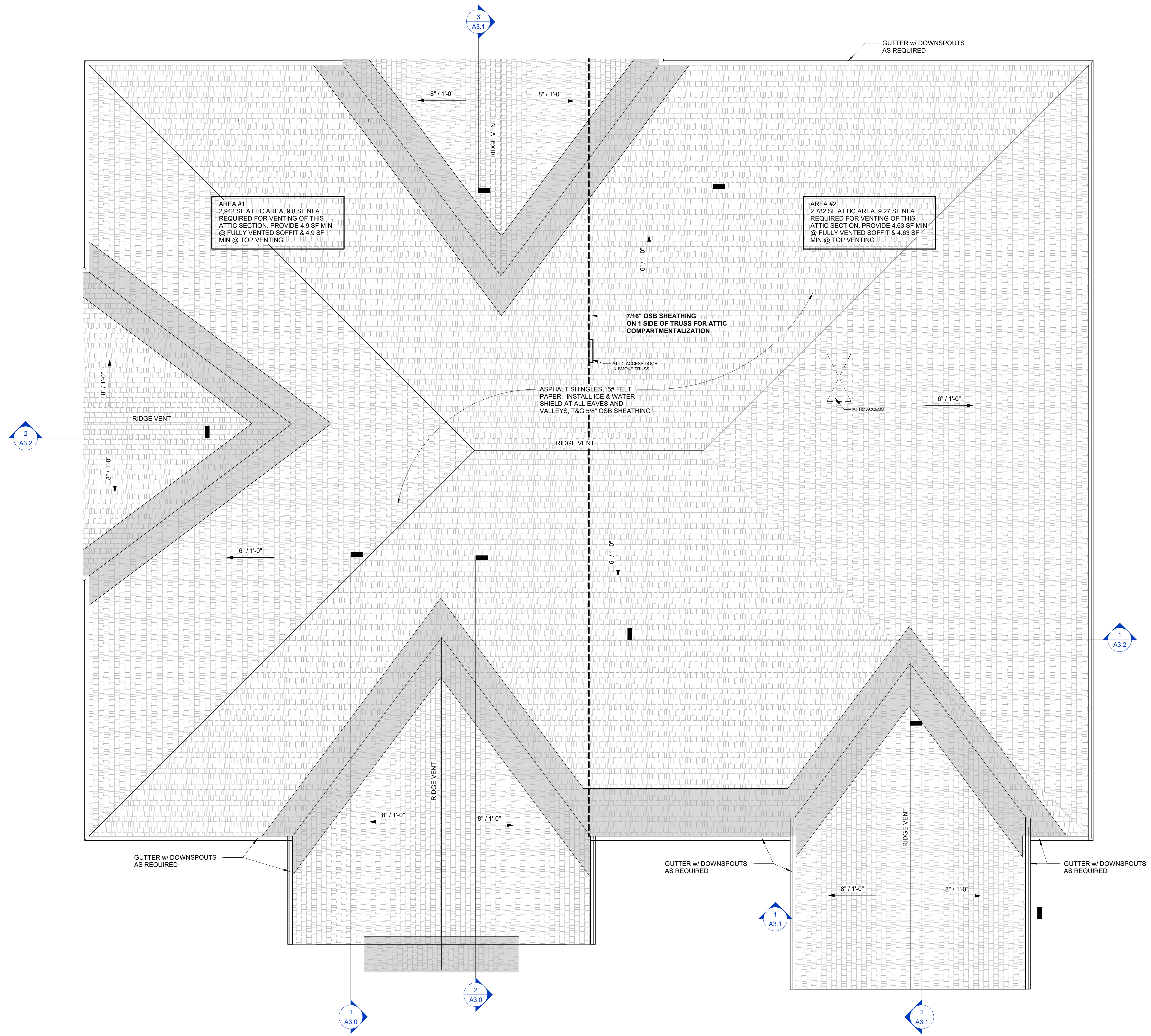


No.	Date	Description

Drawn By	Approved By
Project No.	Date
25-0082	3/19/26
Sheet No.	

ROOF SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	SADDLES AND CRICKETS WITH ARROW DEFINING THE SLOPE DIRECTION



AREA #1
2,942 SF ATTIC AREA, 9.8 SF NFA
REQUIRED FOR VENTING OF THIS
ATTIC SECTION. PROVIDE 4.9 SF MIN
@ FULLY VENTED SOFFIT & 4.9 SF
MIN @ TOP VENTING

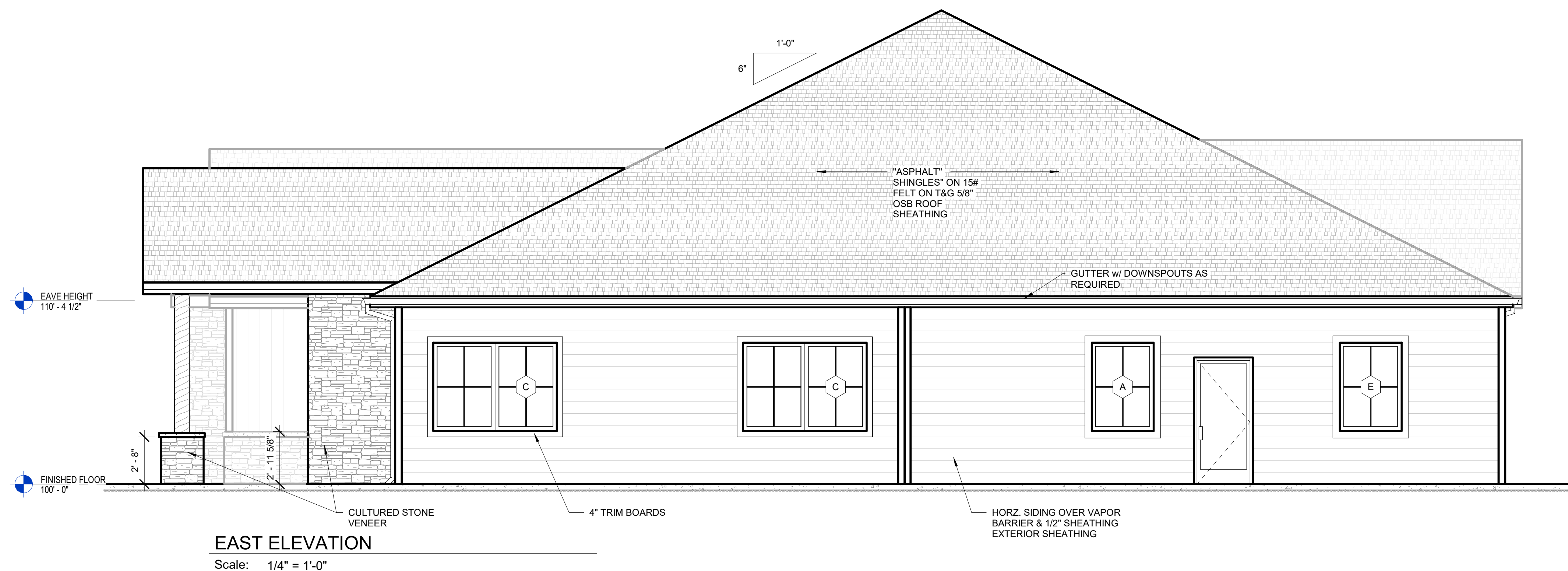
AREA #2
2,782 SF ATTIC AREA, 9.27 SF NFA
REQUIRED FOR VENTING OF THIS
ATTIC SECTION. PROVIDE 4.63 SF MIN
@ FULLY VENTED SOFFIT & 4.63 SF
MIN @ TOP VENTING

PROPOSED NEW BUILDING FOR:
MEADOW VIEW DENTAL
LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI
ROOF PLAN

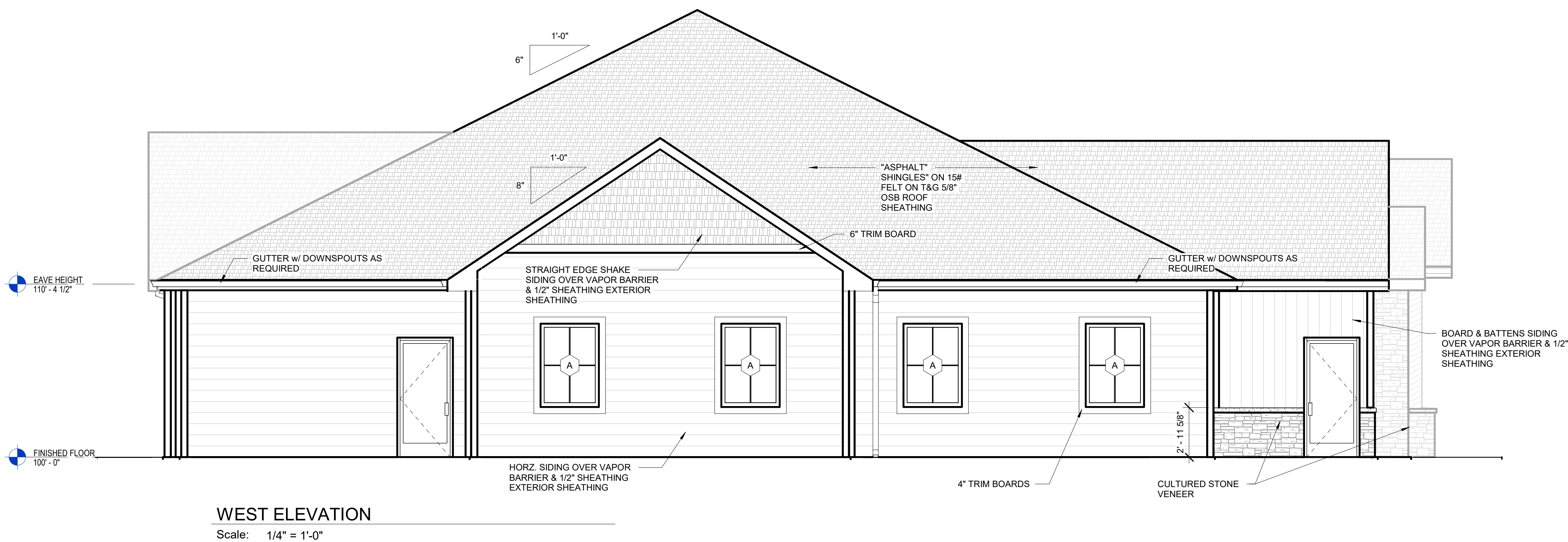
No.	Date	Description

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Project No. 25-0082	Date 3/19/26
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EAST ELEVATION
 Scale: 1/4" = 1'-0"



WEST ELEVATION
 Scale: 1/4" = 1'-0"

PROPOSED NEW BUILDING FOR:

MEADOW VIEW DENTAL

LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI

BUILDING ELEVATIONS

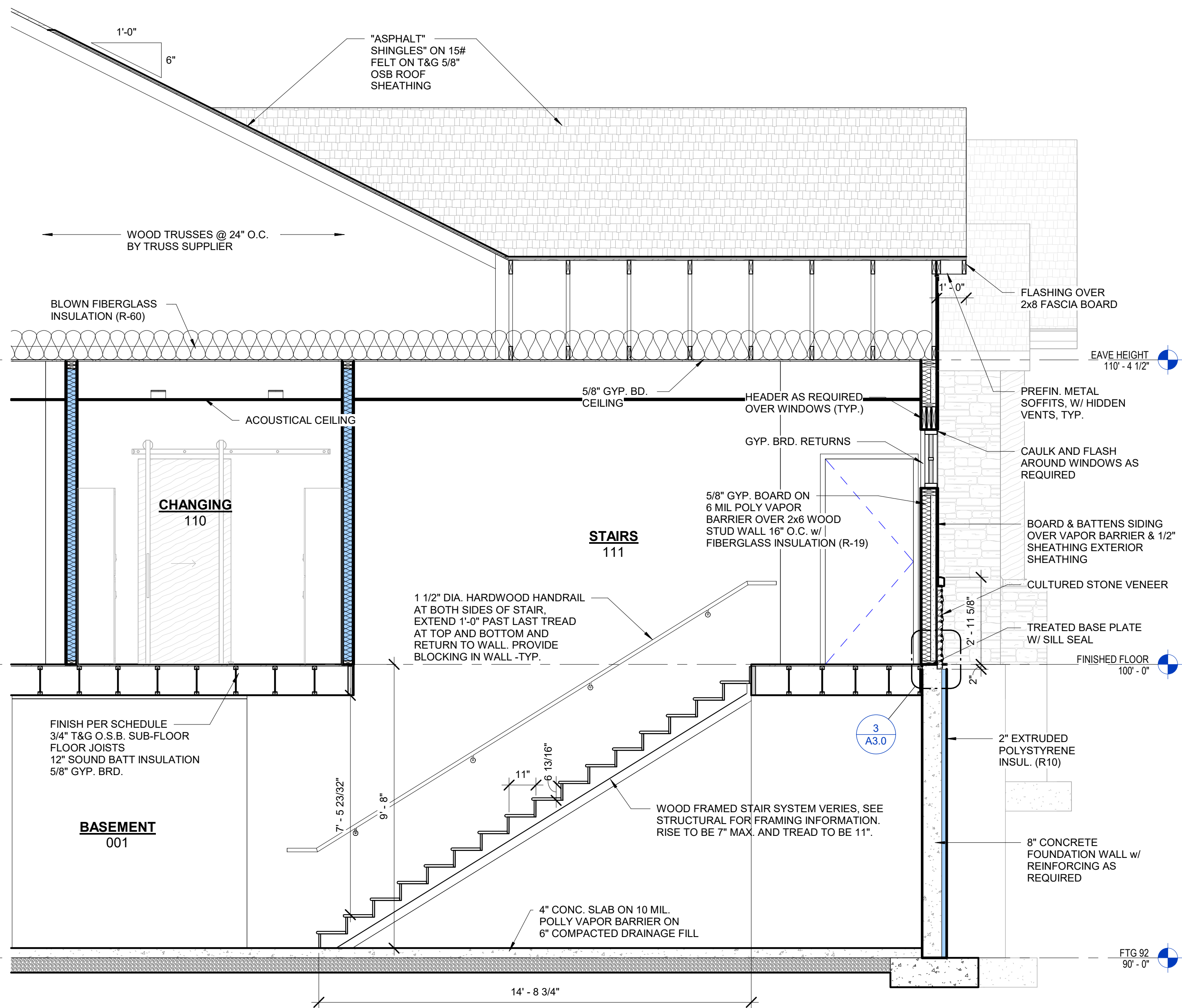
No.	Date	Description

Page Information

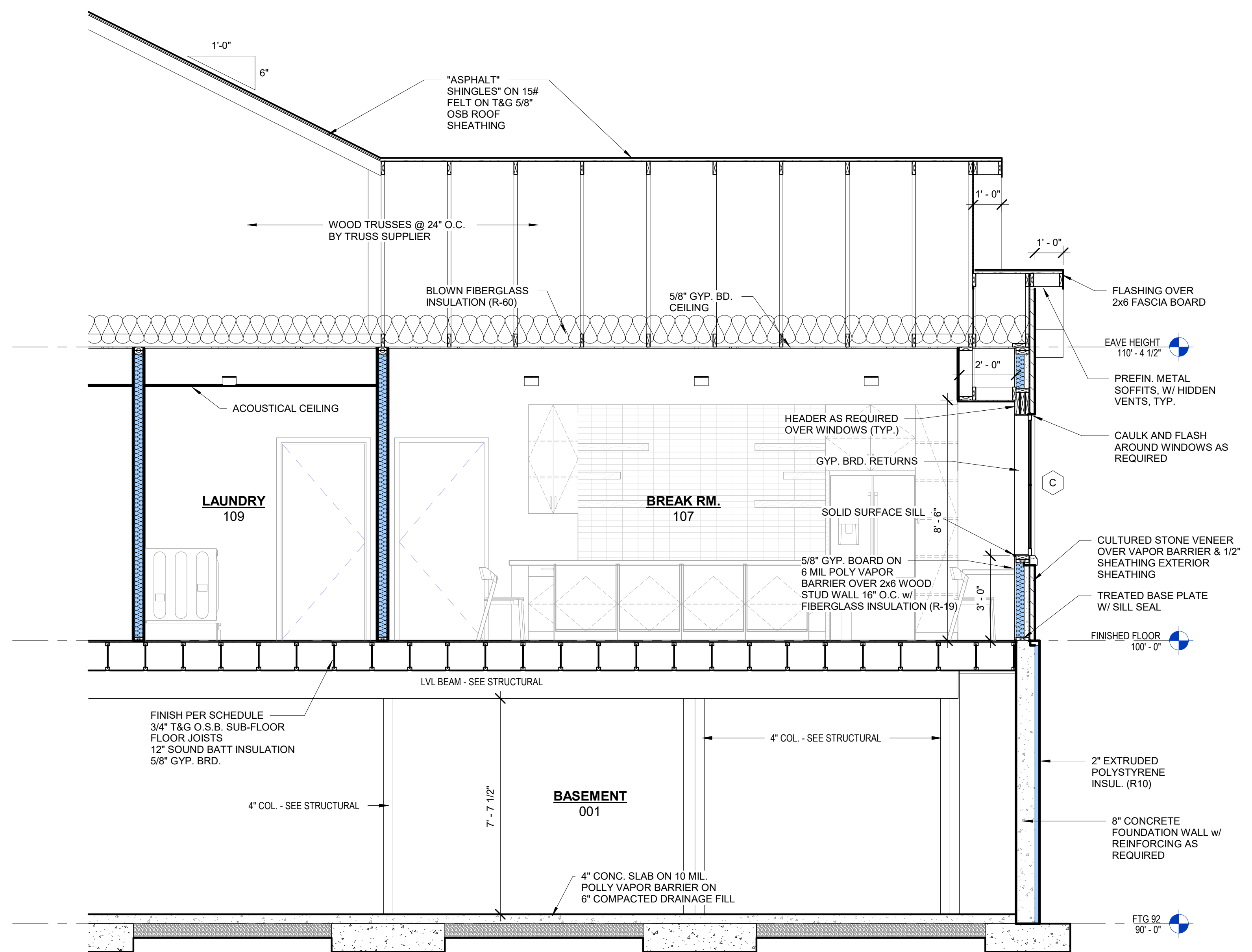
Drawn By JJW	Approved By JJW
Project No. 25-0082	Date 3/19/26
Sheet No.	

A2.1

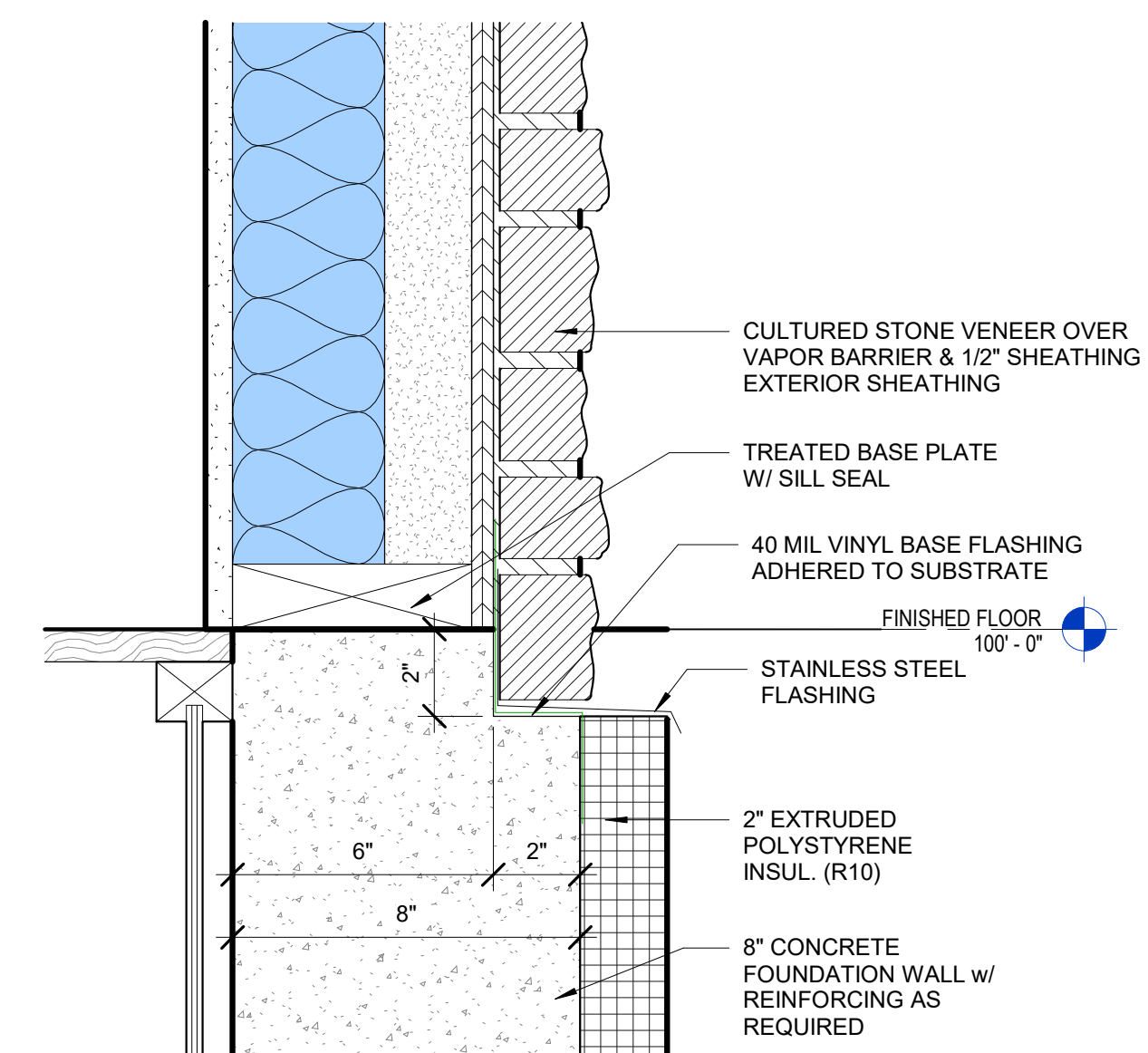
3/25/2026 8:41:27 AM



1 WALL SECTION
 A3.0 3/8" = 1'-0"
 AS REFERENCED BY:A1.1

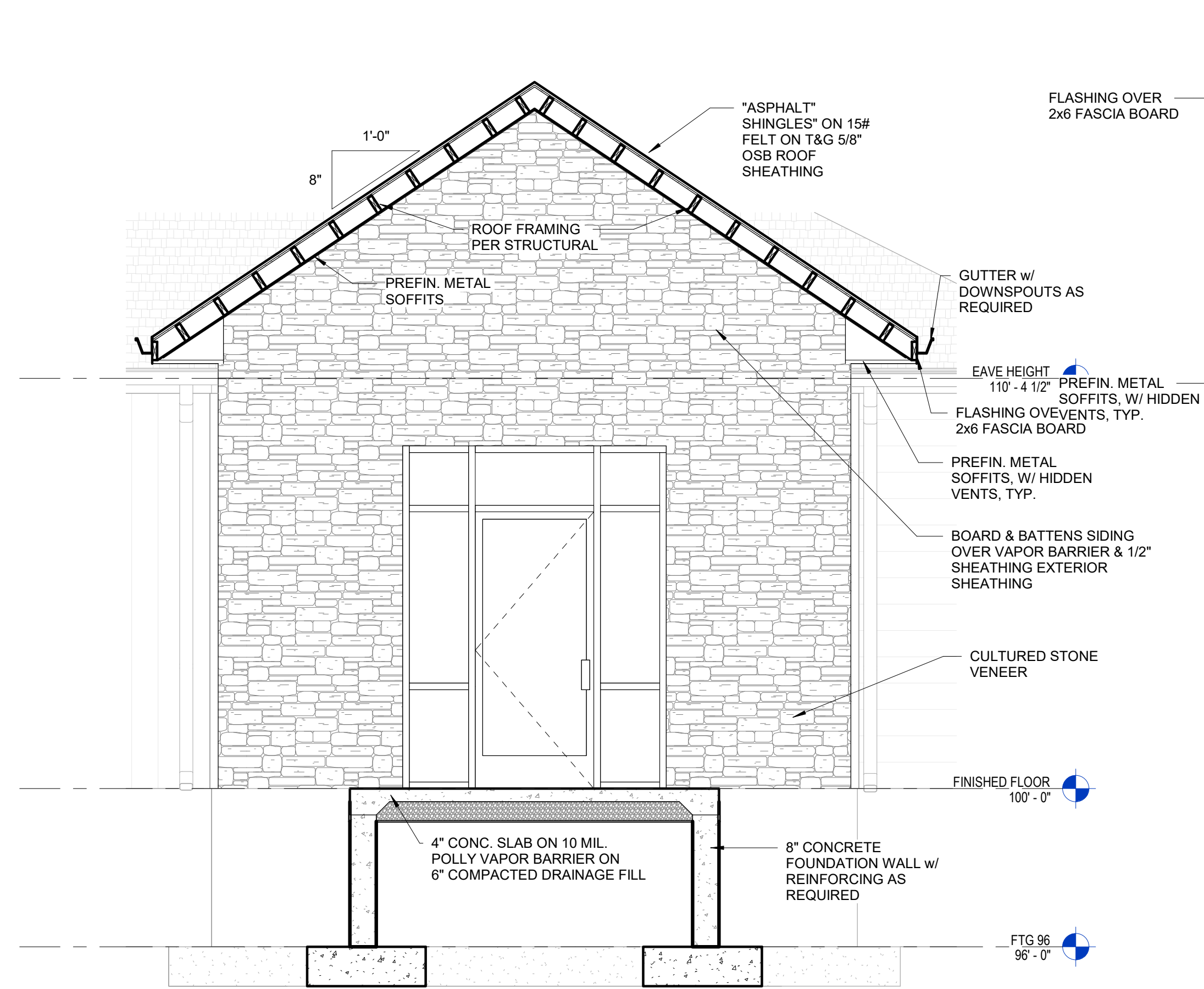


2 WALL SECTION
 A3.0 3/8" = 1'-0"

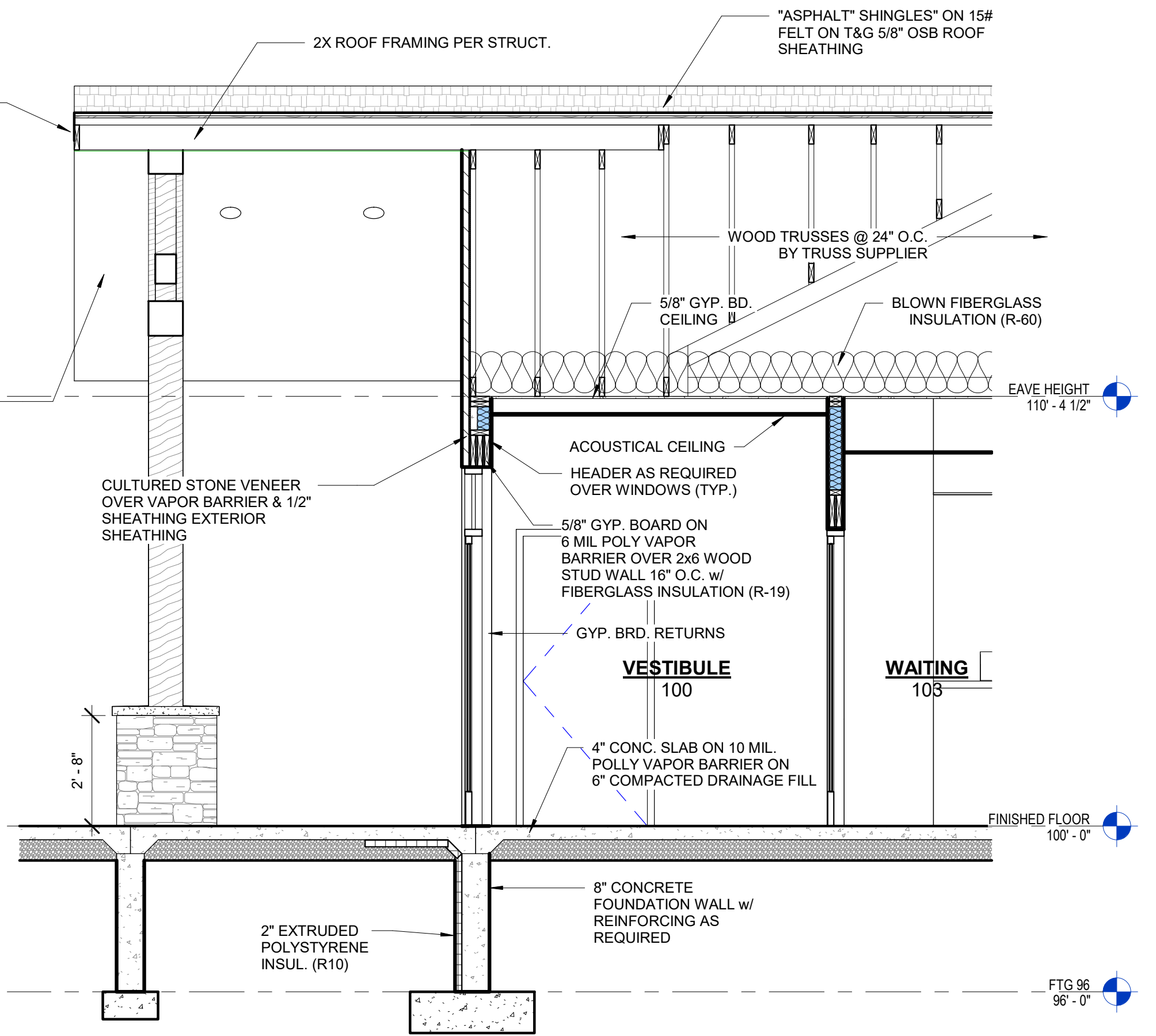


3 Base Detail - Typ.
 A3.0 3" = 1'-0"

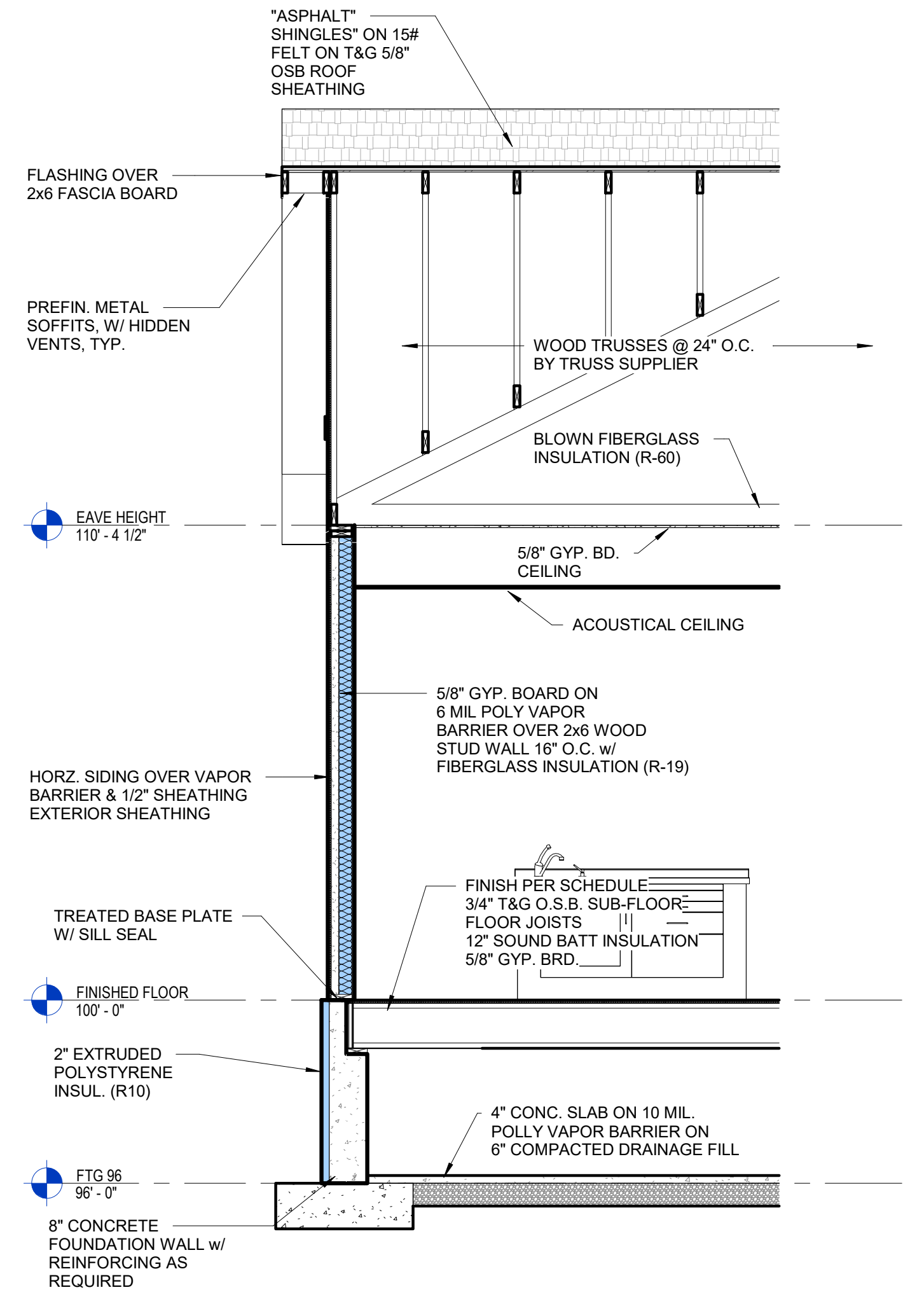
No.	Date	Description



1 WALL SECTION
 A3.1 3/8" = 1'-0"
 AS REFERENCED BY:A1.1



2 WALL SECTION
 A3.1 3/8" = 1'-0"
 AS REFERENCED BY:A1.1



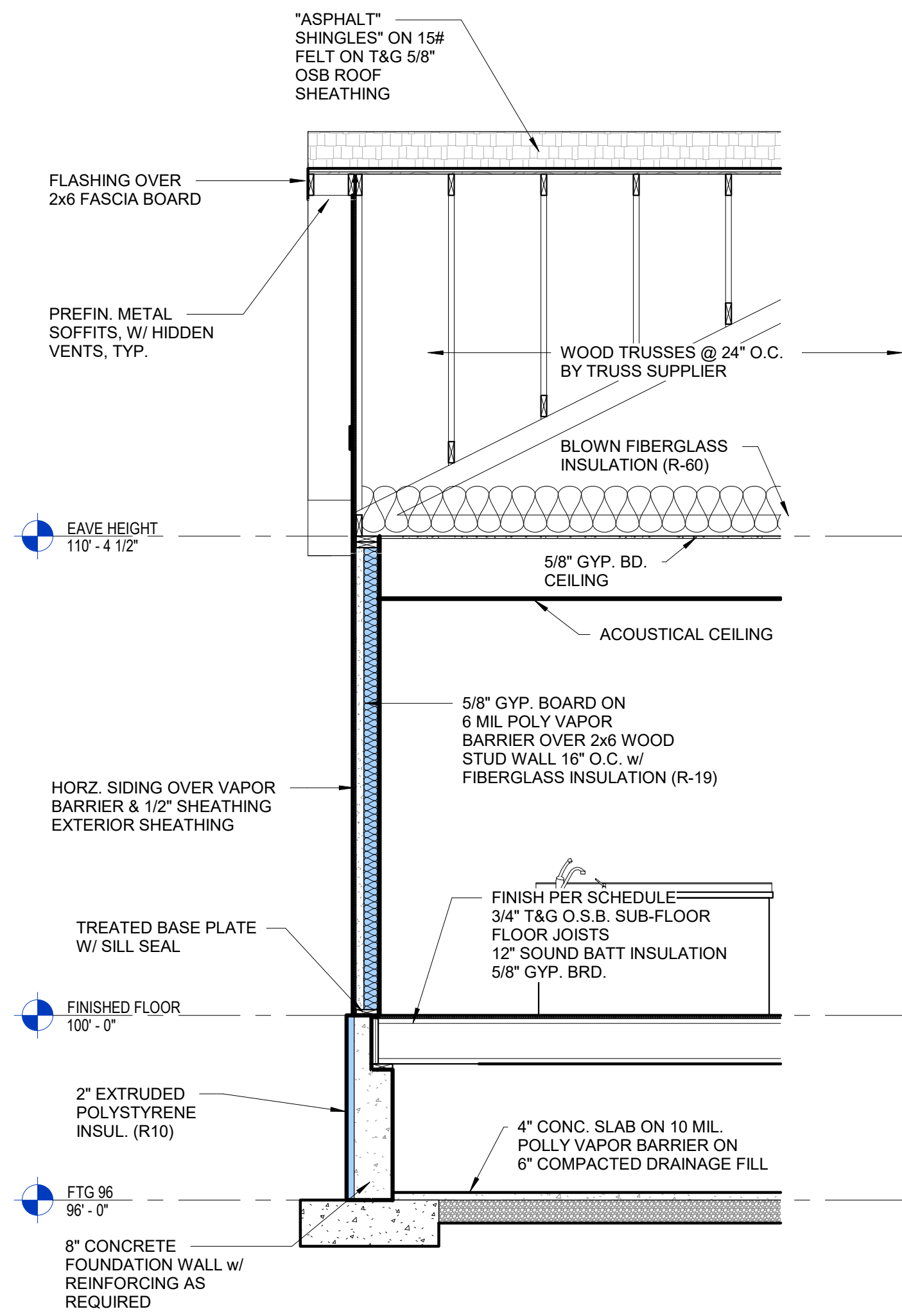
3 WALL SECTION
 A3.1 3/8" = 1'-0"

PROPOSED NEW BUILDING FOR:
MEADOW VIEW DENTAL
 LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI
BUILDING SECTIONS

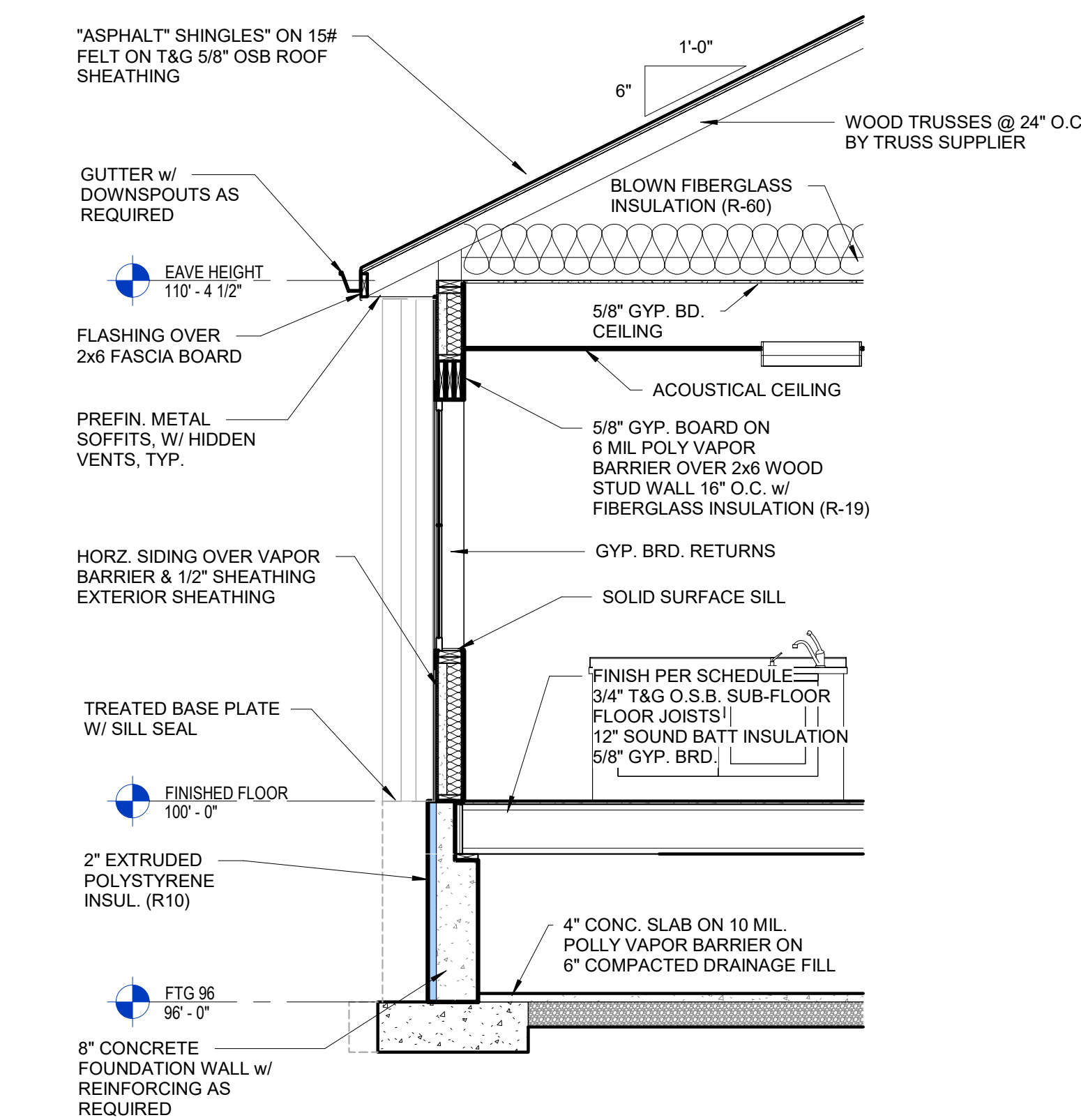
No.	Date	Description

Page Information

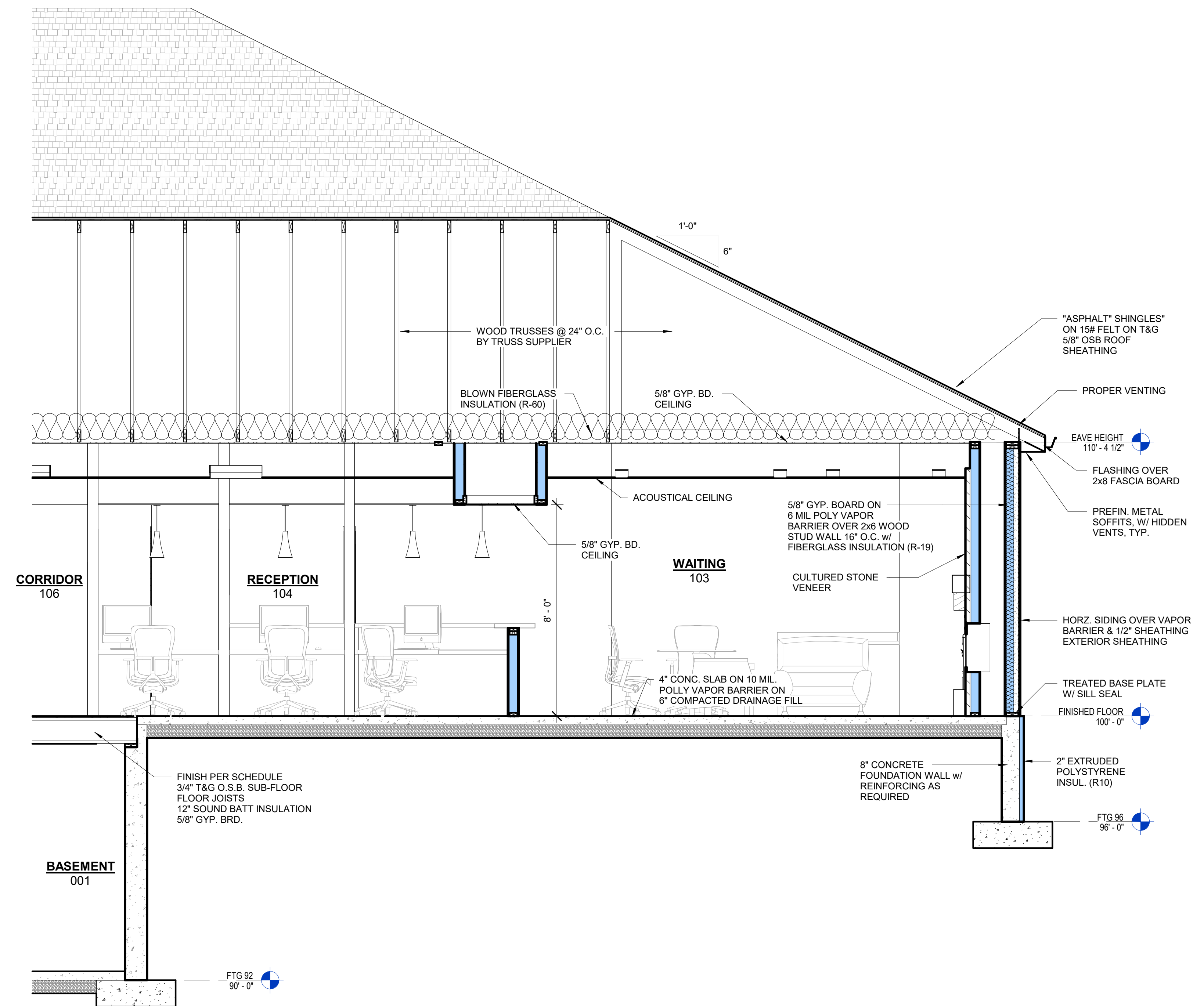
Drawn By	Approved By
Designer	Checker
Project No.	Date
25-0082	3/19/26
Sheet No.	



2 WALL SECTION
A3.2 3/8" = 1'-0"



3 WALL SECTION
A3.2 3/8" = 1'-0"

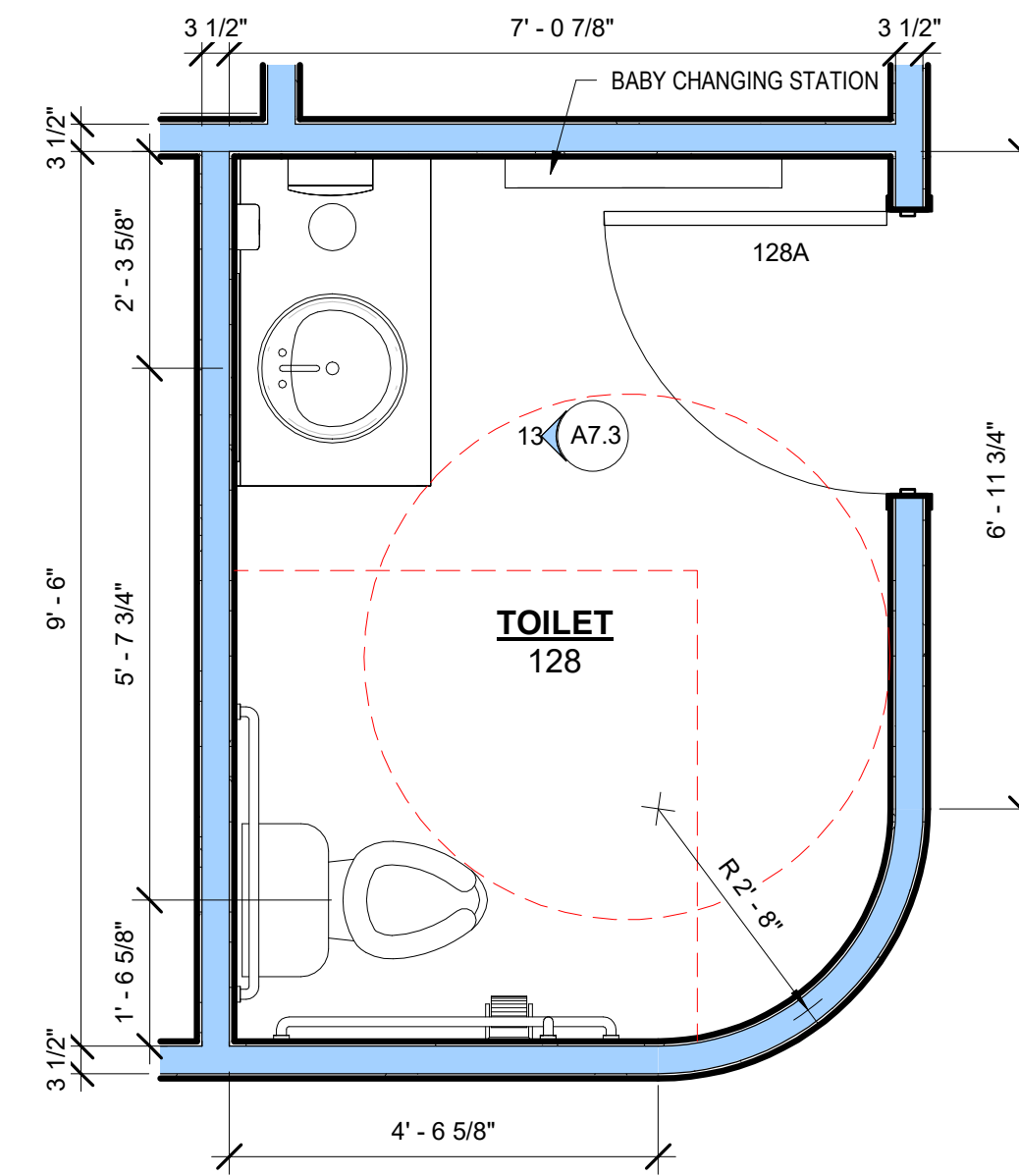


1 WALL SECTION
A3.2 3/8" = 1'-0"
AS REFERENCED BY:A1.1

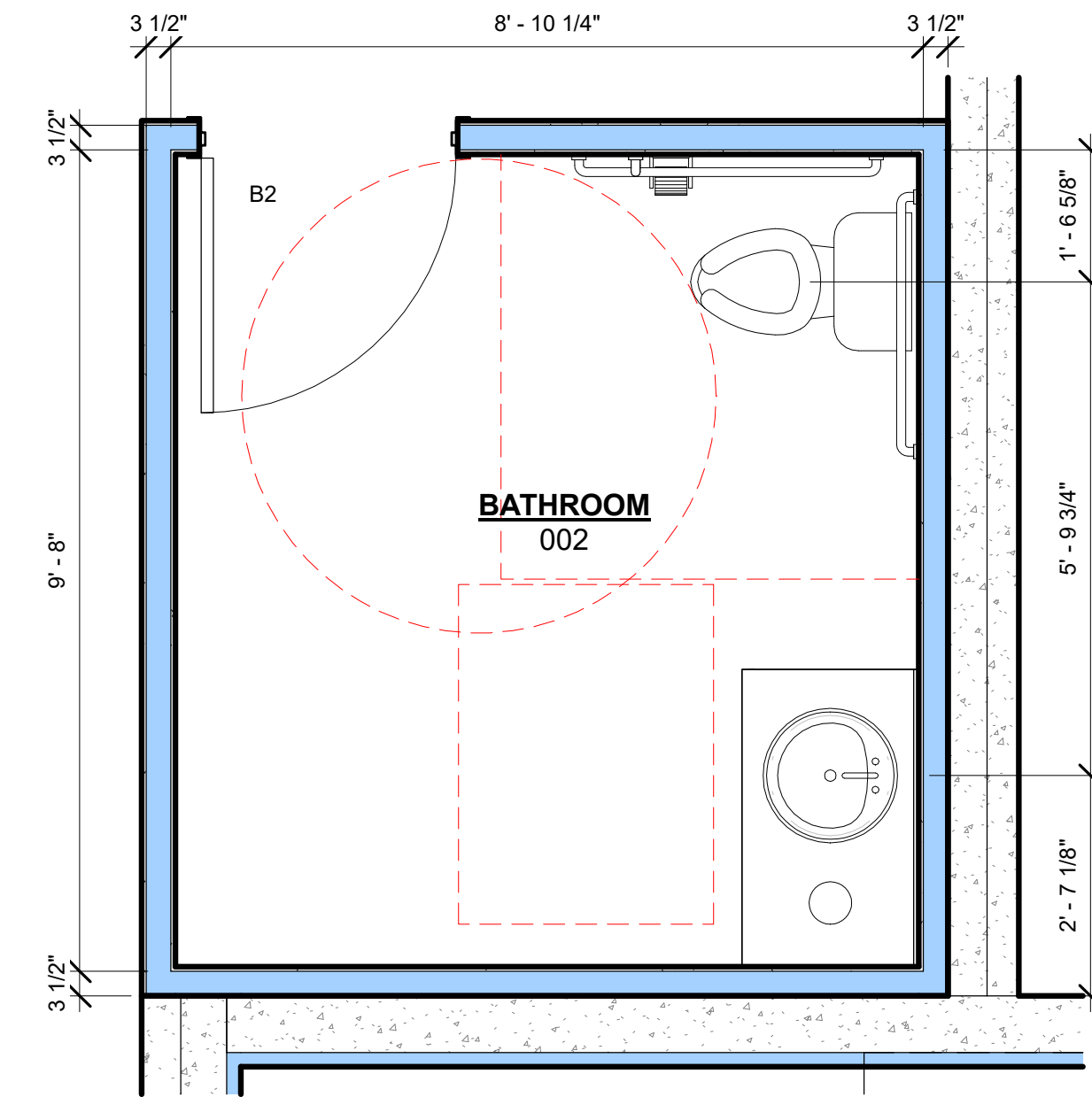
No.	Date	Description

Page Information

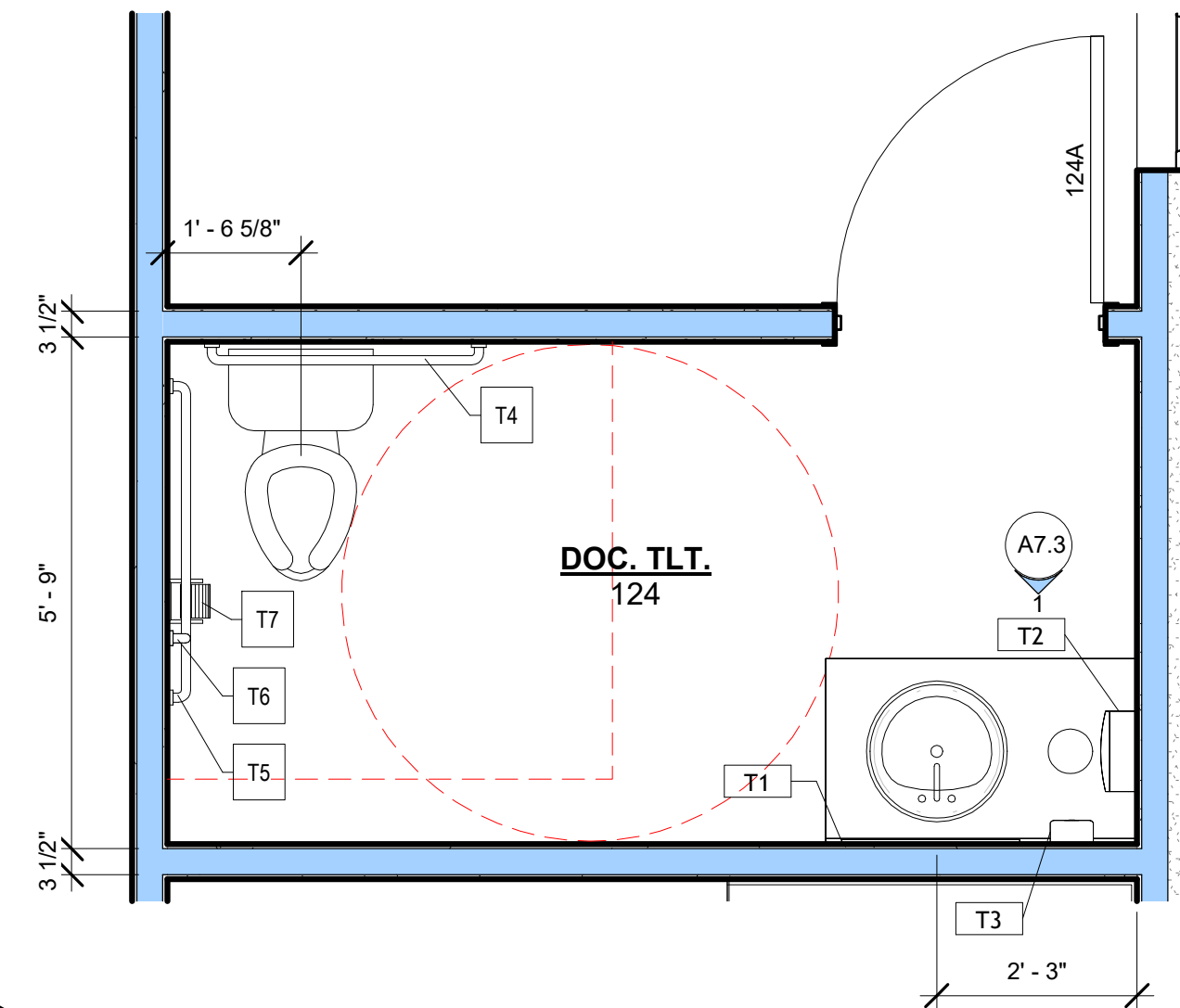
Drawn By JJW	Approved By Checker
Project No. 25-0082	Date 3/19/26
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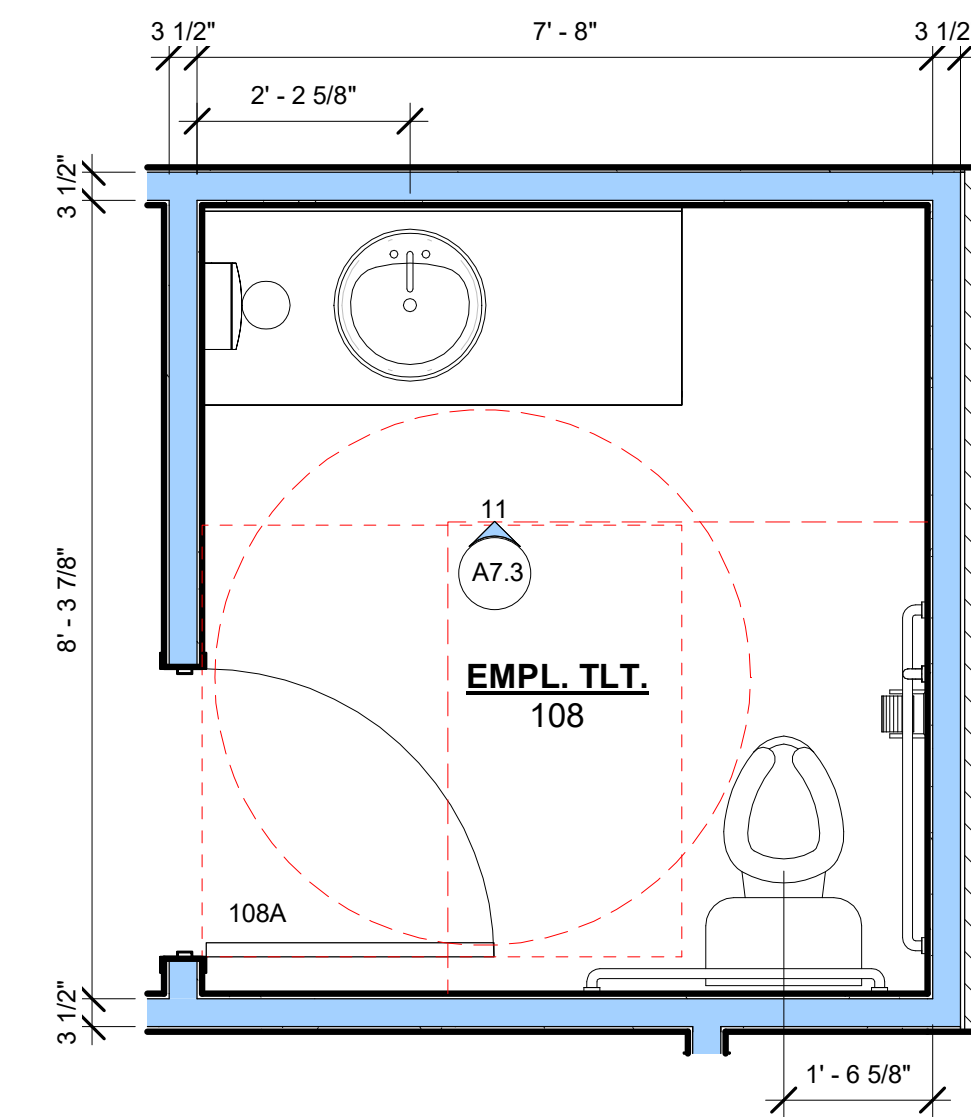
2 Toilet 128
A4.2 1/2" = 1'-0"



1 Bathroom 002
A4.2 1/2" = 1'-0"



4 Doc. Tlt. 124
A4.2 1/2" = 1'-0"



3 Empl. Tlt. 108
A4.2 1/2" = 1'-0"

TOILET AND BATH ACCESSORIES

- T-1 = MIRROR (24"x36") - BRADLEY MODEL 781-2-2436
- T-2 = PAPER TOWEL - BRADLEY MODEL 244
- T-3 = SOAP DISPENSER - BRADLEY MODEL 6A00-11
- T-4 = GRAB BAR (36" LONG) - BRADLEY MODEL 812-2
- T-5 = GRAB BAR (42" LONG) - BRADLEY MODEL 812-2
- T-6 = VERTICAL GRAB BAR (18" LONG) BRADLEY MODEL 812-2
- T-7 = TOILET TISSUE DISPENSER - BRADLEY 5234

No.	Date	Description

Page Information

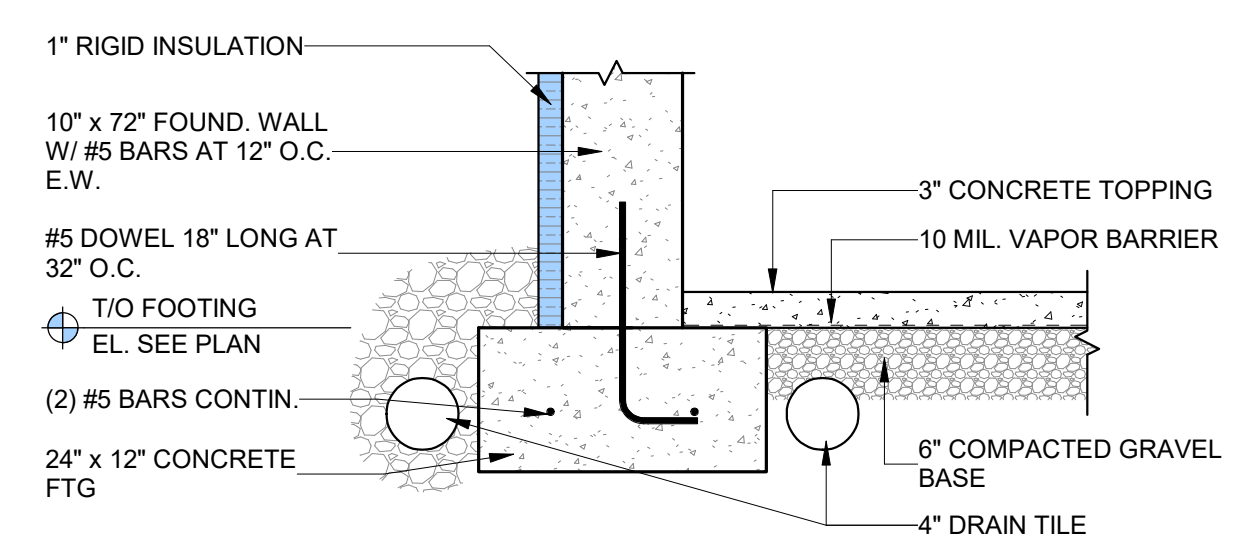
No.	Date	Description

Page Information

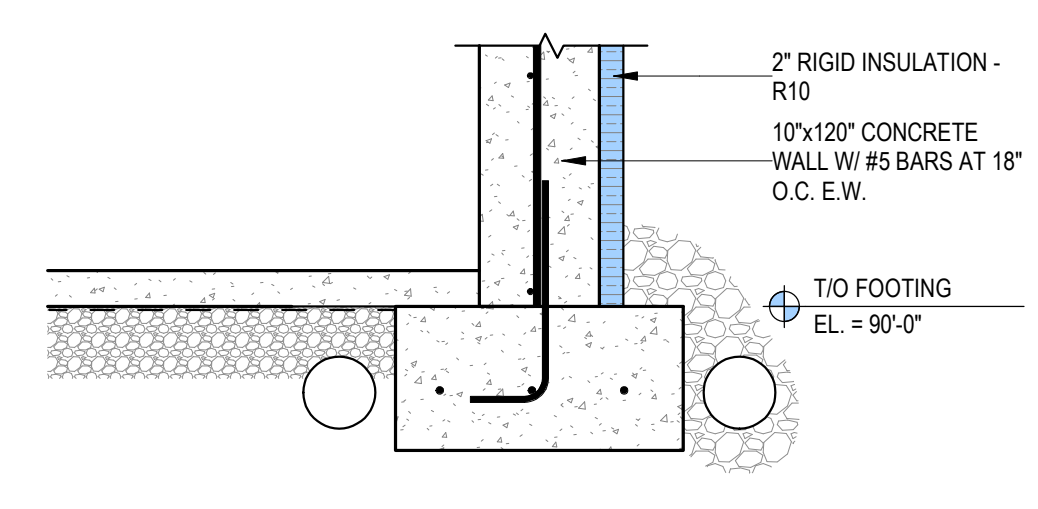
Drawn By: JJW
Approved By: JJW
Project No: 25-0082
Date: 3/19/26
Sheet No:

A5.0

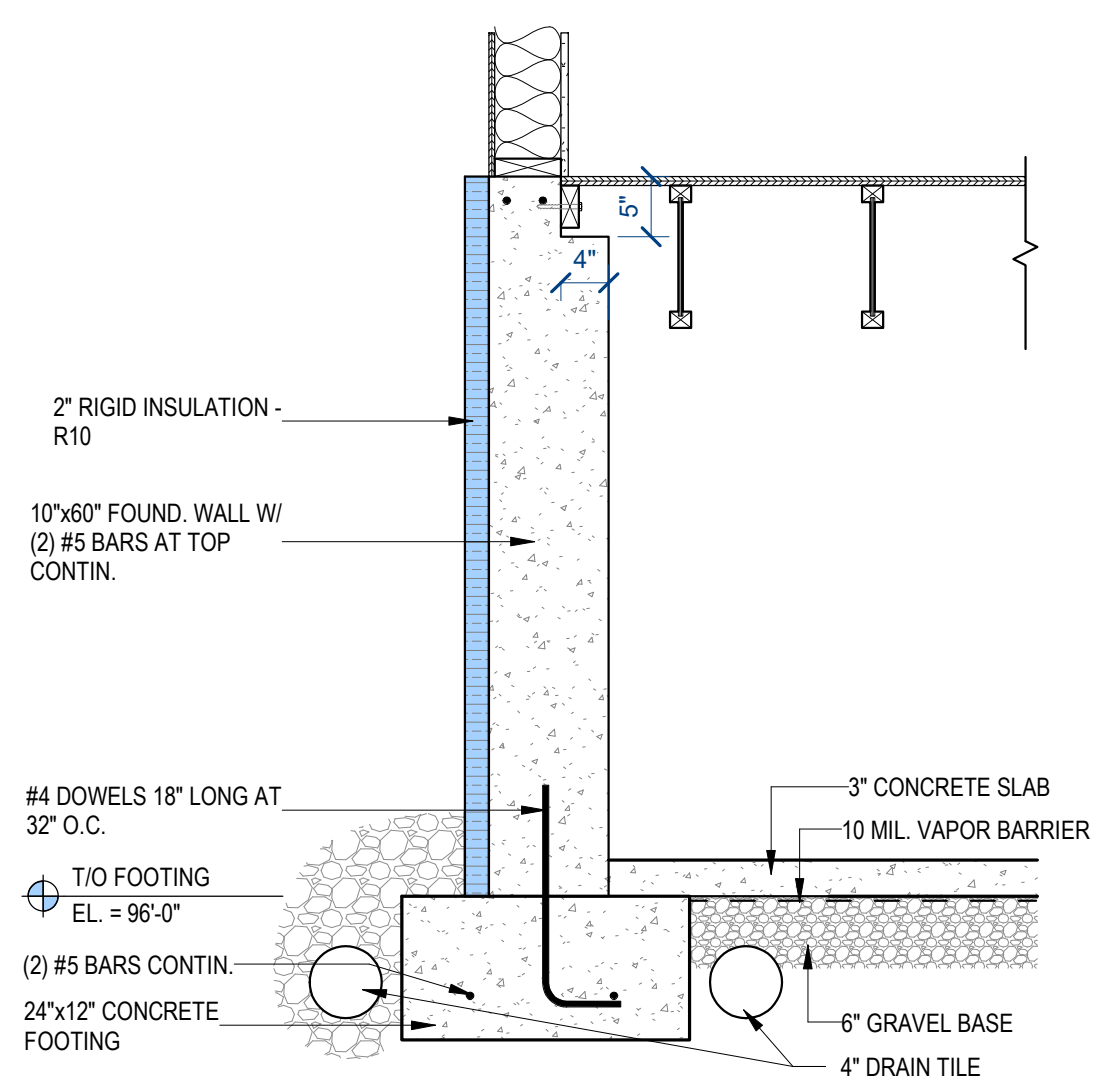
3/25/2026 8:41:30 AM



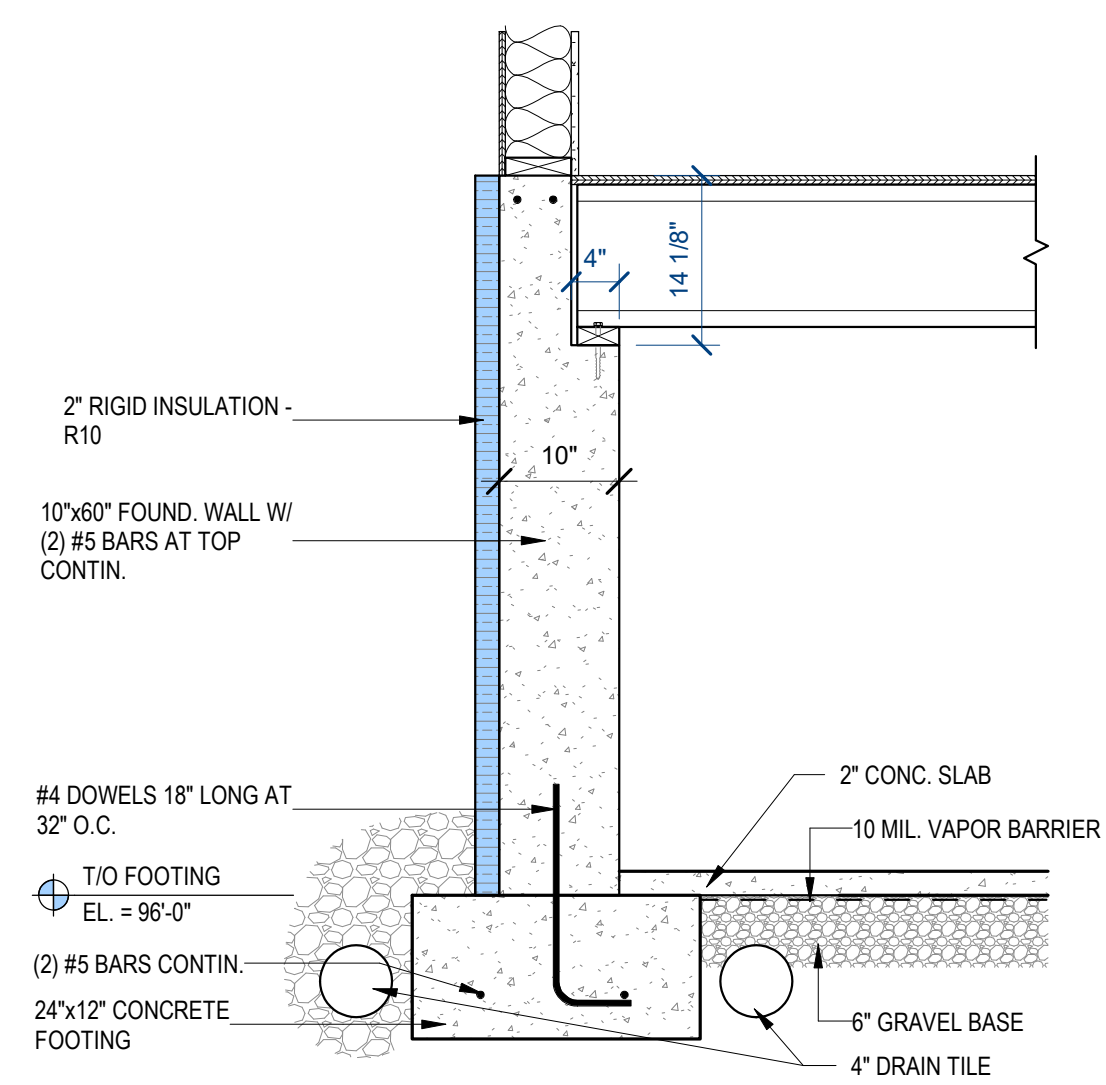
5 WALL TO FLOOR DETAIL
A5.0 3/4" = 1'-0"



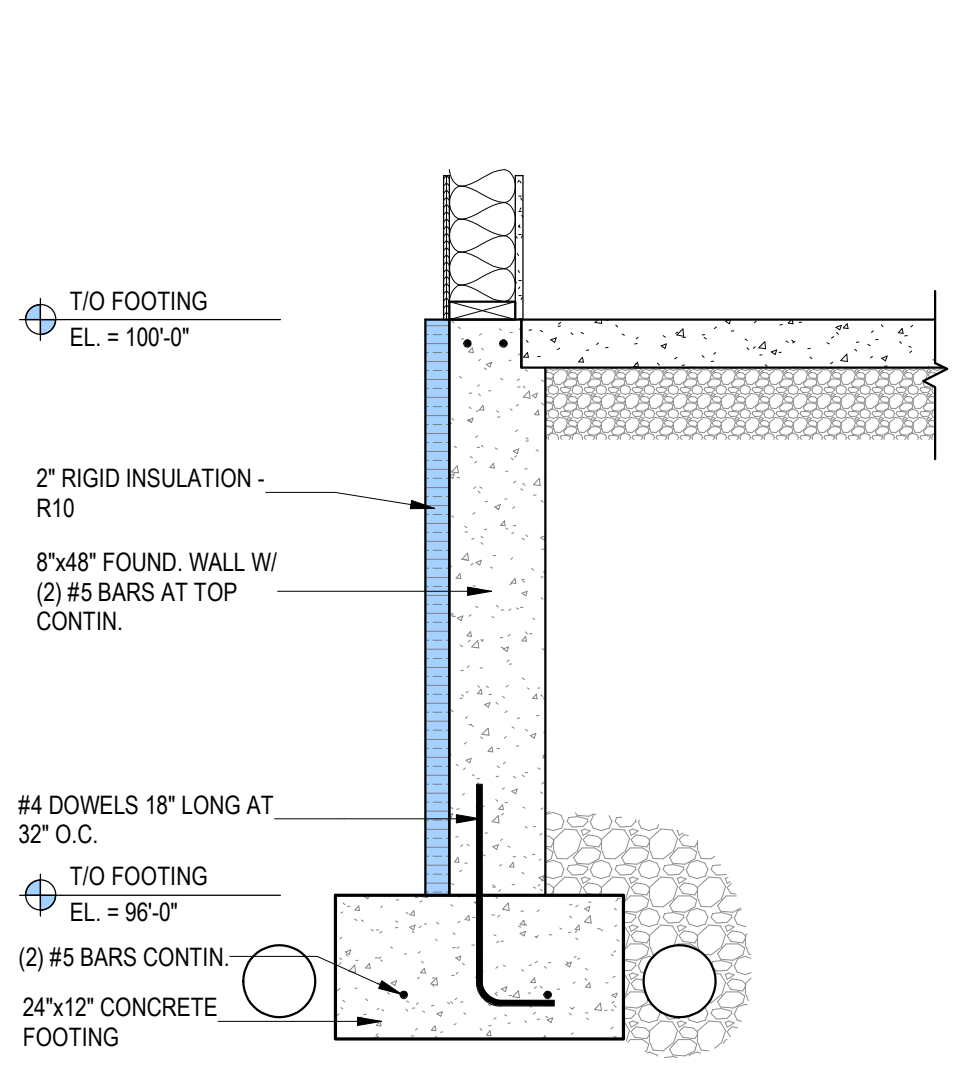
4 WALL TO FLOOR DETAIL
A5.0 3/4" = 1'-0"



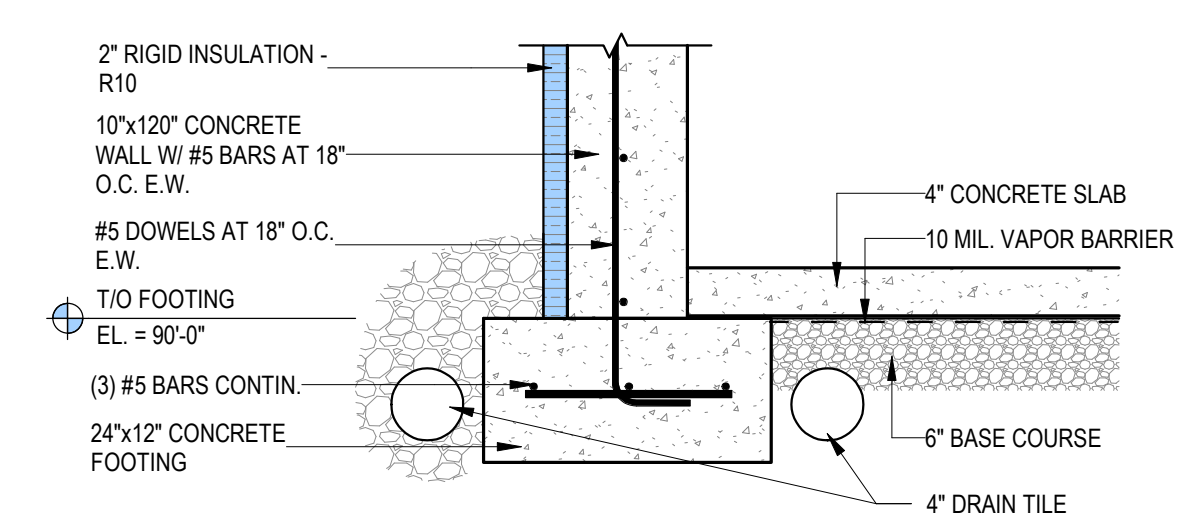
3 WALL TO FLOOR DETAIL
A5.0 3/4" = 1'-0"



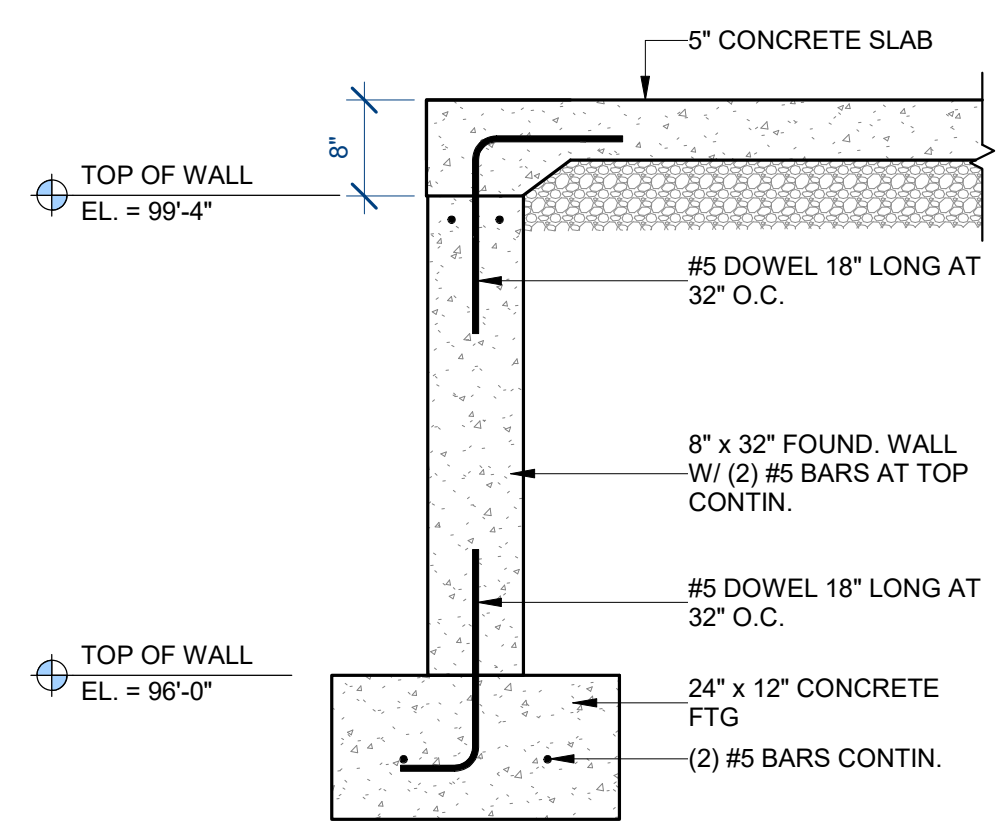
2 WALL TO FLOOR DETAIL
A5.0 3/4" = 1'-0"
AS REFERENCED BY:A1.0



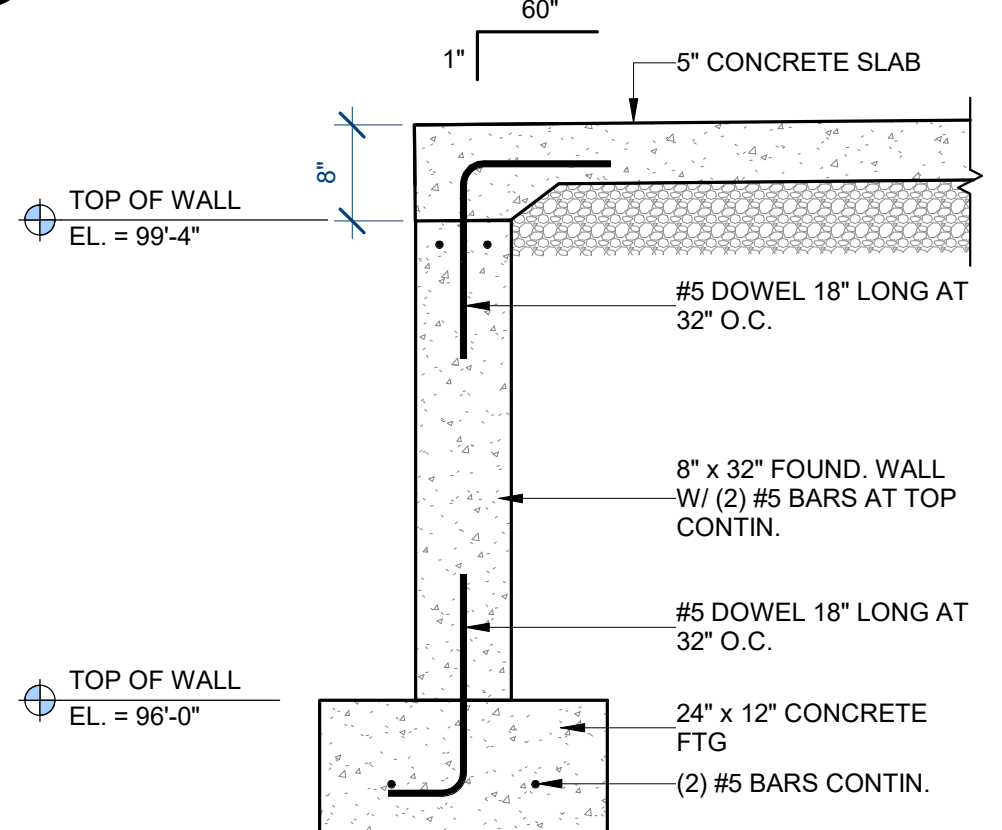
1 FROST WALL DETAIL
A5.0 3/4" = 1'-0"
AS REFERENCED BY:A1.0



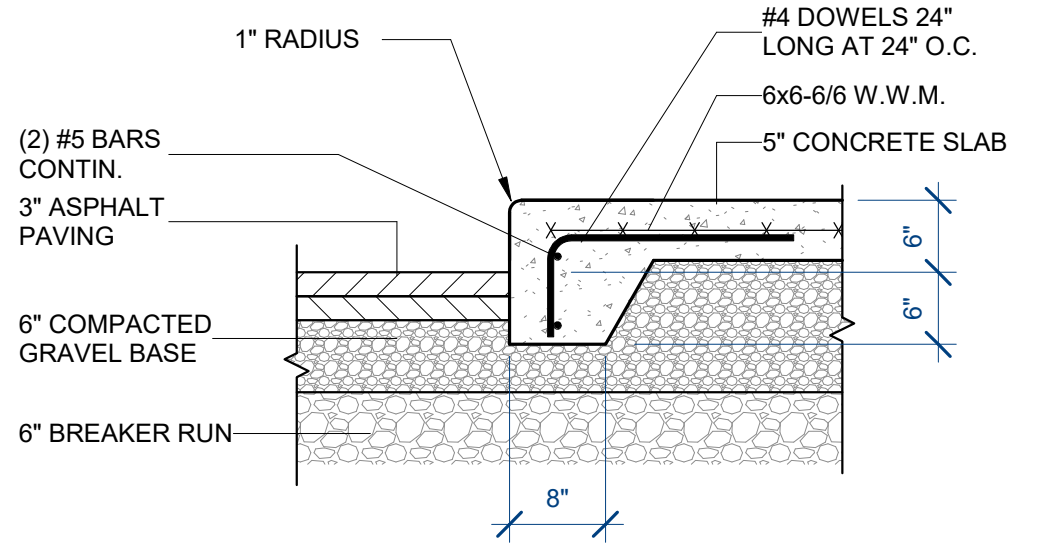
22 WALL TO FLOOR DETAIL
A5.0 3/4" = 1'-0"
AS REFERENCED BY:A1.0



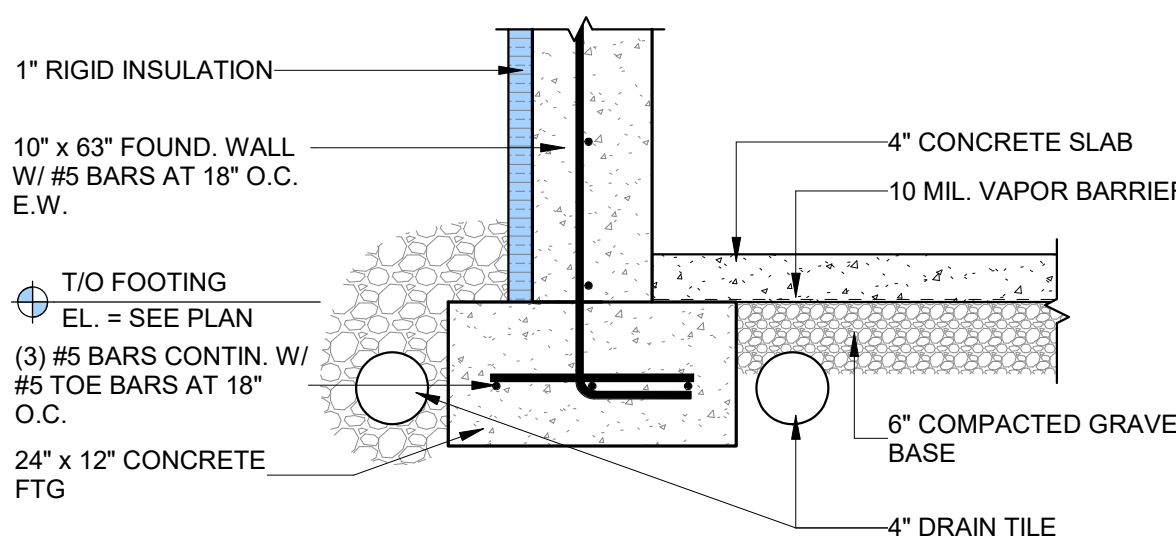
9 WALL SECTION
A5.0 3/4" = 1'-0"



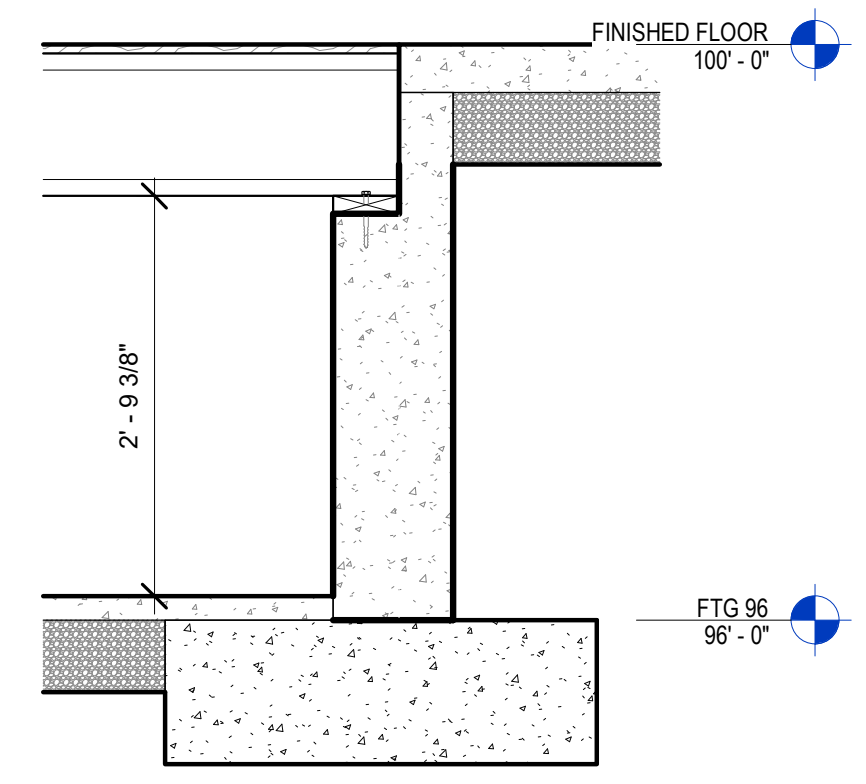
8 WALL SECTION
A5.0 3/4" = 1'-0"
AS REFERENCED BY:A1.0



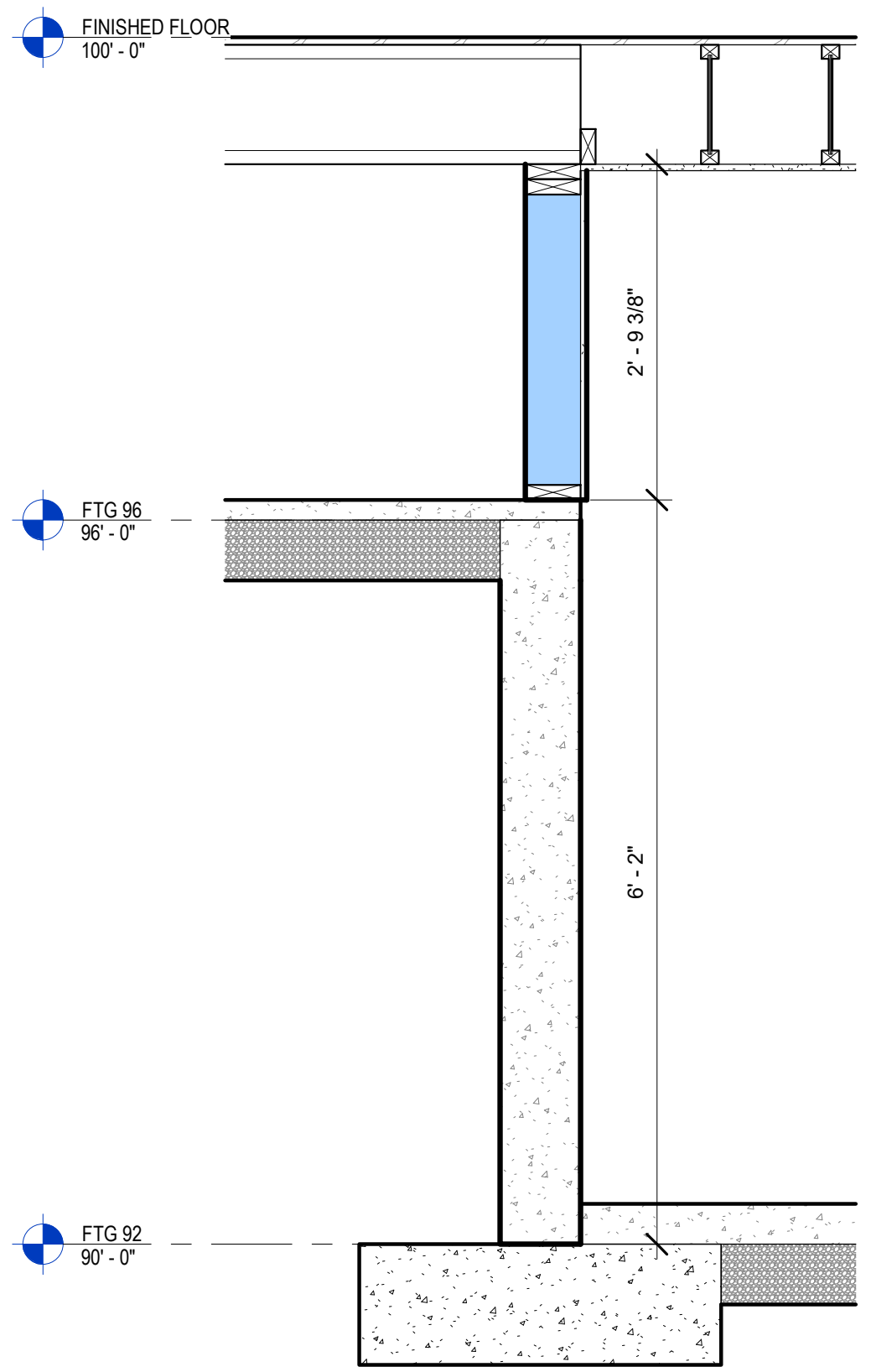
7 SIDEWALK DETAIL
A5.0 3/4" = 1'-0"



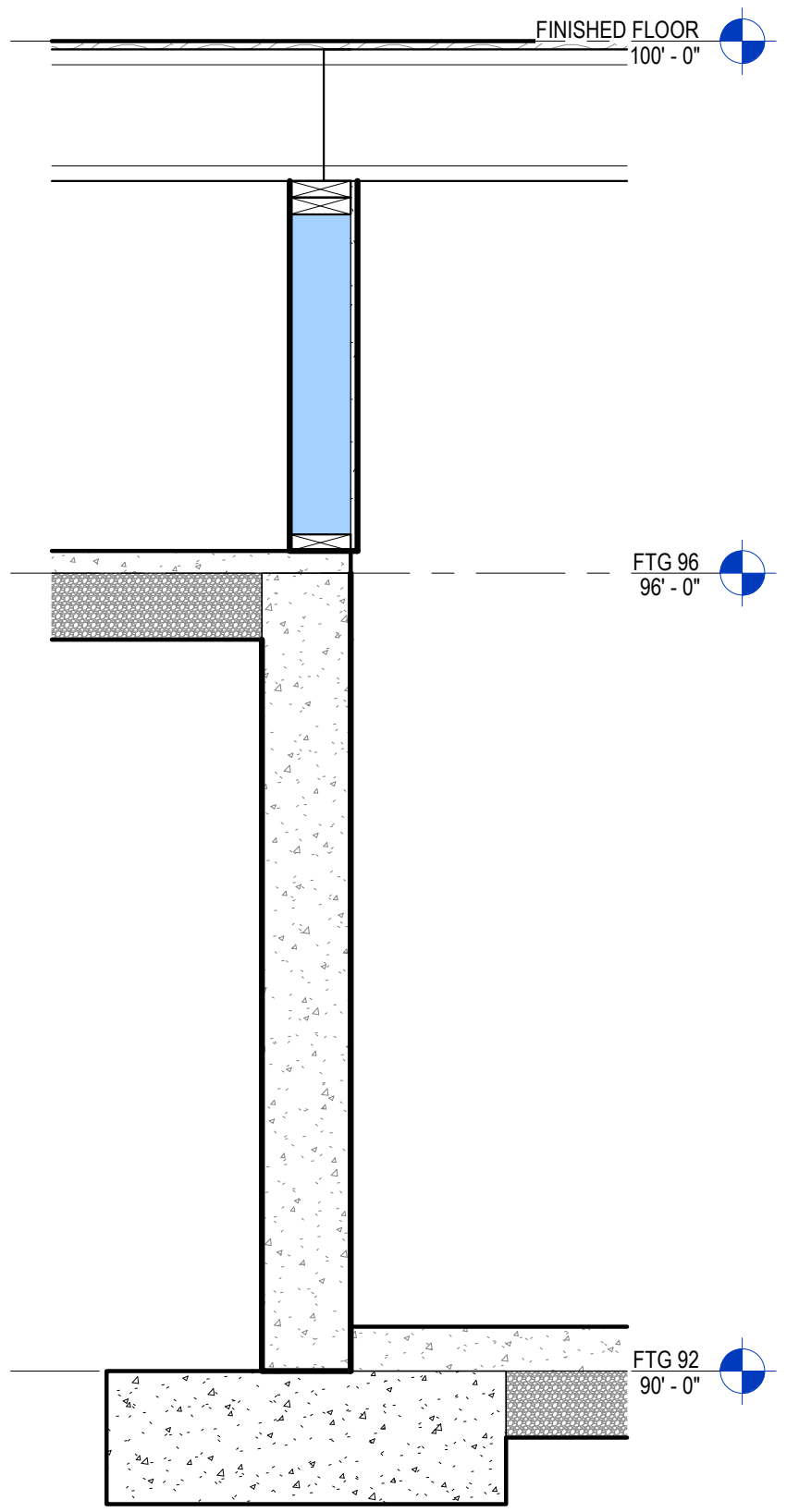
6 WALL TO FLOOR DETAIL
A5.0 3/4" = 1'-0"



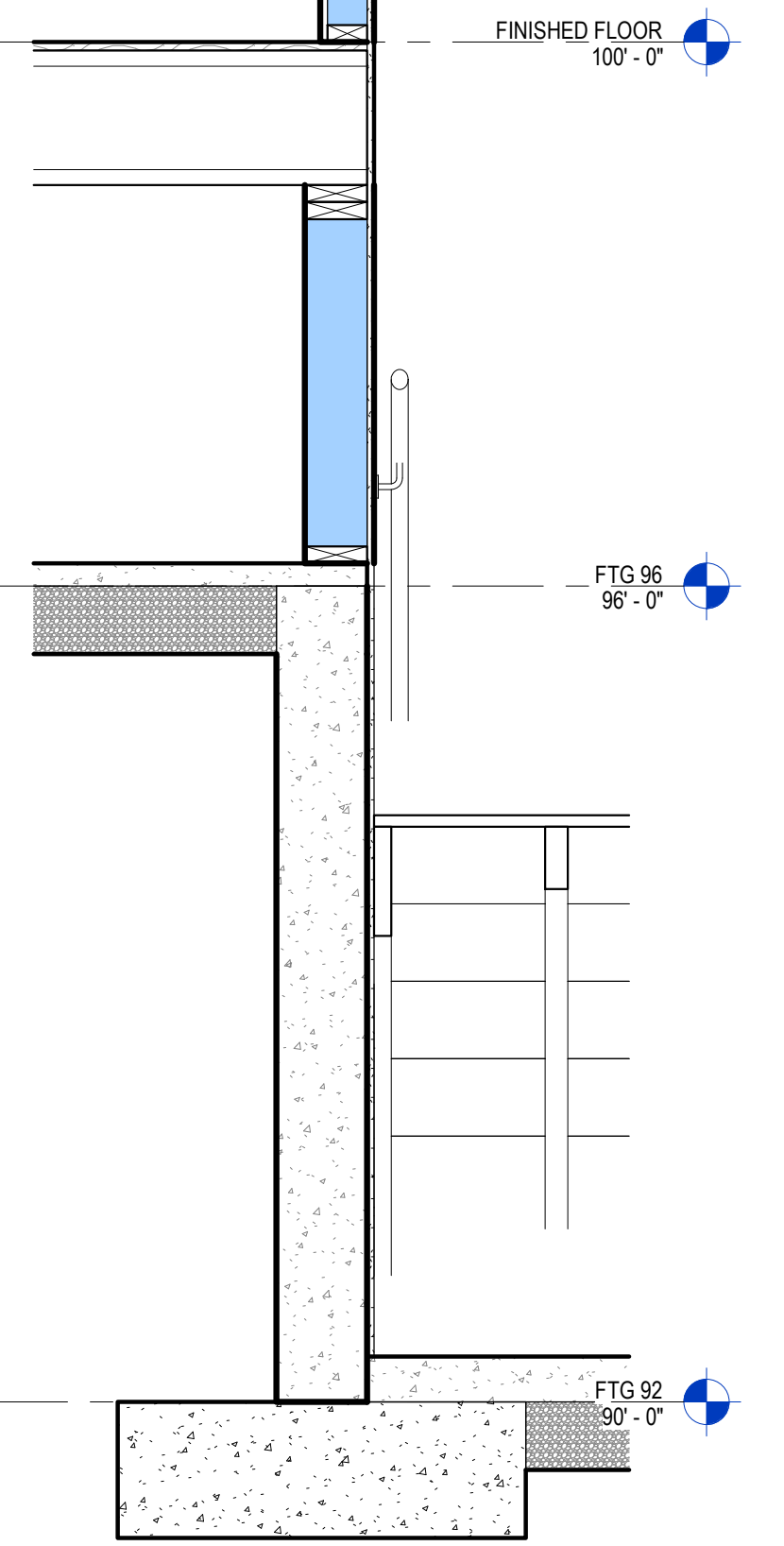
10 FND Dtl. 1 - Typ.
A5.0 3/4" = 1'-0"



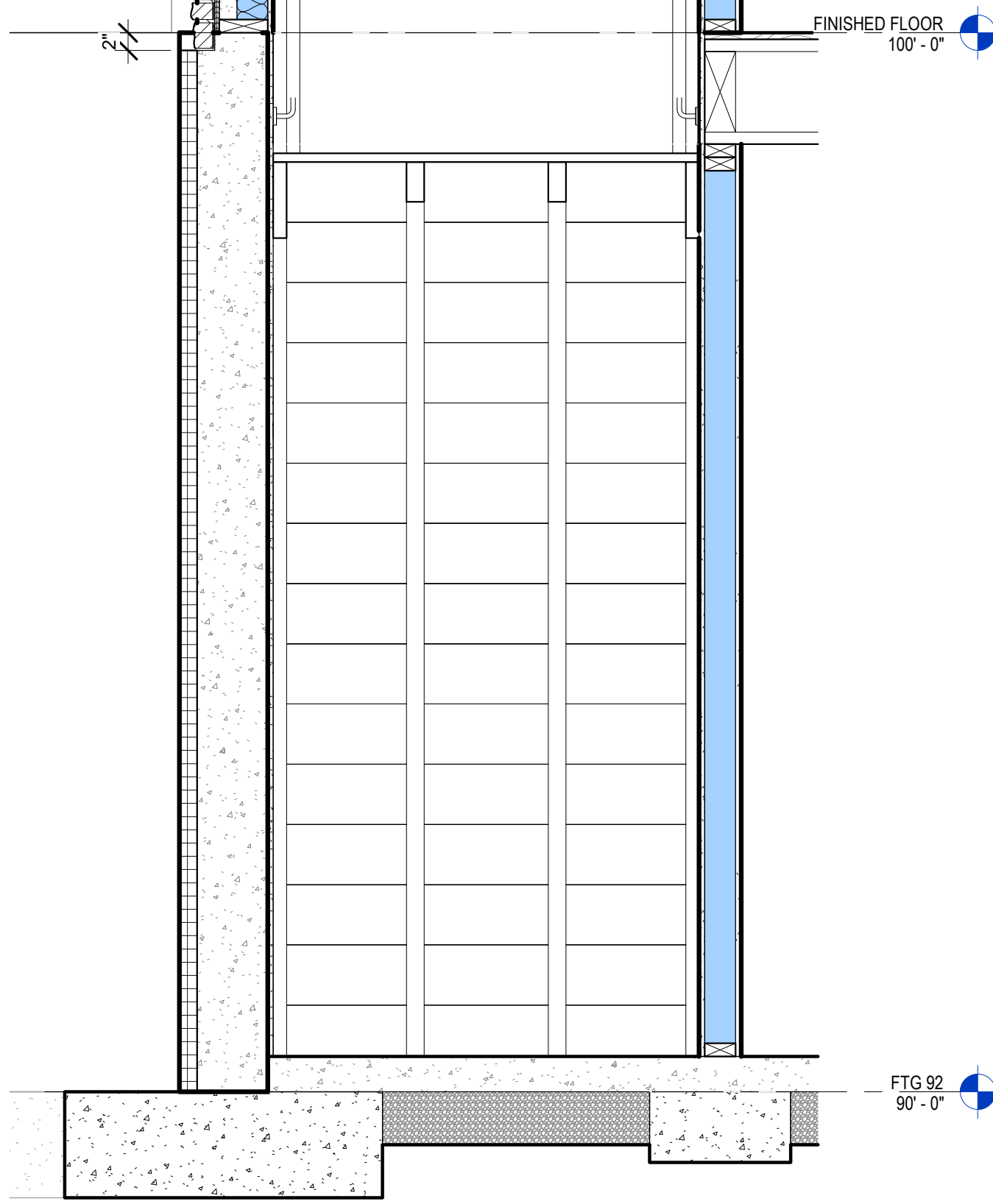
11 FND Dtl. 2 - Typ.
A5.0 3/4" = 1'-0"



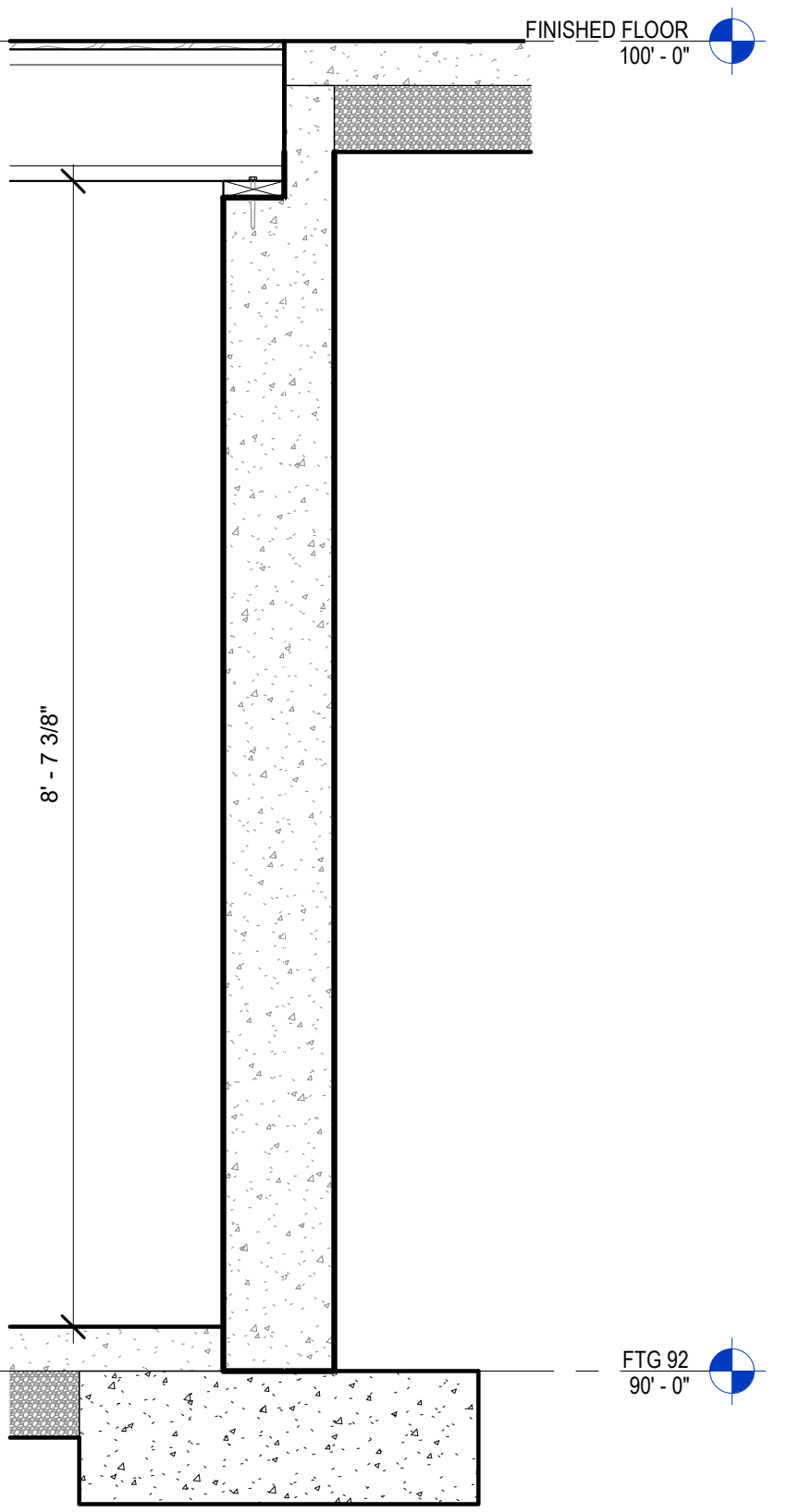
12 FND Dtl. 3 - Typ.
A5.0 3/4" = 1'-0"



13 FND Dtl. 4 - Typ.
A5.0 3/4" = 1'-0"



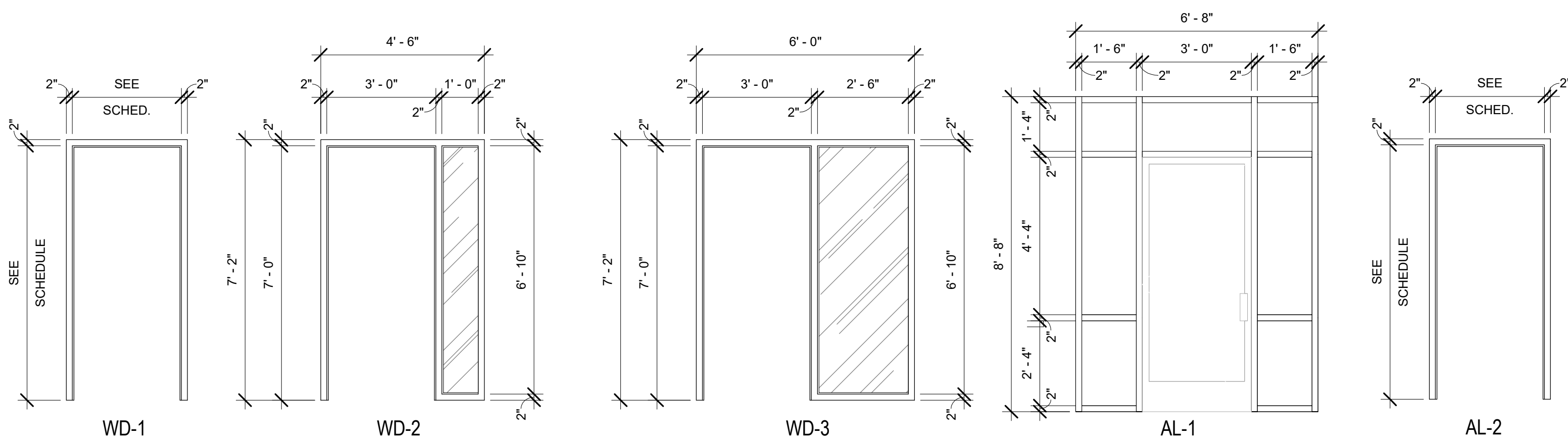
14 FND Dtl. 5 - Typ.
A5.0 3/4" = 1'-0"



15 FND Dtl. 6 - Typ.
A5.0 3/4" = 1'-0"

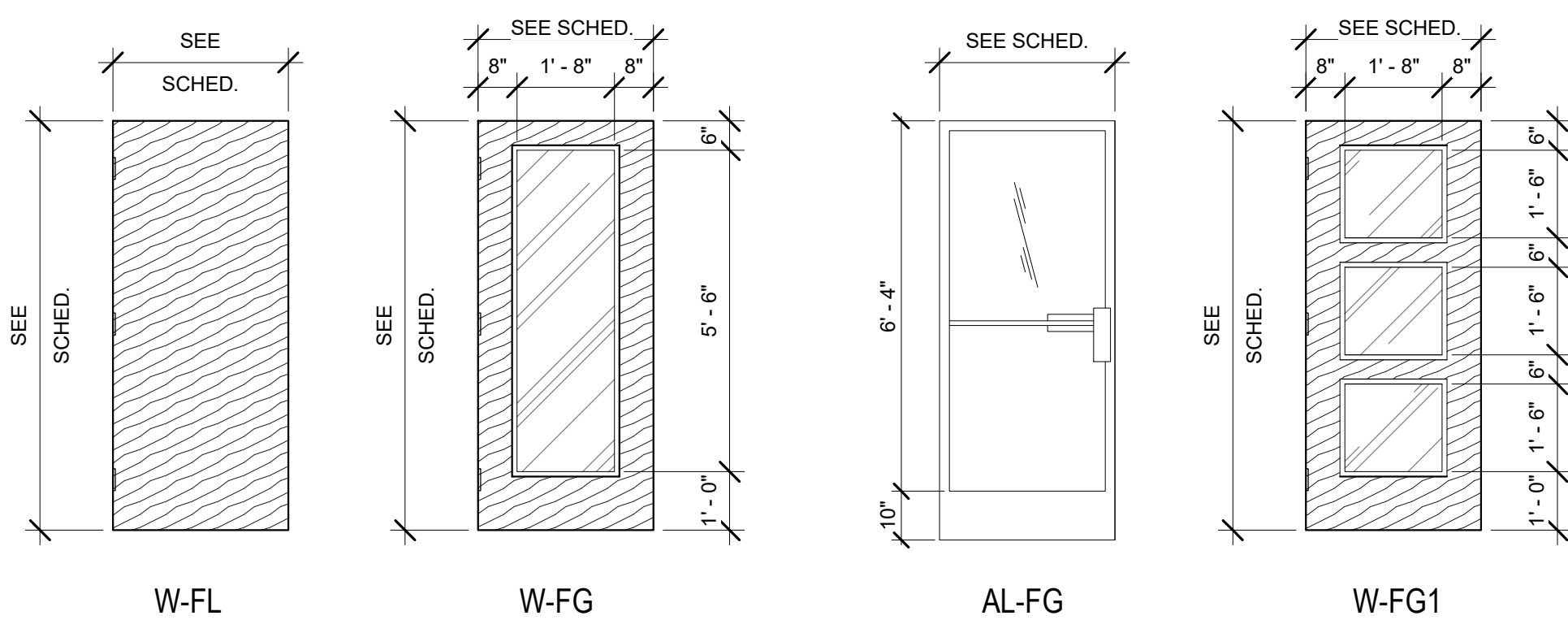
DOOR AND FRAME SCHEDULE															
MARK	DOOR				FRAME				FIRE RATING LABEL	HWR GROUP	NOTES				
	WD	HGT	THCK	TYPE	MATL	GLAZING	U-VALUE	TYPE				MATL	HEAD	JAMB	SILL
100A	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-1	ALUM						
100B	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-1	ALUM						
101A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
102A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
103	3'-0"	7'-0"	1 3/4"	W-FG1	WD			WD-2	WD						
105A	3'-0"	7'-0"	1 3/4"	W-FG	WD			WD-2	WD						
106A	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-2	ALUM						
107A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
108A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
109A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
110A	3'-2"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
111A	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-2	ALUM						
111B	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
112A	3'-0"	7'-0"	1 3/4"	W-FG1	WD			WD-2	WD						
116A	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-2	ALUM						
116B	3'-0"	7'-0"	1 3/4"	W-FG1	WD			WD-2	WD						
121A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
122A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
123A	3'-0"	7'-0"	1 3/4"	W-FG1	WD			WD-2	WD						
123B	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-2	ALUM						
124A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
125A	3'-0"	7'-0"	1 3/4"	W-FG	WD			WD-3	WD						
126A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
126B	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
128A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
130A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
132	2'-4"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
133	2'-4"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
B1	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						
B2	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD						

ROOM FINISH SCHEDULE													
MARK	NAME	FLOOR	BASE	WALLS						REMARKS			
				NORTH SURFACE	NORTH FINISH	SOUTH SURFACE	SOUTH FINISH	EAST SURFACE	EAST FINISH		WEST SURFACE	WEST FINISH	
001	BASEMENT	SEALED CONC.											
002	BATHROOM	SEALED CONC.	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1
003	EQUIP. ROOM	SEALED CONC.											
100	VESTIBULE	WLK-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WALK OFF CARPET TILE
101	CLOSET	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
102	CLOSET	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
103	WAITING	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
104	RECEPTION	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
105	BUSINESS	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
106	CORRIDOR	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WALK OFF CARPET
107	BREAK RM.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
108	EMPL. TLT.	LVP-1	CTB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
109	LAUNDRY	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
110	CHANGING	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
111	STAIRS	WLK-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	EXP. WOOD TREAD & RISERS
112	DR. OP.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
113	DR. OP.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
114	HYGIENE	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
115	HYGIENE	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
116	DR. OP.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
117	DR. OP.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
118	HYGIENE	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
119	HYGIENE	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
120	DR. OP.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
121	ASSOC. DOCTOR	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
122	DOC. OFFICE	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
123	DOC. LOUNGE	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
124	DOC. TLT.	LVP-1	CTB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
125	CONSULT	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
126	STORAGE	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
127	PAN	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
128	TOILET	LVP-1	CTB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
129	STERILIZATION	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
130	LAB	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
131	CORRIDOR	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
132	CLOSET	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
133	CLOSET	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	



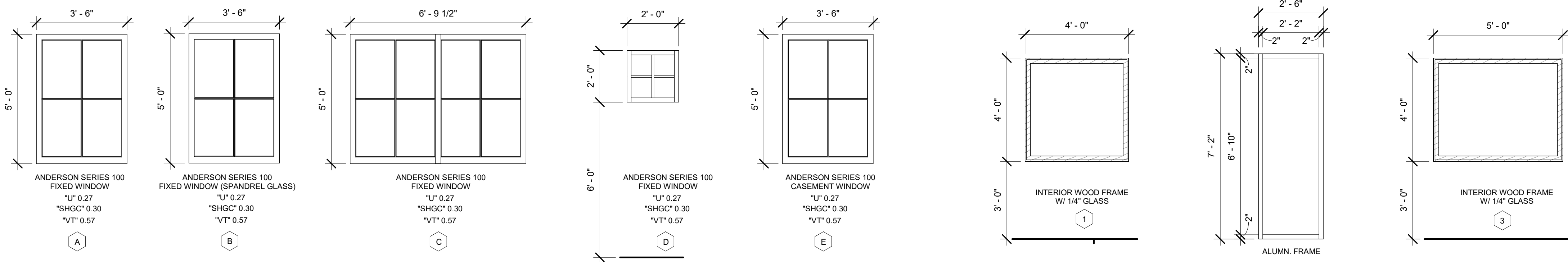
Door Frames

Scale: 3/8" = 1'-0"



Door Elevations

Scale: 3/8" = 1'-0"



Window Elevations

Scale: 3/8" = 1'-0"

DOOR HARDWARE SCHEDULE

DH-1	
3	HINGES IVES 5BB 652 4 1/2" x 4 1/2" NRP
1	LOCKSET SCHLAGE AL80PD SAT 626
1	STRIKE SCHLAGE AL 10-025 SAT
1	LATCH SCHLAGE AL 11-096
1	CYLINDER SCHLAGE AL 85 626
1	KICKPLATE IVES 8" x 34"
DH-2	
1	FRAME CLOSURE PREP
3	HINGES IVES 5BB 652 4 1/2" x 4 1/2" NRP
1	PUSH/PULL IVES 8200/8305 626 4" x 16"
1	CLOSURE LCN 4040XP
2	KICKPLATE IVES 8" x 34"

DOOR HARDWARE SCHEDULE

SET #1A	
3	HINGES ECBB1103 4.5 x 4.5 US32D HAGER
1	LOCK 20-022 626 CONV. RIM CYLINDER SCHLAGE
1	LOCK 7100-48 632F 630 RIM DEVICE YALE
1	CLOSURE CPS7500 689 SURFACE CLOSER NORTON
1	THRESHOLD 4125 44" MIL HAGER
1	THRESHOLD 750SN 44" CLR SWEEP HAGER
1	THRESHOLD 891SN: 1 @ 36", 2 @ 80" MIL JAMB WTHRSTRP HAGER
1	THRESHOLD 810S 48" MIL RAIN DRIP HAGER
SET #4	
3	HINGES ECBB1100 4.5 x 4.5 US26D HAGER
1	LOCK AL80PD SAT 11-096 10-025 626 SCHLAGE
SET #6	
6	HINGES ECBB1100 4.5 x 4.5 US26D HAGER
2	CLOSURE 8501H REG 689 NORTON
2	PUSH 70C 4" x 16" US32D PUSH PLATE ROCKWOOD
2	PULL BF111X70C 4" x 16" US32D PULL PLATE ROCKWOOD
SET #7	
6	HINGES ECBB1100 4.5 x 4.5 US26D HAGER
2	CLOSURE 8501 PA 689 NORTON
2	ASTRAGAL S771D 7" ASTRAGAL PEMKO
1	SMOKE SEAL S88BL 20" SMOKE SEAL PEMKO
2	PUSH 70C 4" x 16" US32D PUSH PLATE ROCKWOOD
2	PULL BF111X70C 4" x 16" US32D PULL PLATE ROCKWOOD
1	HOLD 2100 US28 MAGNETIC HOLDER ABH
SET #8	
3	HINGES ECBB110 4.5 x 4.5 US26D HAGER
1	LOCKSET AL53PD SAT 11-096 10-025 626 SCHLAGE
1	SMOKE SEAL S88BL 17" BL SMOKE SEAL PEMKO
1	STOP 409 US32D WALL STOP ROCKWOOD
SET #9	
1	PUSH/PULL 1069 SS POCKET DOOR PULL TRIMCO
SET #10	
1	PUSH/PULL 853 1 3/8 DR US32D WIRE PULL ROCKWOOD
SET #12	
3	HINGES ECBB110 4.5 x 4.5 US26D HAGER
1	LOCKSET AL53PD SAT 11-096 10-025 626 SCHLAGE
1	STOP 409 US32D WALL STOP ROCKWOOD
SET #15	
3	HINGES ECBB110 4.5 x 4.5 US26D HAGER
1	LOCKSET AL70PD SAT 11-096 10-025 626 SCHLAGE
1	CLOSURE 8501 REG 689 NORTON
1	THRESHOLD S88BL 17" BL SMOKE SEAL PEMKO
1	STOP 409 US32D WALL STOP ROCKWOOD

PROPOSED NEW BUILDING FOR:

MEADOW VIEW DENTAL

LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS. WI

ROOM & DOOR FINISH SCHEDULE

Description

Date

No.

Page Information

Drawn By Designer Approved By Checker

Project No. 25-0082 Date 3/19/26

Sheet No.

A6.0

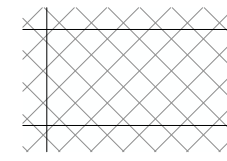
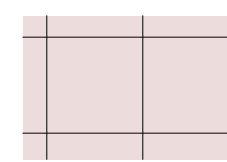
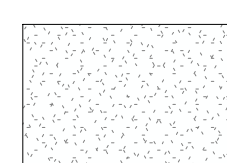
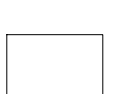
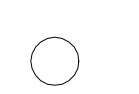

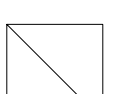
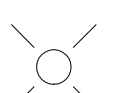
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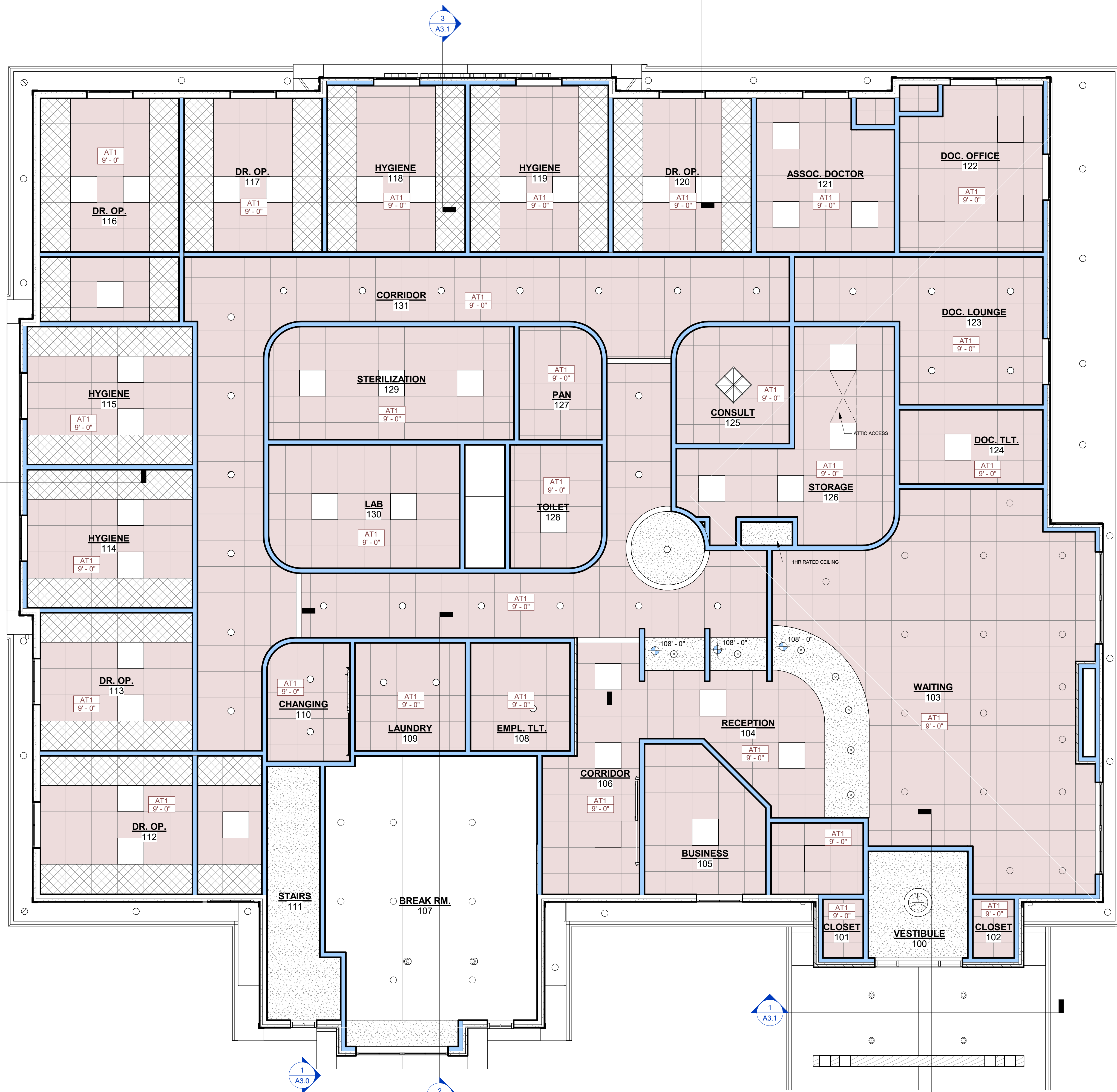
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REFLECTED CEILING NOTES

- GRID LAYOUT SHOWN FOR DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY FINAL LAYOUT WITH FIELD CONDITIONS AND OBTAIN OWNER AND ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- ALL INTERIOR FINISHES TO COMPLY WITH STATE/ LOCAL CODES AND ORDINANCES.
- COORDINATE FINAL LAYOUT WITH ELECTRICAL, HVAC AND FIRE PROTECTION CONTRACTOR BEFORE INSTALLATION.
- PROVIDE HOLD DOWN CLIPS AT SUSPENDED CEILING ASSEMBLIES AT EXTERIOR DOORS AS RECOMMENDED BY CEILING MANUFACTURER.
- REFER TO EGRESS PLANS FOR EXIT LIGHT LOCATIONS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CORRECT PLACEMENT OF ALL EXIT LIGHTS AND MEAN OF EGRESS LIGHTING.

REFLECTED CEILING PLAN LEGEND

-  2x4 ACOUSTICAL CEILING GRID SYSTEM
AT1 - USG - ULTIMA REVEALED EDGE OR APPROVED EQUAL
-  2x2 ACOUSTICAL CEILING GRID SYSTEM
AT2 - USG - ULTIMA REVEALED EDGE OR APPROVED EQUAL
-  GYP. BD. FINISHED CEILING
AT3
-  NEW 2x2 LIGHT FIXTURE
-  LIGHT FIXTURE
-  CEILING SUPPLY GRILLE
-  CEILING RETURN GRILLES TO BE LOCATED AS DESIGN/BUILD
-  CEILING MUSIC/ VOICE SPEAKER



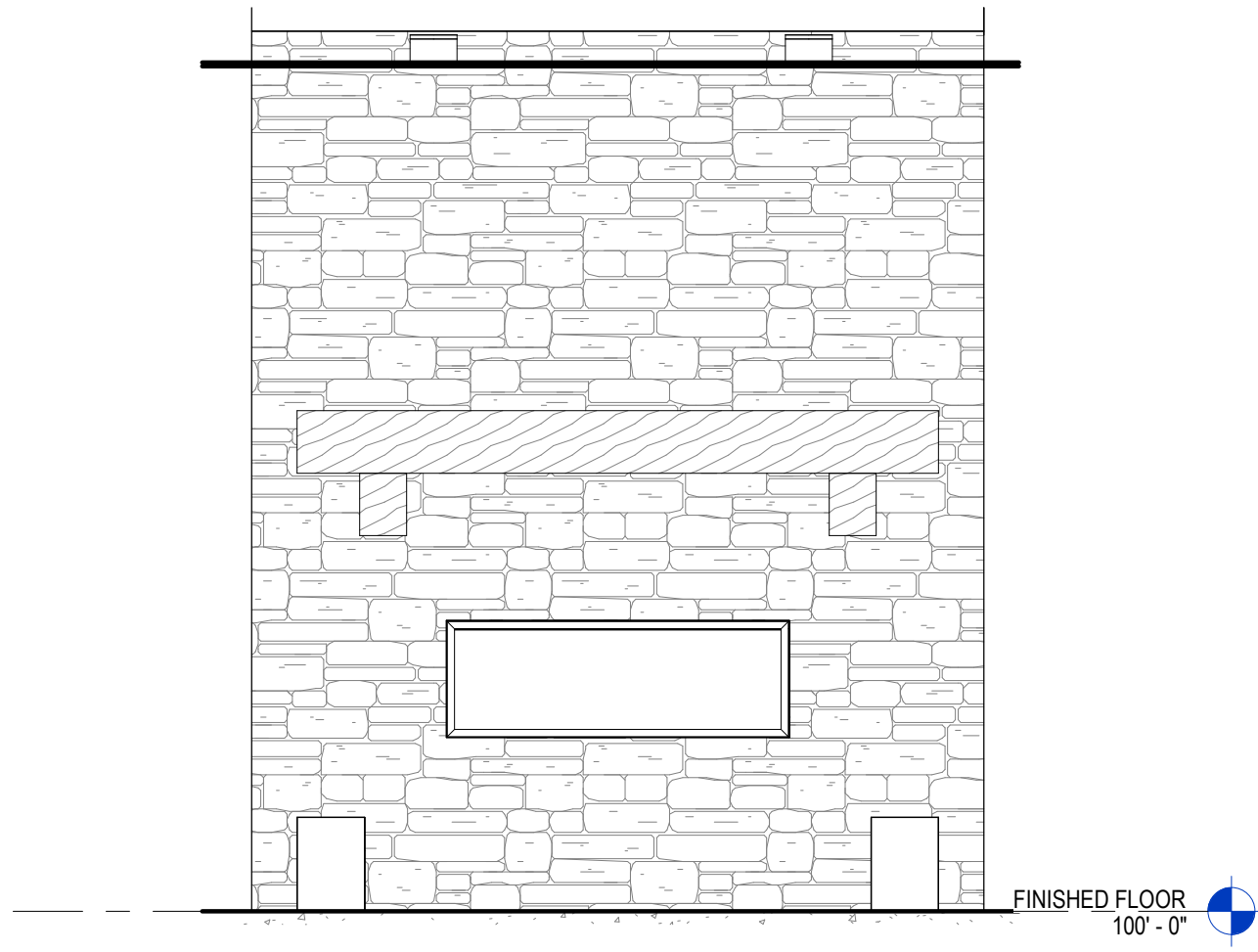
REFLECTED CEILING PLAN
Scale: 1/4" = 1'-0"
PLAN NORTH

PROPOSED NEW BUILDING FOR:
MEADOW VIEW DENTAL
LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI
REFLECTED CEILING PLAN

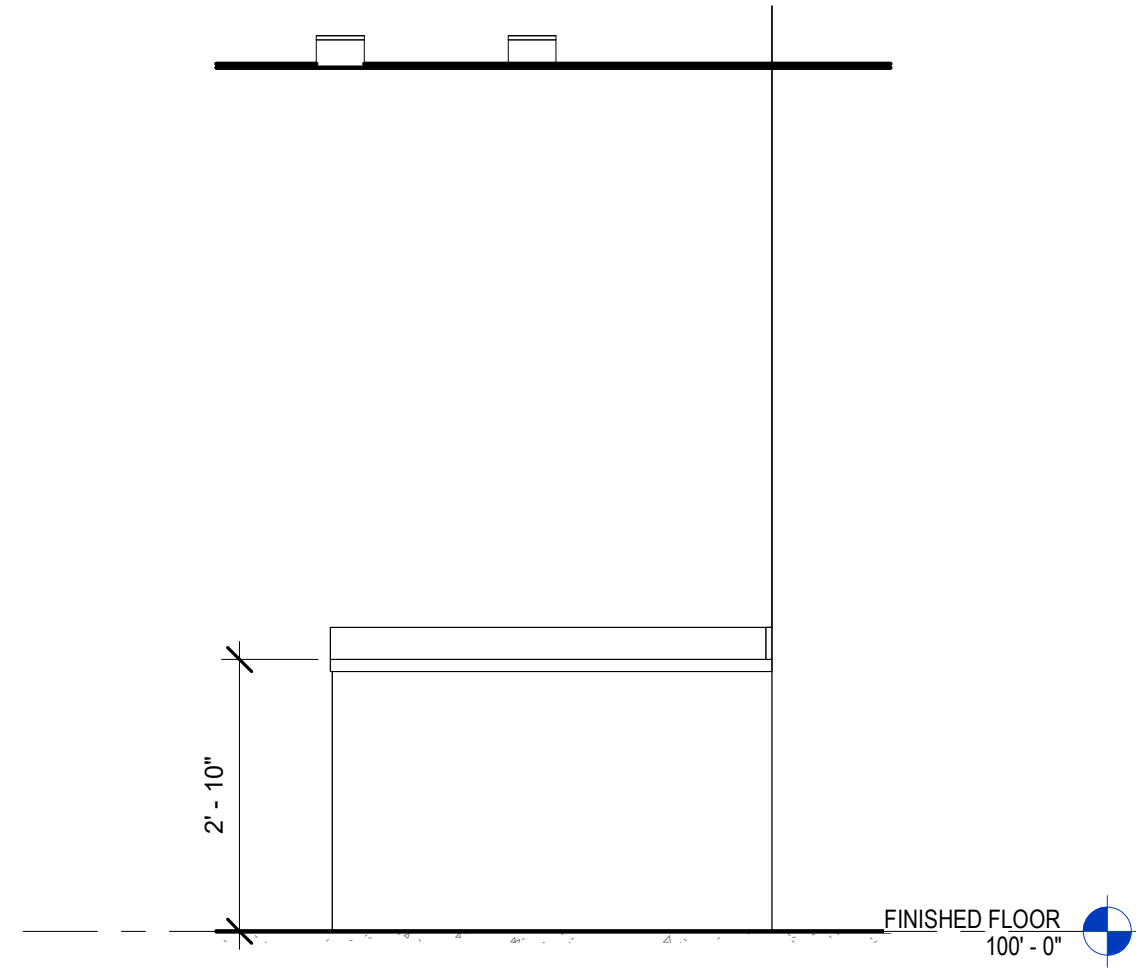
No.	Date	Description

Drawn By: JJW
Approved By: [Signature]
Project No.: 25-0082
Date: 3/19/26
Sheet No.:

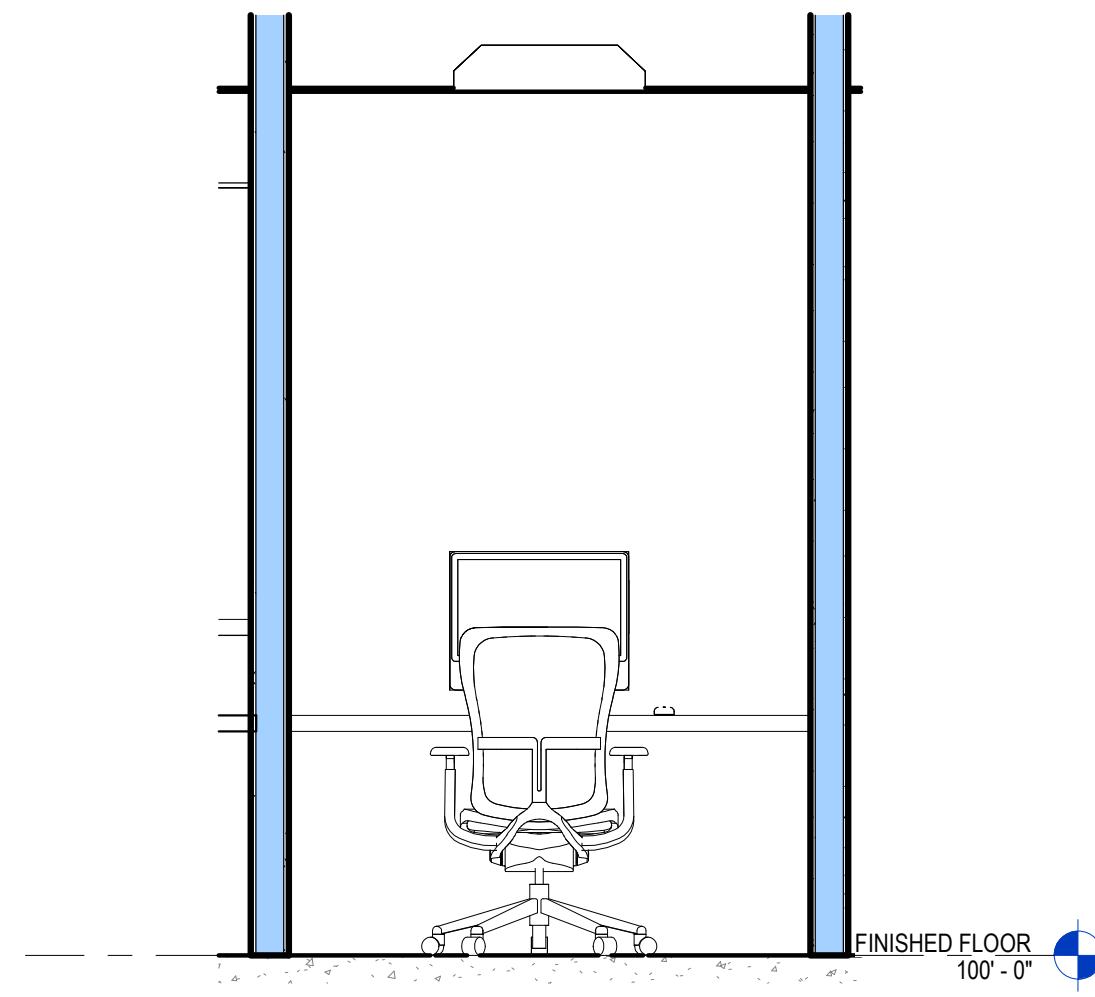
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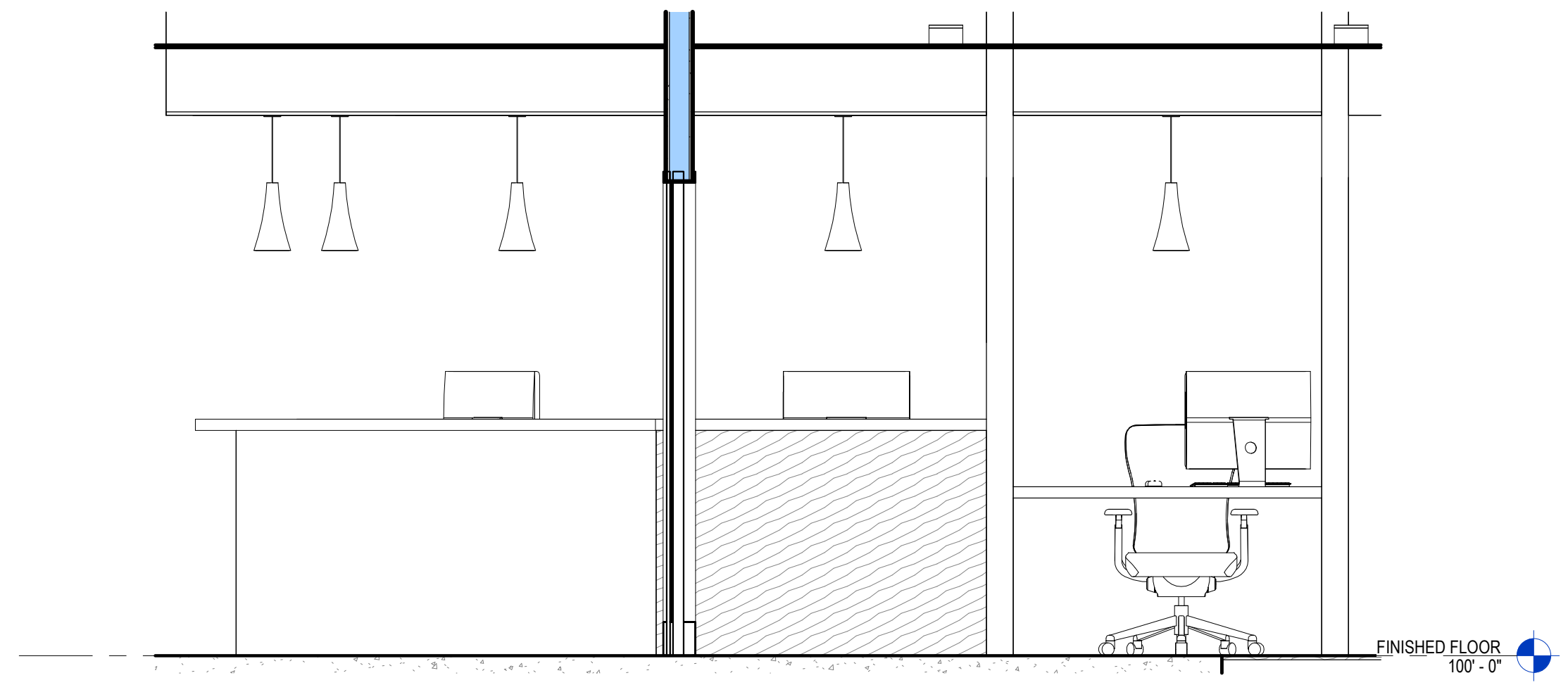
1 WAITING 103
A7.2 1/2" = 1'-0"



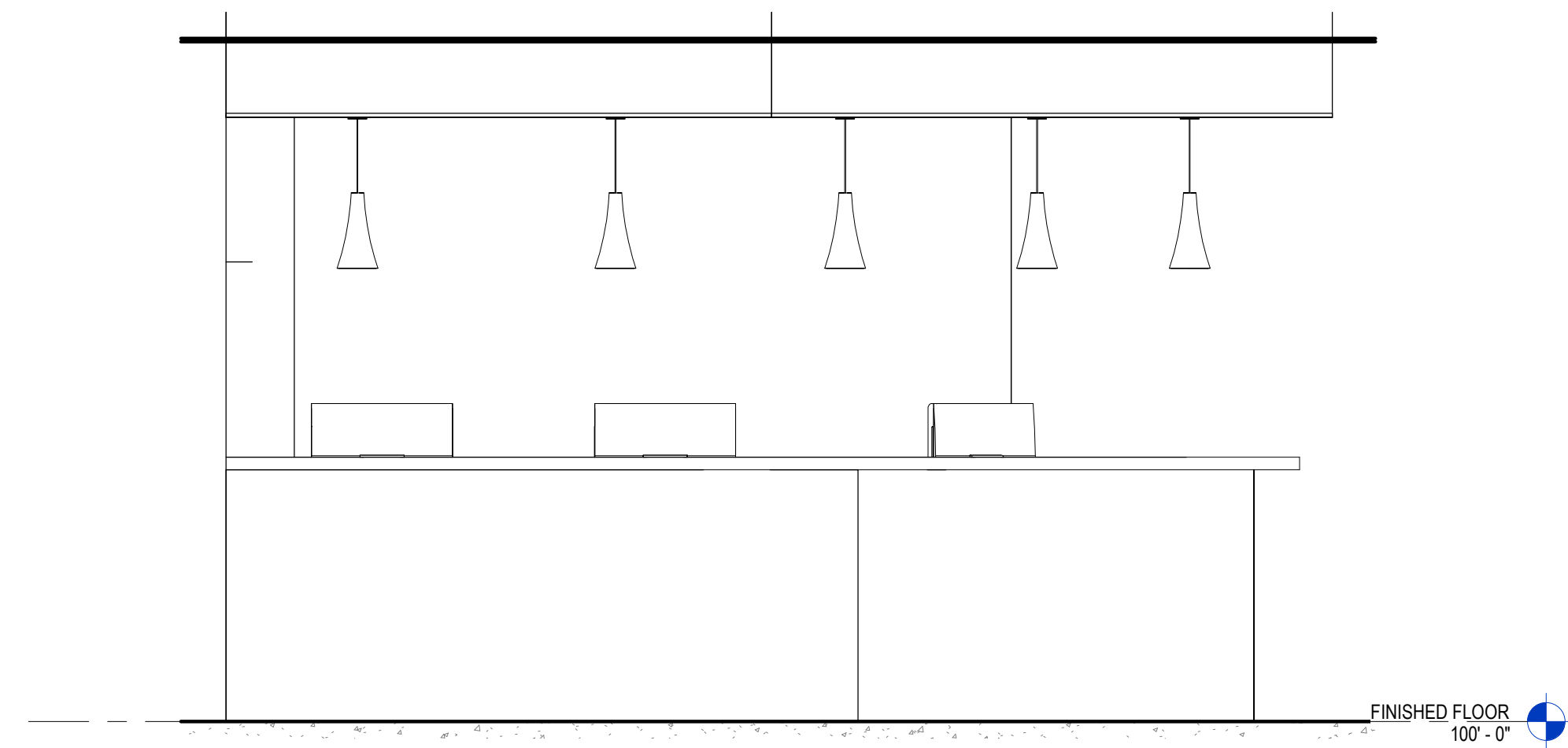
2 WAITING 103
A7.2 1/2" = 1'-0"



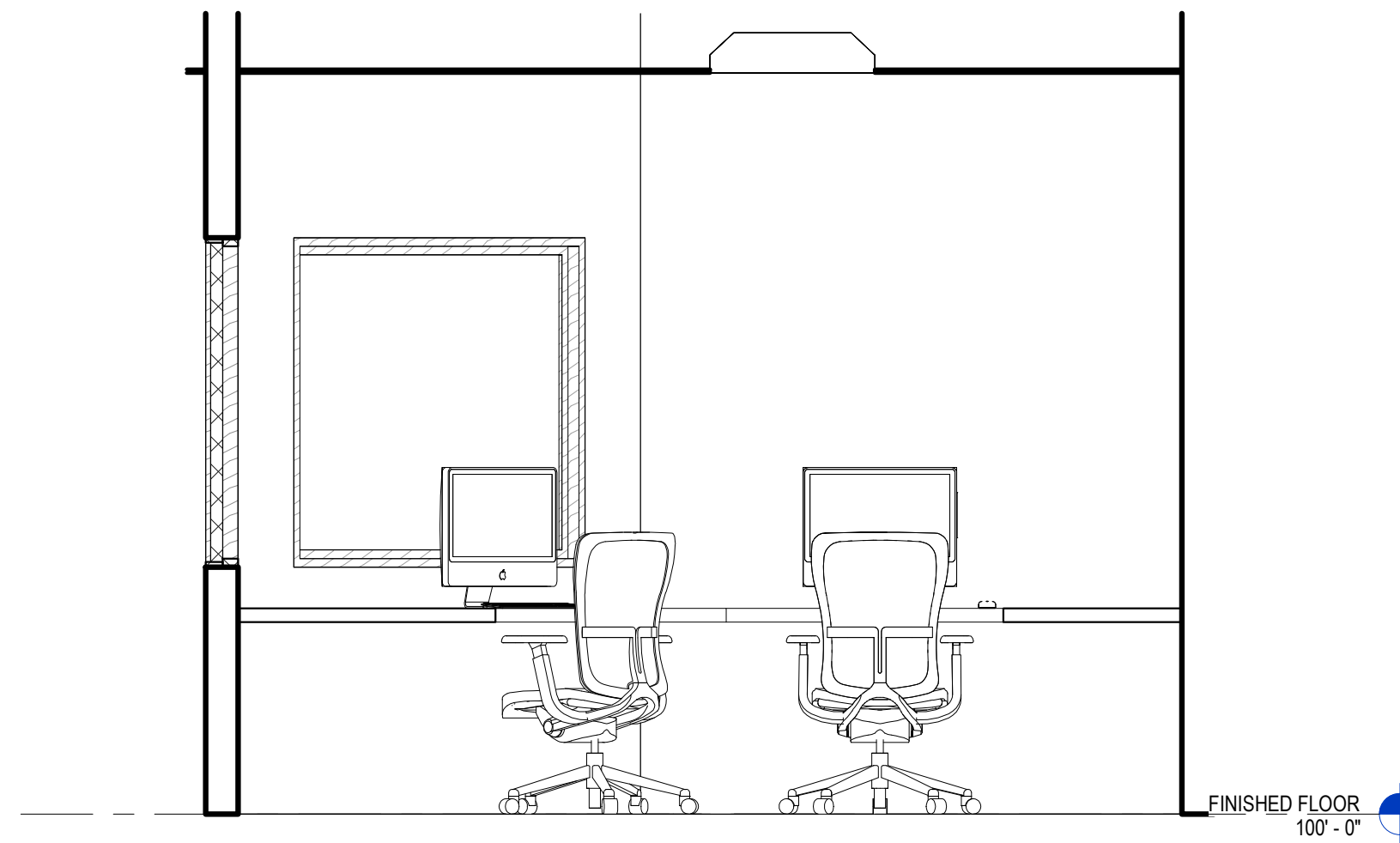
3 RECEPT 104
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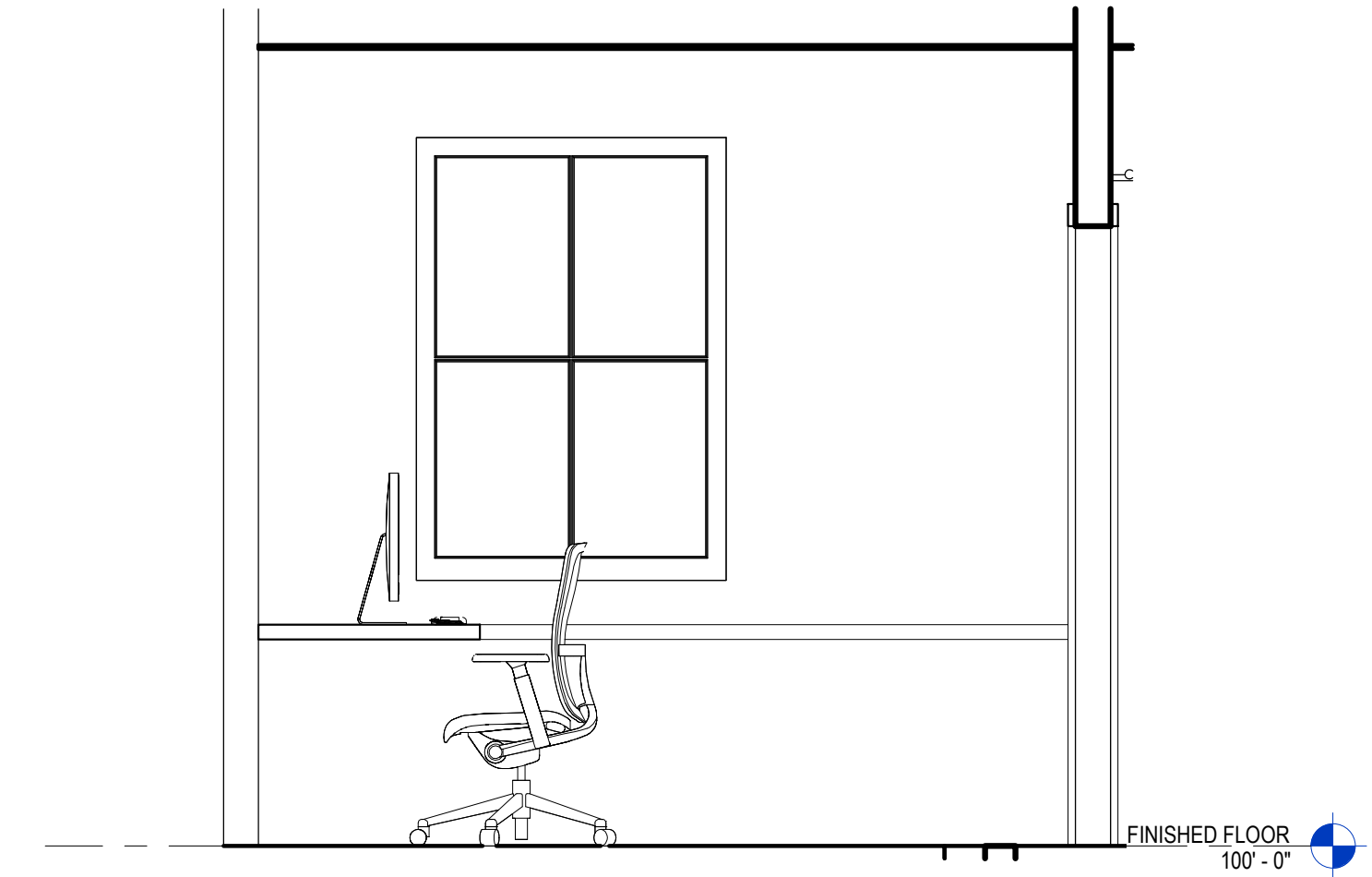
4 RECEPT. 104
A7.2 1/2" = 1'-0"



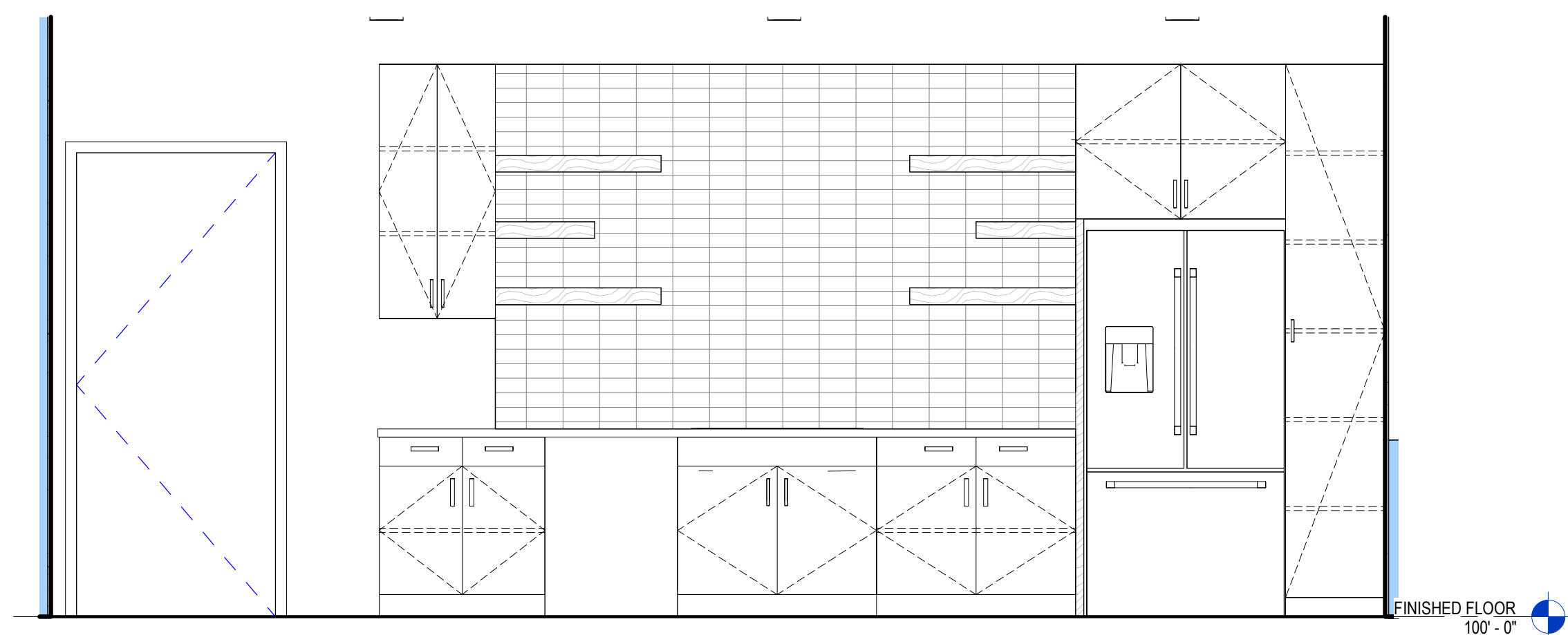
5 RECEPT. 104
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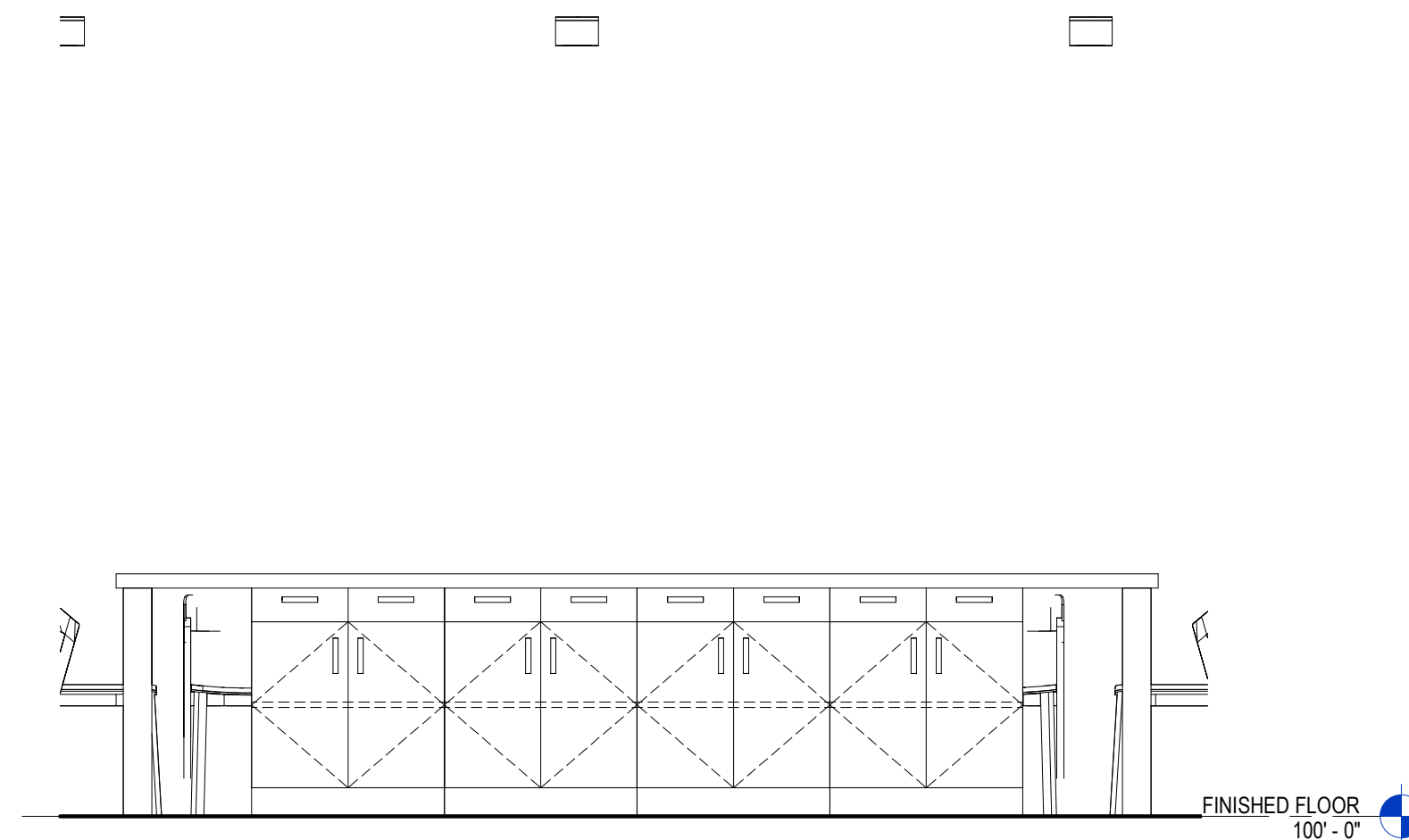
6 BUSINESS 105
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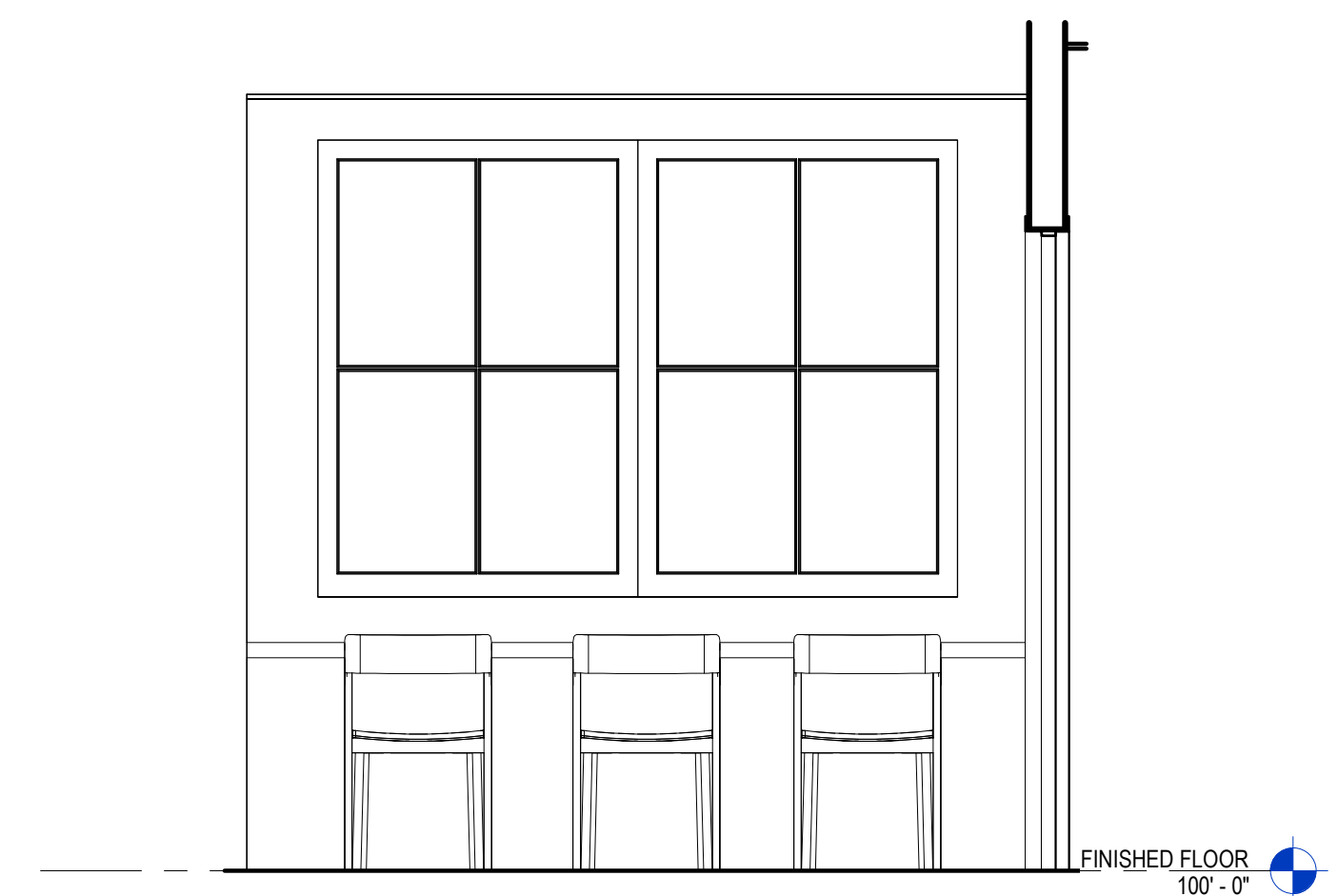
7 BUSINESS 105
A7.2 1/2" = 1'-0"



9 BREAK 107
A7.2 1/2" = 1'-0"

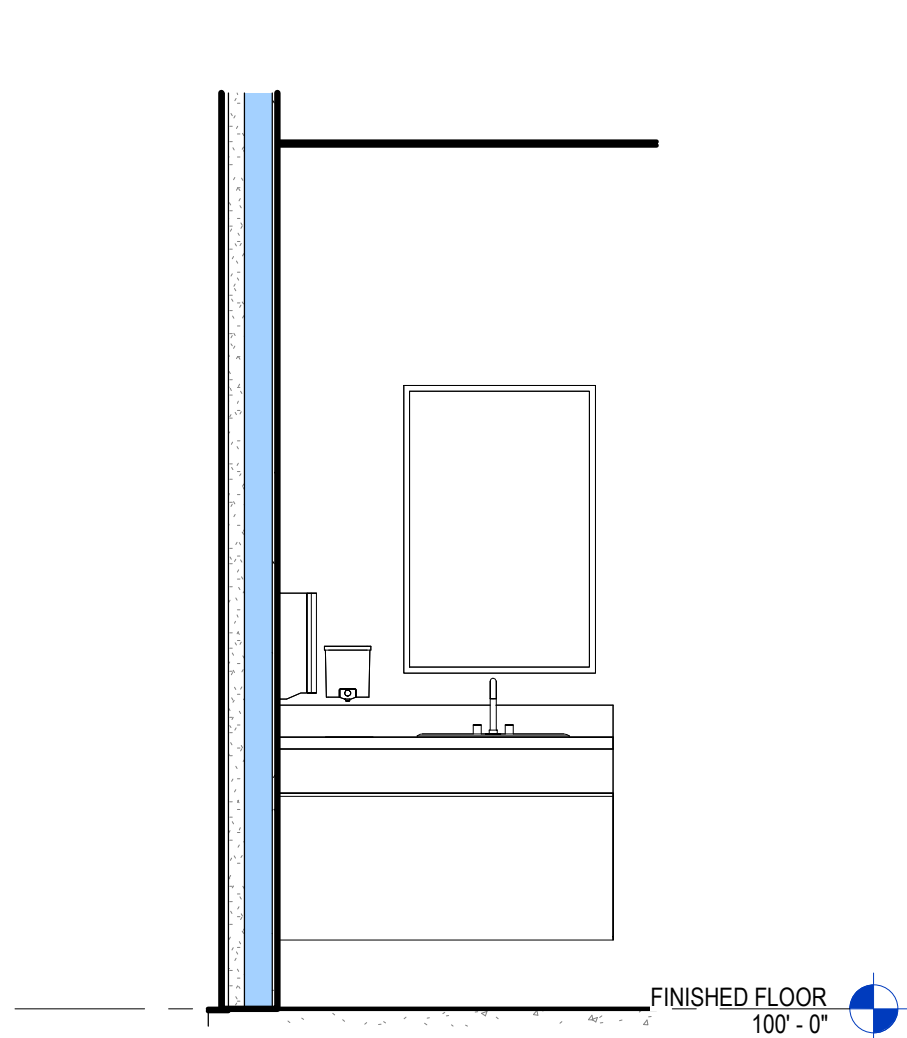


10 BREAK 107
A7.2 1/2" = 1'-0"

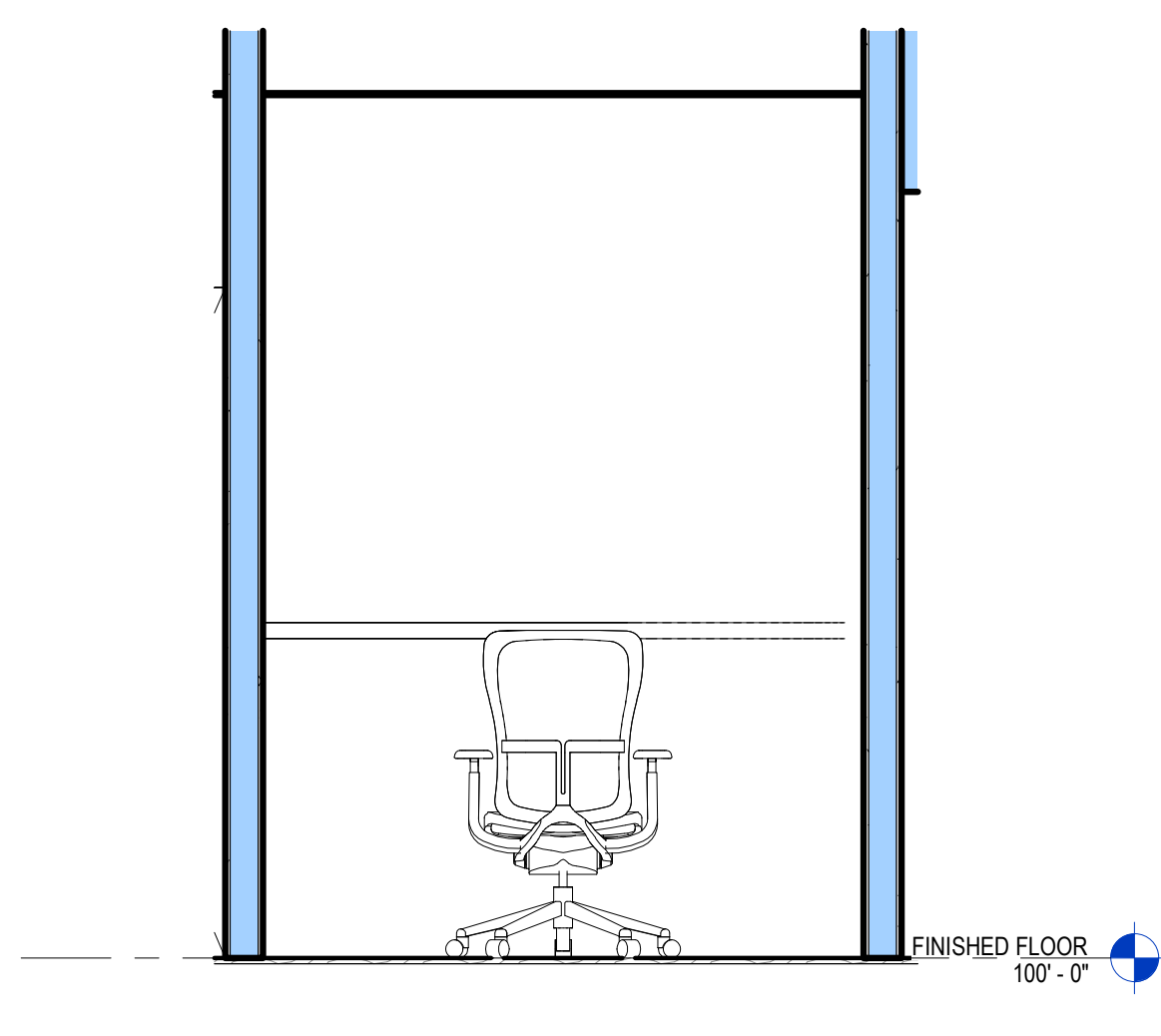


11 BREAK 107
A7.2 1/2" = 1'-0"

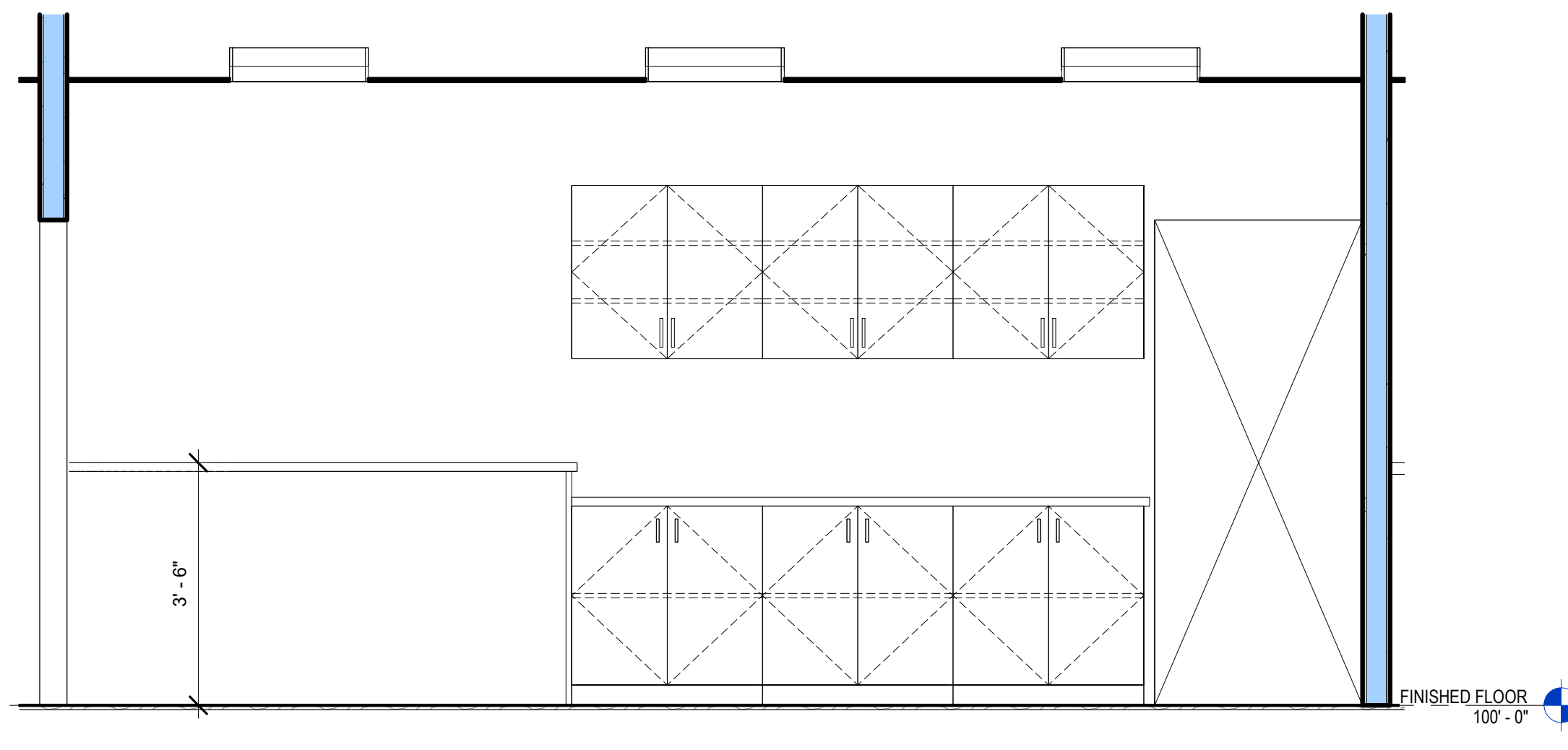
PROPOSED NEW BUILDING FOR:
MEADOW VIEW DENTAL
 LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI
CABINET ELEVATIONS



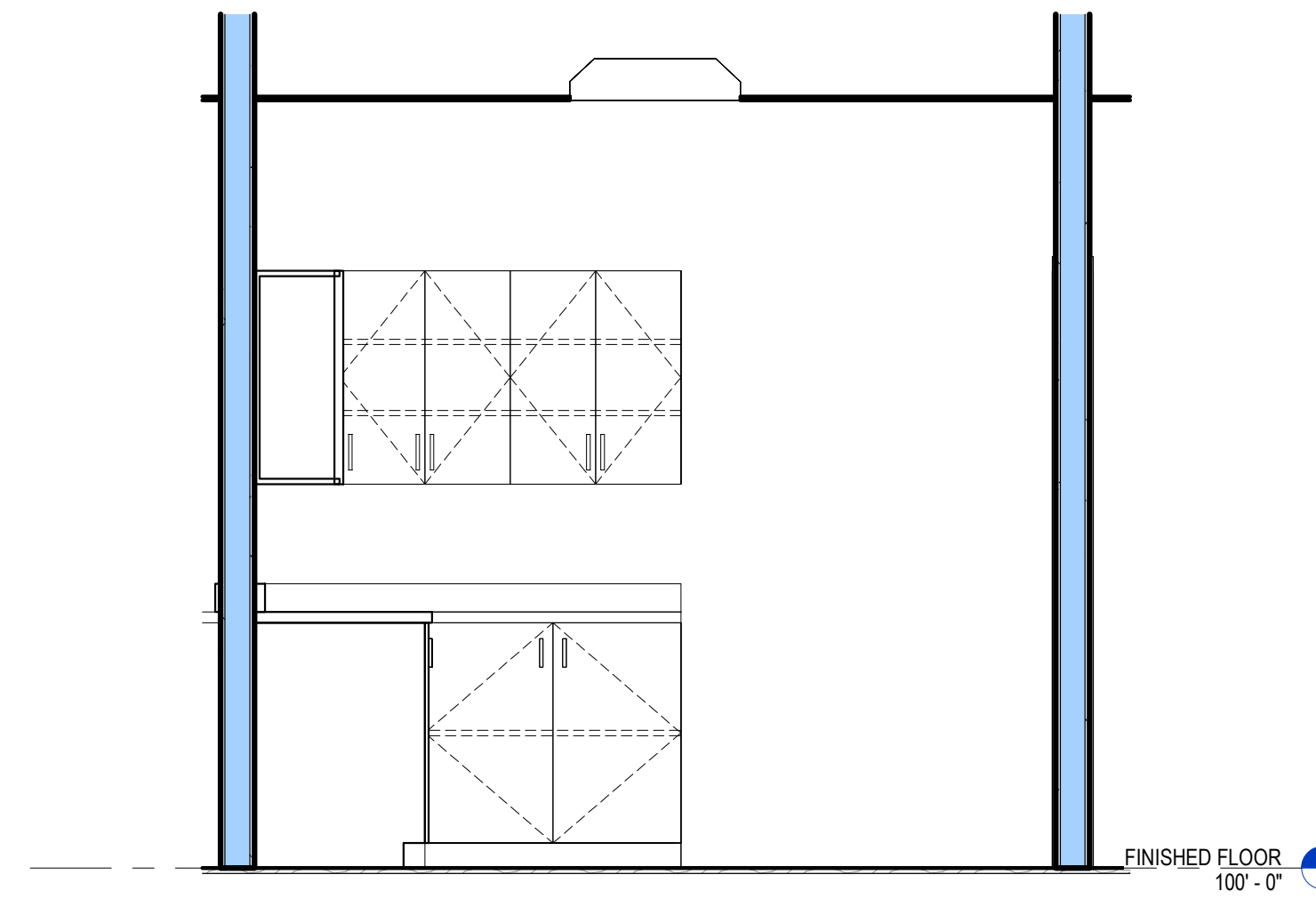
1 **DOC. TLT. 124**
 A7.3 1/2" = 1'-0"



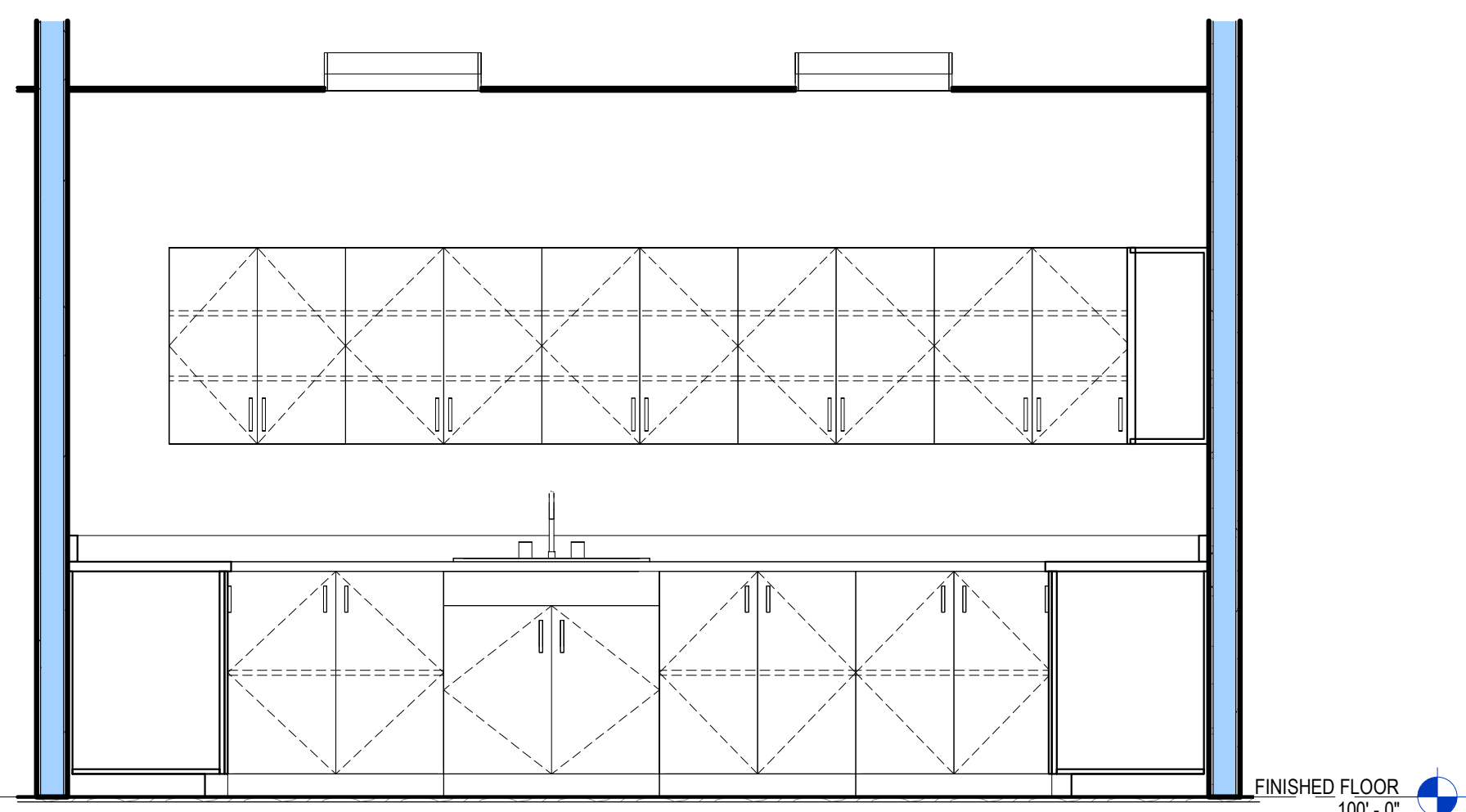
2 **PAN 127**
 A7.3 1/2" = 1'-0"



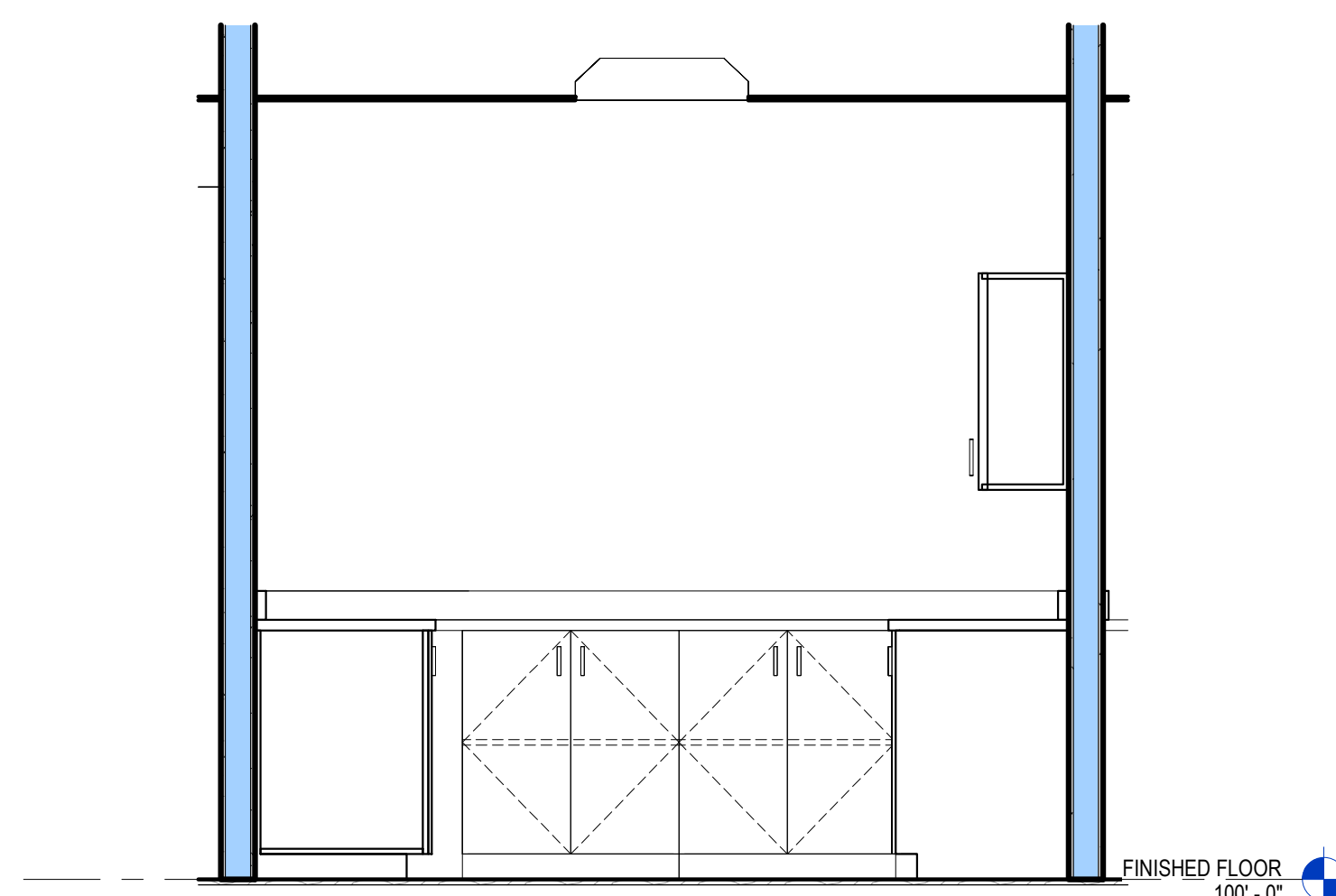
3 **STERIL. 129**
 A7.3 1/2" = 1'-0"



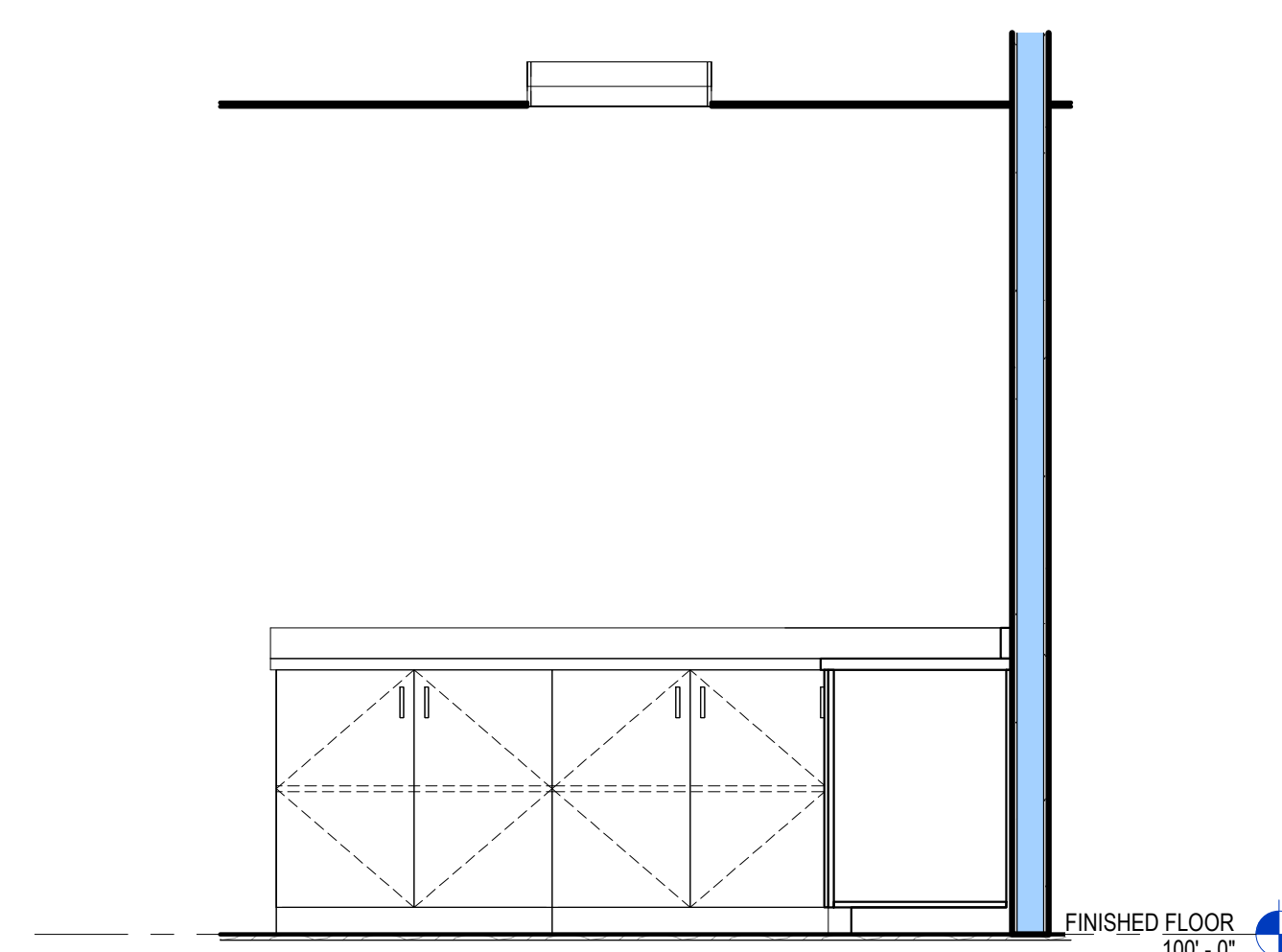
4 **LAB 130**
 A7.3 1/2" = 1'-0"



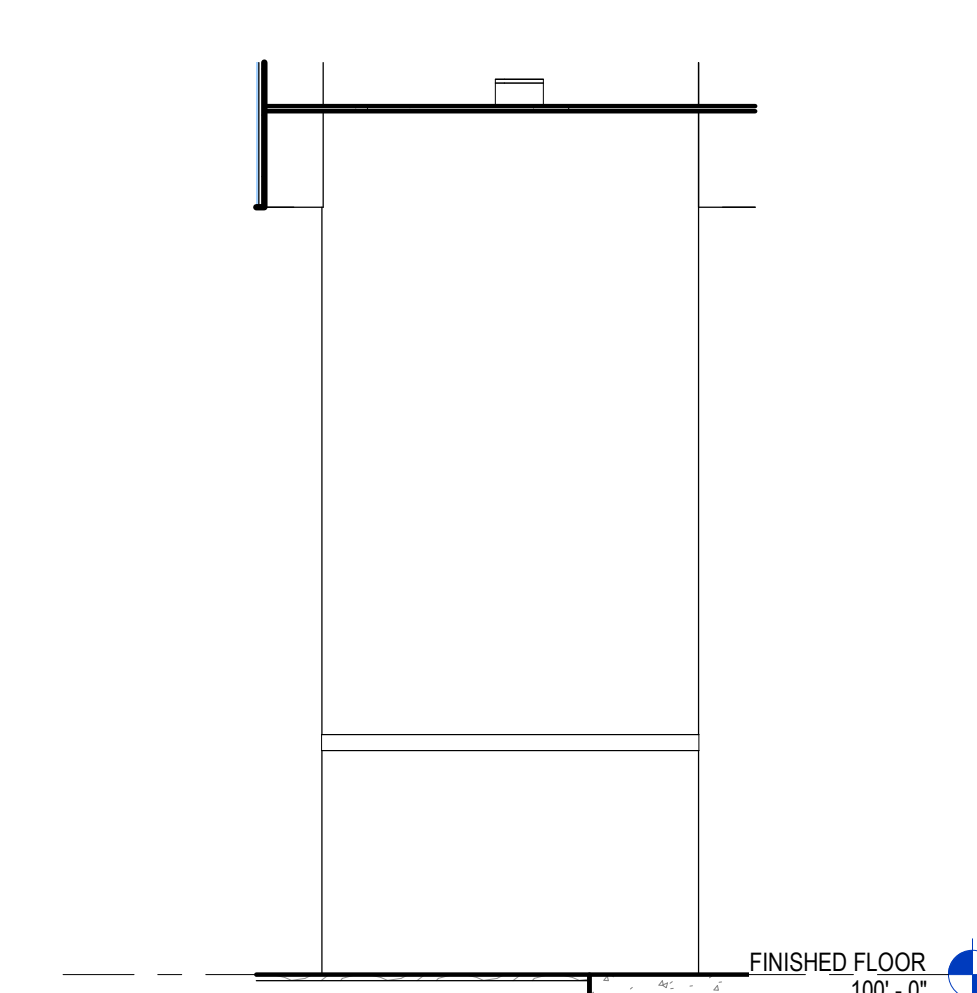
5 **LAB 130**
 A7.3 1/2" = 1'-0"



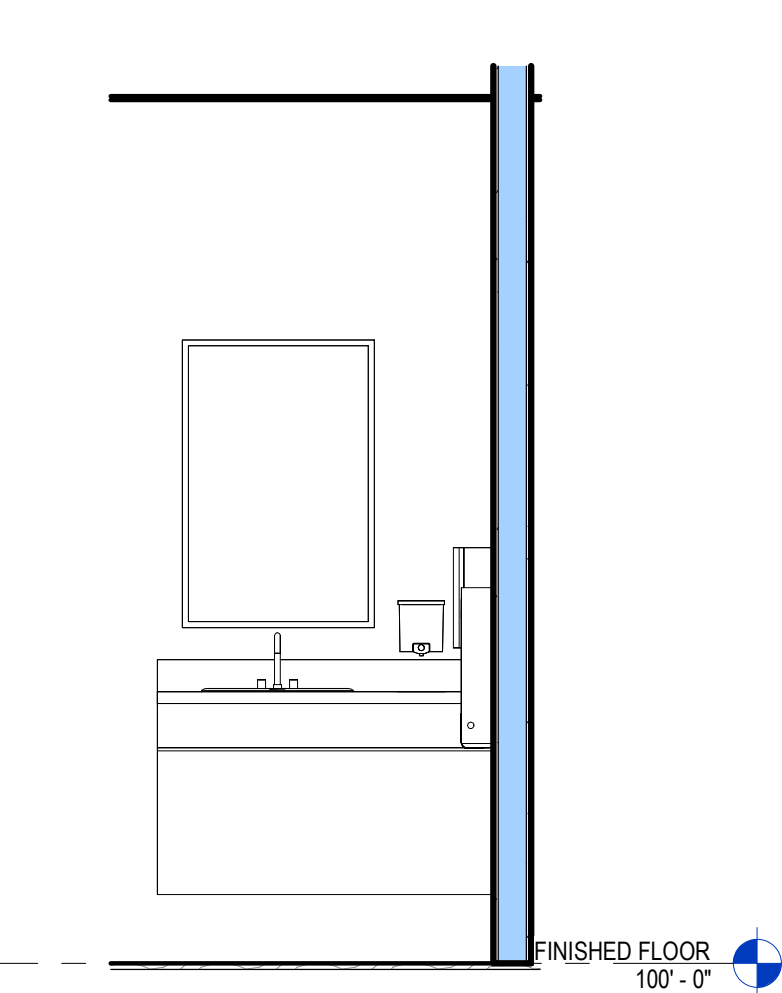
6 **LAB 130**
 A7.3 1/2" = 1'-0"



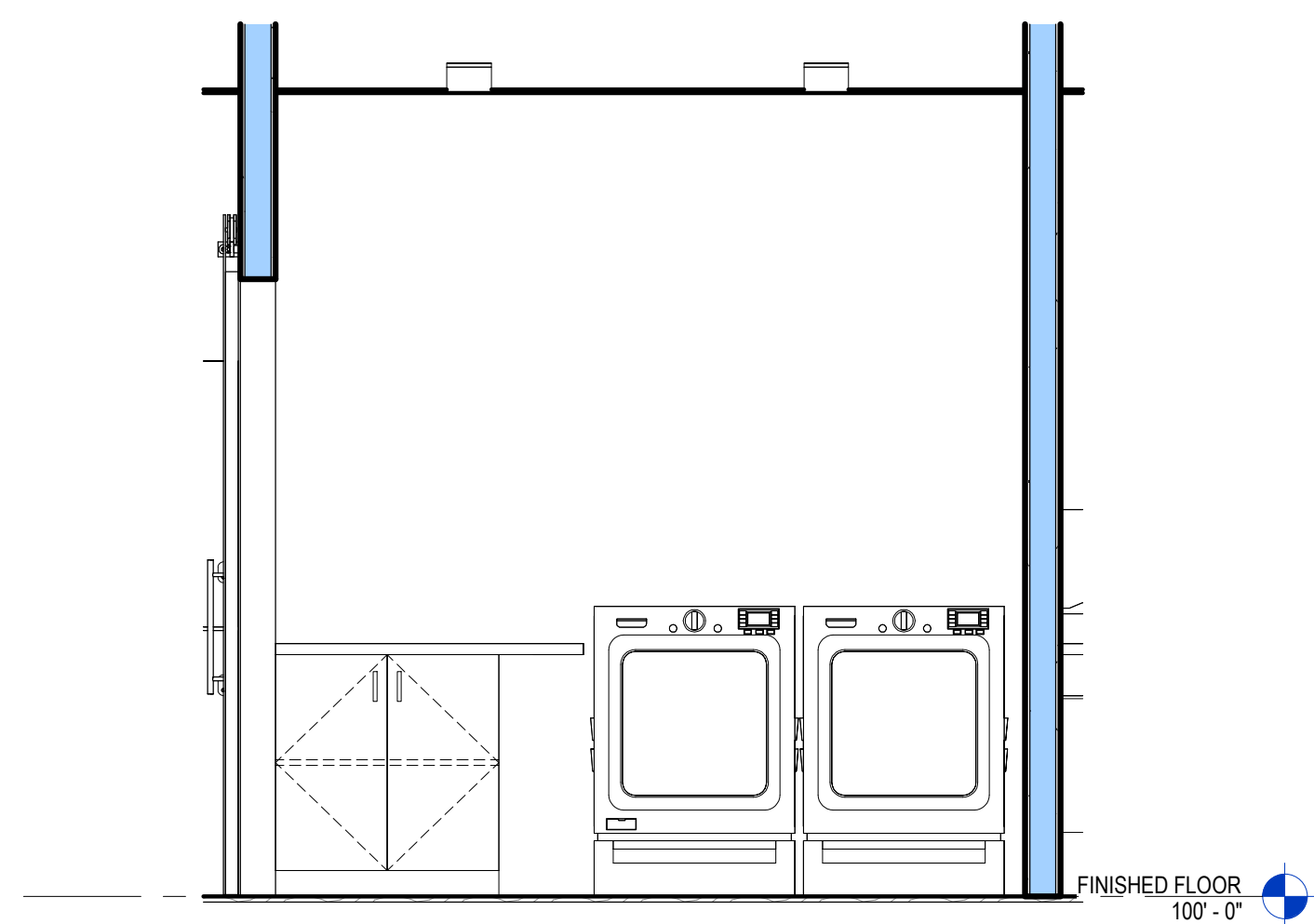
7 **LAB 130**
 A7.3 1/2" = 1'-0"



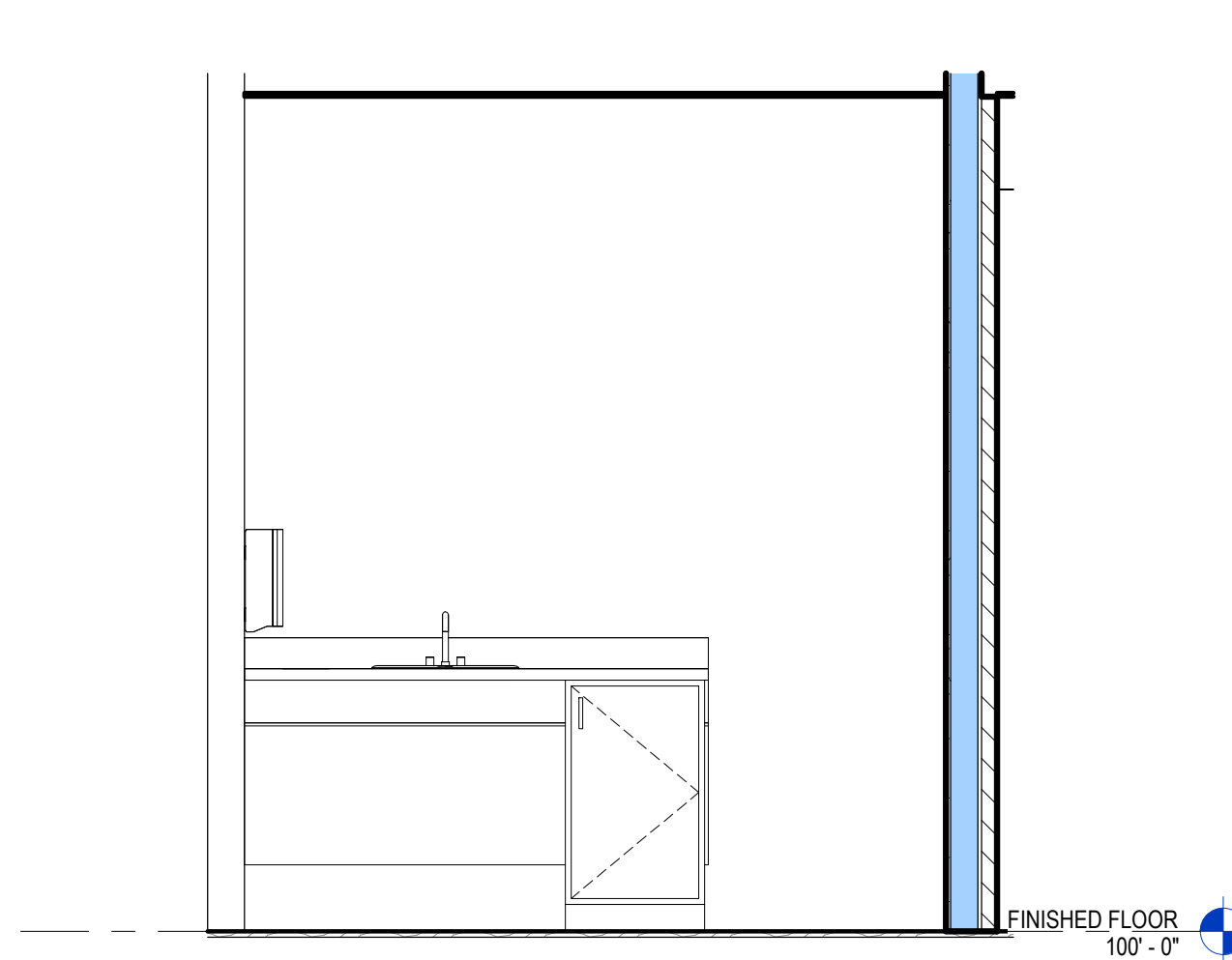
8 **CORR. 36**
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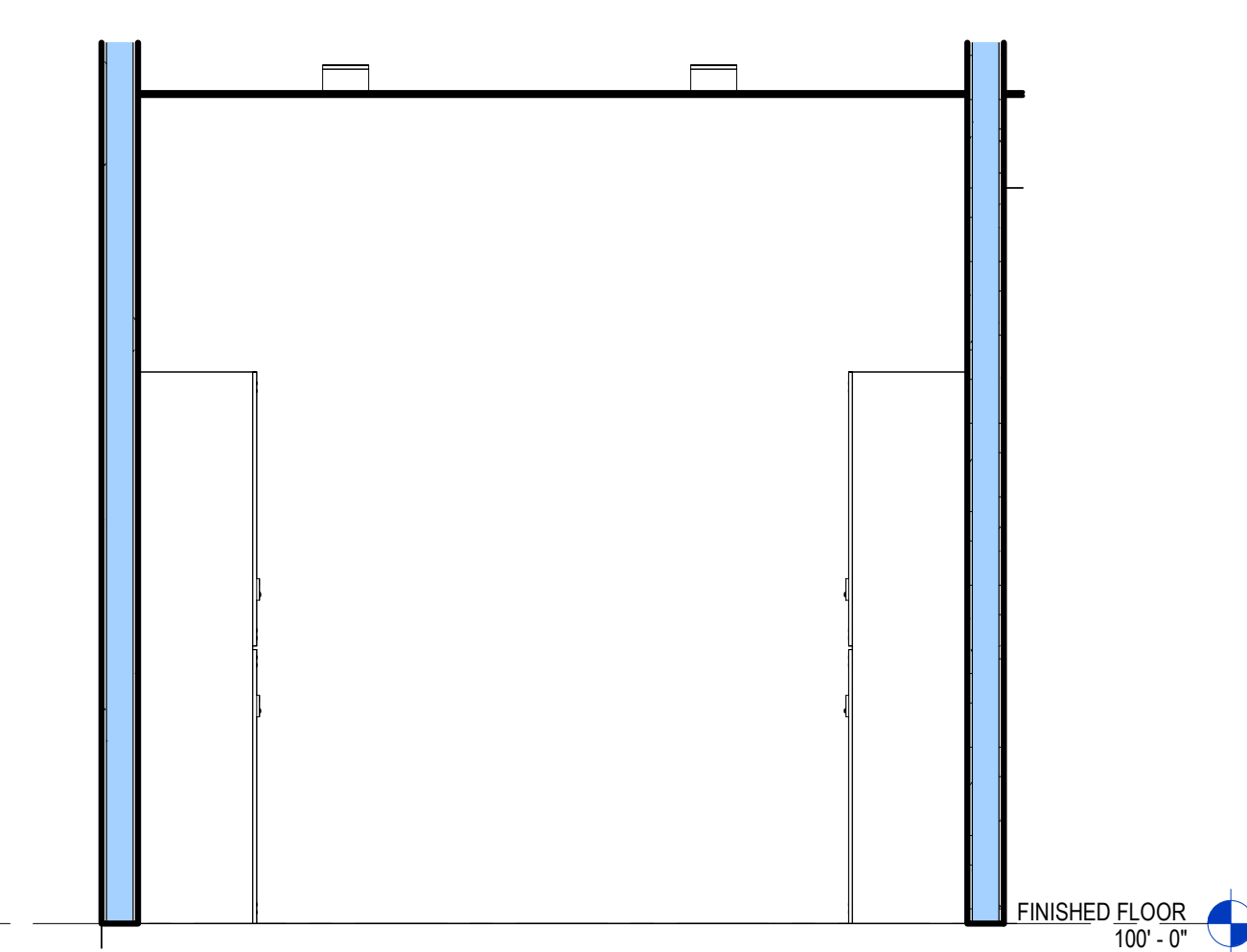
13 **TOILET 124**
 A7.3 1/2" = 1'-0"



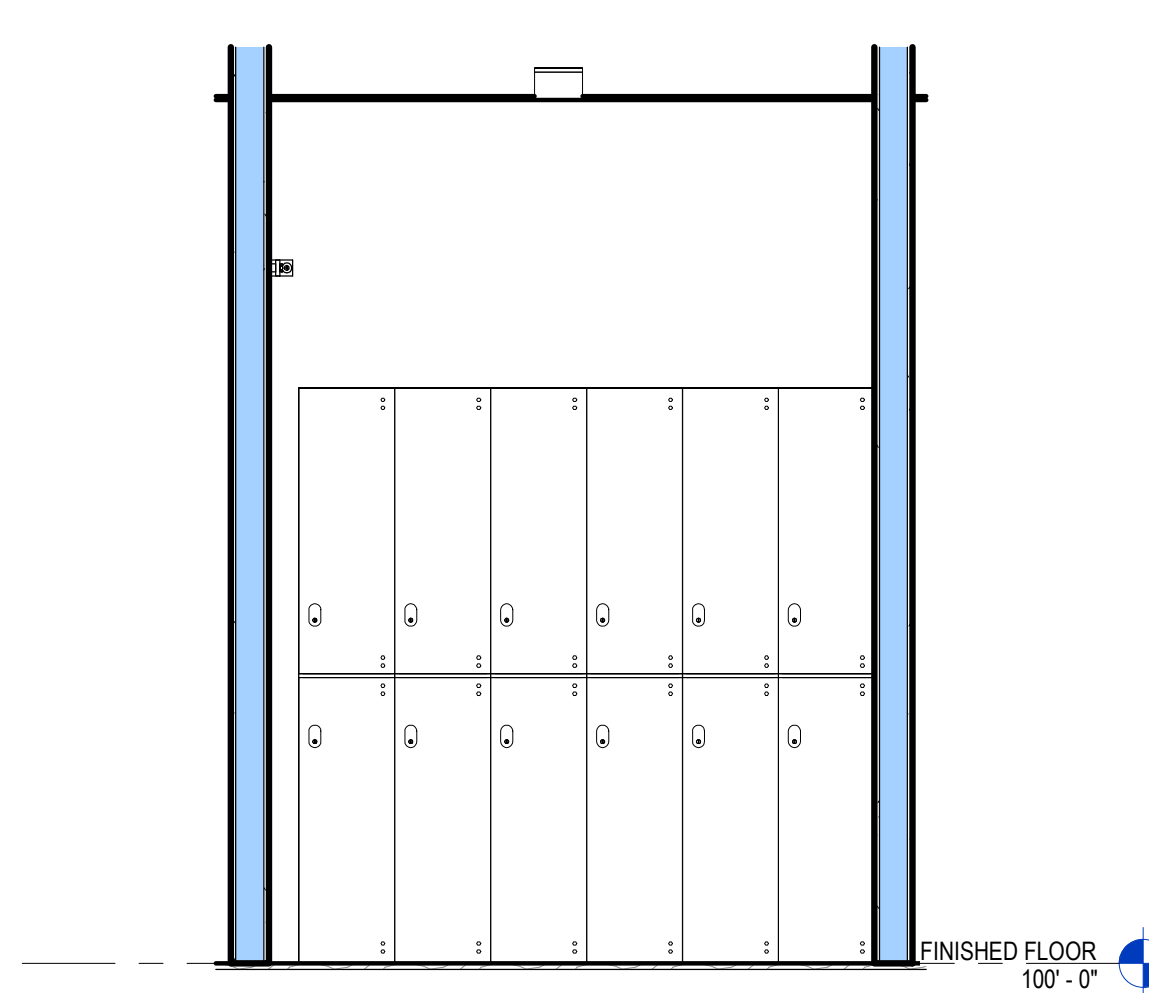
12 **LAUNDRY 109**
 A7.3 1/2" = 1'-0"



11 **EMPL. TLT. 108**
 A7.3 1/2" = 1'-0"



10 **CHANGE 110**
 A7.3 1/2" = 1'-0"



9 **CHANGE 110**
 A7.3 1/2" = 1'-0"

No.	Date	Description

Page Information

Drawn By: _____ Approved By: _____
 Designer: _____ Checker: _____
 Project No.: 25-0082 Date: 3/19/26
 Sheet No.:

R:\Jobs\4451-01-26 MEADOWVIEW DENTAL DRAWINGS\4451-01-26 Fig.dwg 4/2/2026 11:38:59 AM

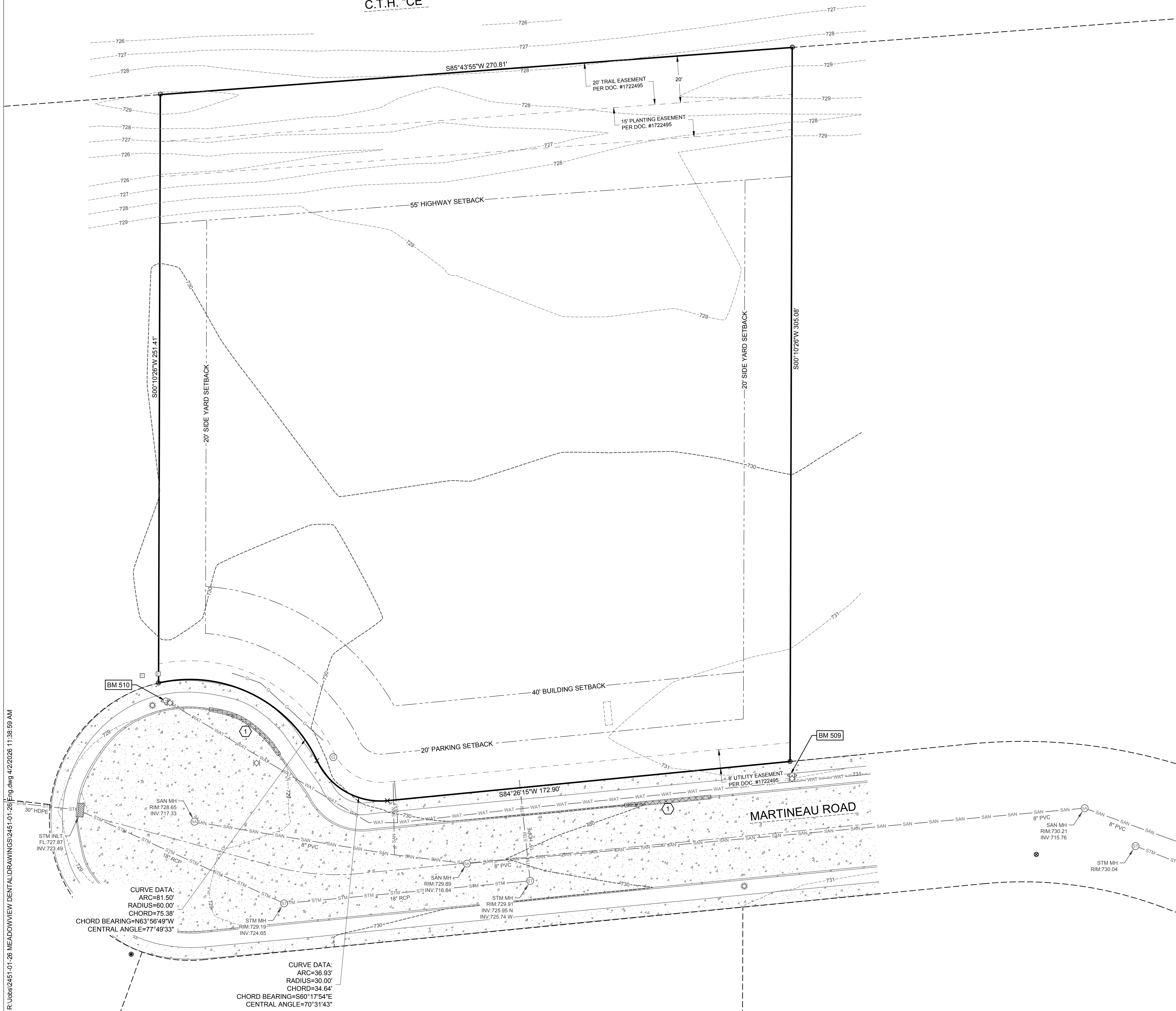
C.T.H. "CE"

Benchmarks		
Label	Elevation	Description
BM 509	732.69	HYDRANT BURY BOLT
BM 510	731.37	HYDRANT BURY BOLT

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SHEET KEY NOTES:

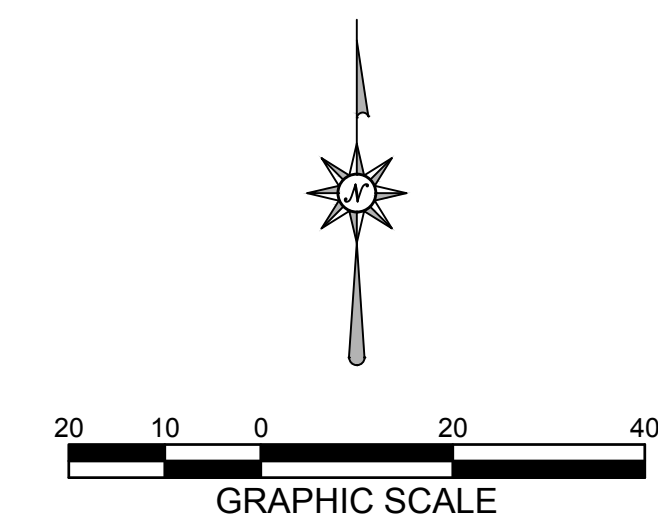
- ① SAW CUT AND REMOVE CURB HEAD



PROPOSED NEW BUILDING FOR:
 MEADOW VIEW DENTAL
 LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI
**EXISTING CONDITIONS /
 SITE DEMOLITION PLAN**

No.	Date	Description

Page Information



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 Project Number: 2451-01-26

Drawn By: RPH
 Approved By: [Signature]
 Project No: 25-0082
 Date: 3/25/26
 Sheet No.

C2

C.T.H. "CE"

Benchmarks		
Label	Elevation	Description
BM 509	732.69	HYDRANT BURY BOLT
BM 510	731.37	HYDRANT BURY BOLT

SHEET KEY NOTES:

- 1 CONNECT TO EXISTING STORM SEWER; FIELD VERIFY STORM INVERT
- 2 APRON END WALL
- 3 CONNECT TO EXISTING SANITARY SEWER LATERAL; FIELD VERIFY INVERT
- 4 ROOF DRAIN CONNECTION LINE. VERIFY DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS; REFER TO DETAIL J SHEET C7
- 5 STORM CLEANOUT; SEE DETAIL K SHEET C7, CLEANOUTS TO BE LOCATED NO MORE THAN 100 FEET APART
- 6 SANITARY CLEANOUT; SEE DETAIL K SHEET C7, CLEANOUTS TO BE LOCATED NO MORE THAN 100 FEET APART
- 7 CONNECT TO EXISTING WATER LATERAL

UTILITY NOTES:

1. SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
2. WATER SERVICE SHALL BE COPPER, C900 PVC OR HDPE. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
3. ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
4. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
5. WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
6. STORM SEWER SHALL BE PVC SDR 35 (ASTMD-3034) OR SCH 40.
7. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
8. CONNECTIONS TO MUNICIPALITY SYSTEMS SHALL BE IN ACCORDANCE WITH THEIR STANDARD SPECIFICATIONS.

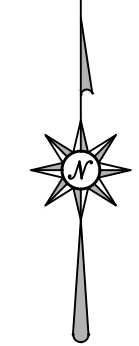
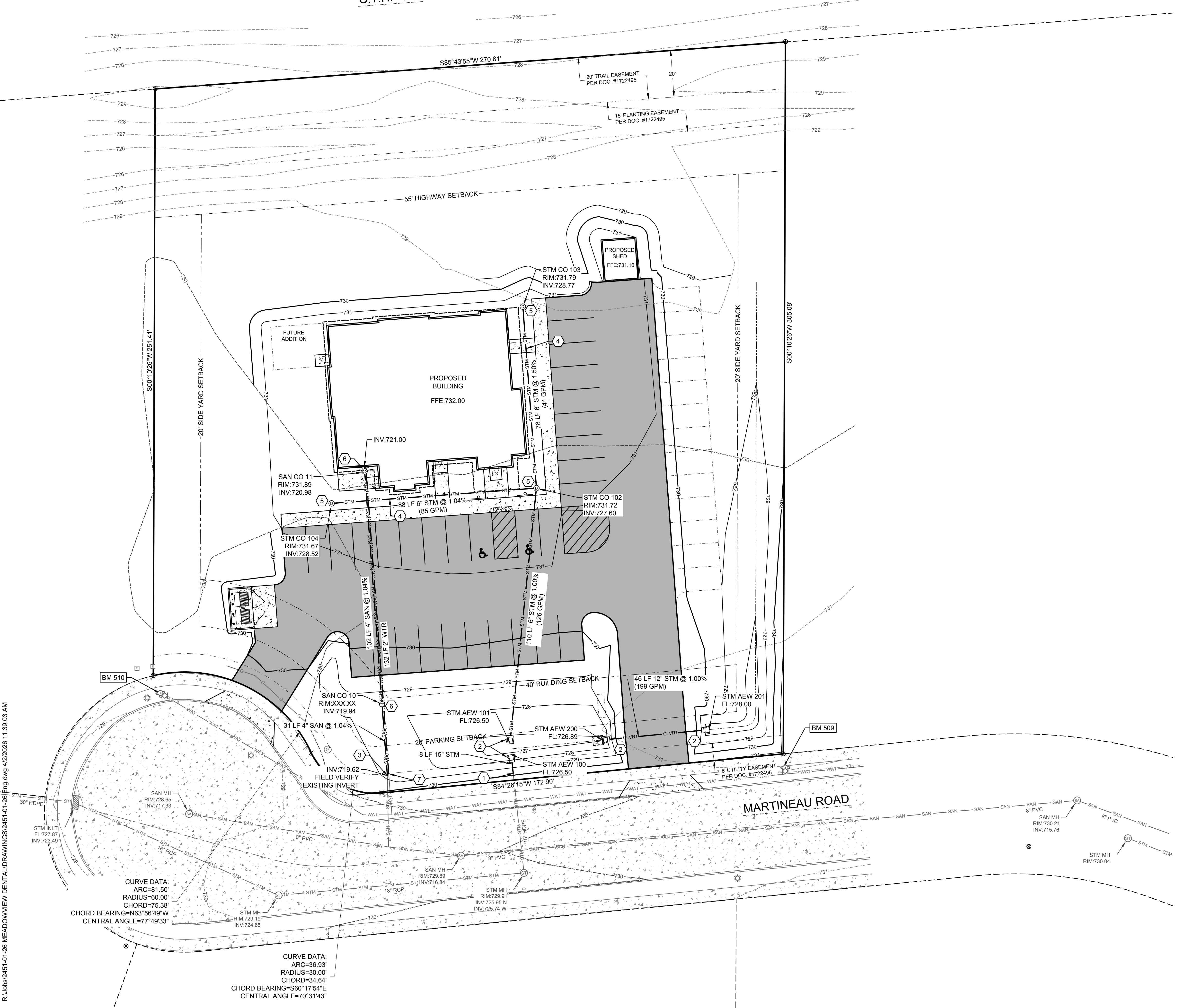
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PROPOSED NEW BUILDING FOR:
MEADOW VIEW DENTAL
 LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI
UTILITY PLAN

No.	Date	Description

Page Information

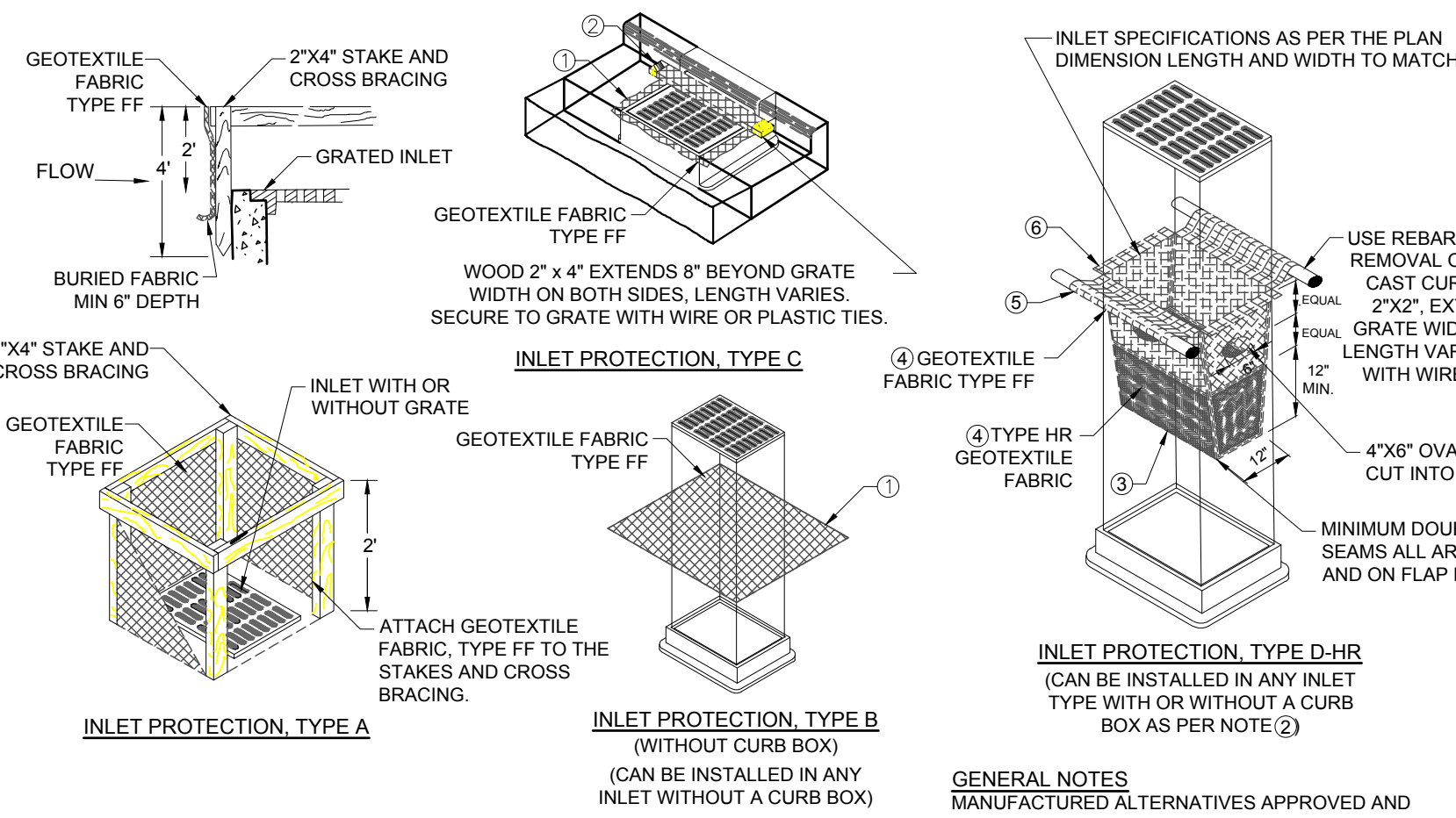
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 Project Number: 2451-01-26

Drawn By RPH Approved By
 Project No. 25-0082 Date 3/25/26
 Sheet No.

C4

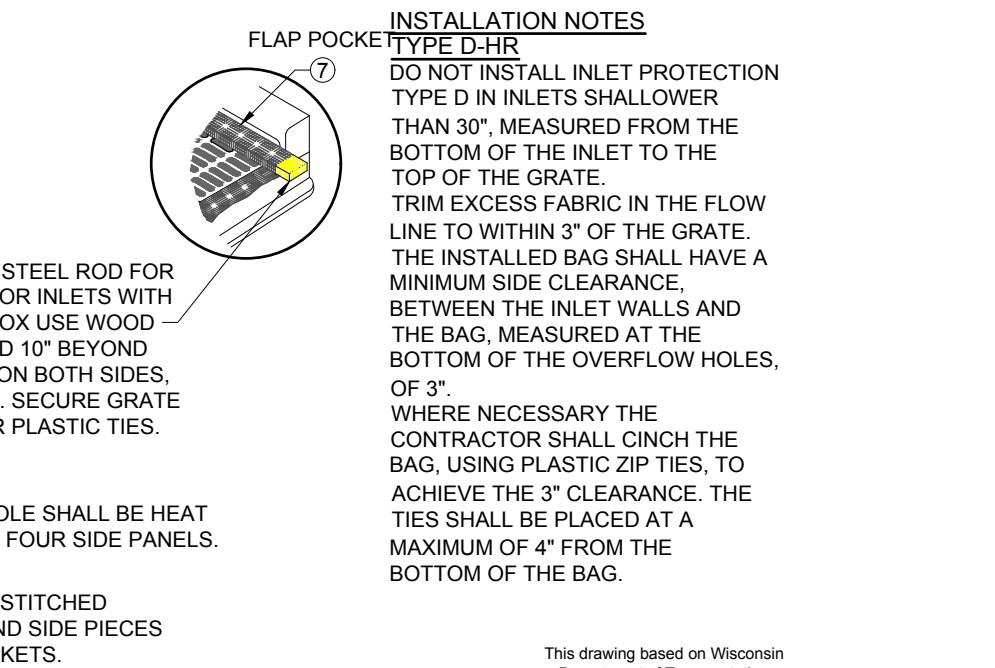


INSTALLATION NOTES TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

INLET PROTECTION TYPES:

- ALL INLETS IN PUBLIC RIGHTS OF WAY SHALL RECEIVE INLET PROTECTION TYPE D-HR AS DETAILED ON SHEET C5.1.
- INLETS ON PRIVATE PROPERTY SHALL RECEIVE INLET PROTECTION TYPE B OR C (DEPENDANT ON CASTING TYPE), FOR INLETS IN PAVED AREAS, AND INLET PROTECTION TYPE A IN UN-PAVED AREAS.

A
INLET PROTECTION



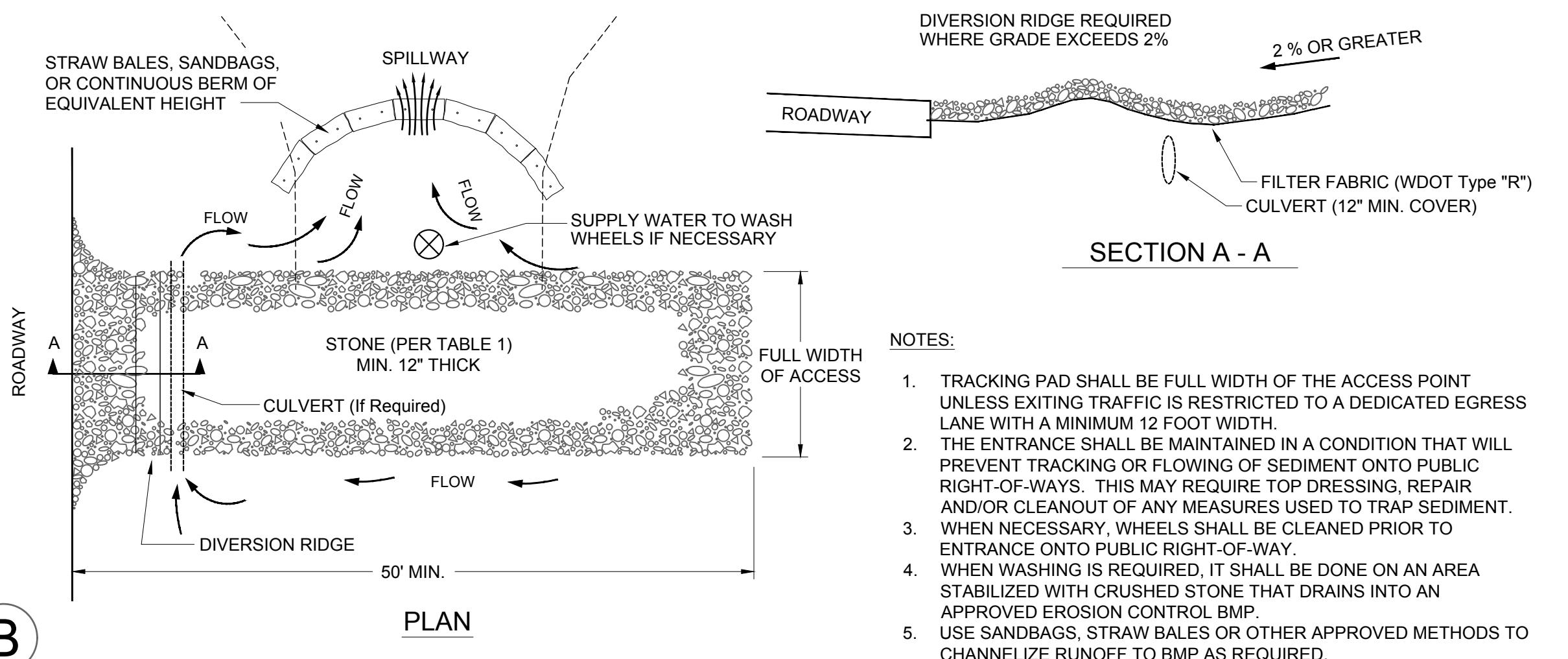
INSTALLATION NOTES TYPE D-HR
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

- KEYNOTES:**
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN BAG AND THE STRUCTURE, MEASURED FROM BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
 - GEOTEXTILE FABRIC, TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC, TYPE HR FOR BOTTOM HALF OF FILTER BAG WITH FRONT, BACK, AND BOTTOM BEING ONE PIECE.
 - FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FABRIC BAG.
 - SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 2". THE REBAR, STEEL PIPE OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

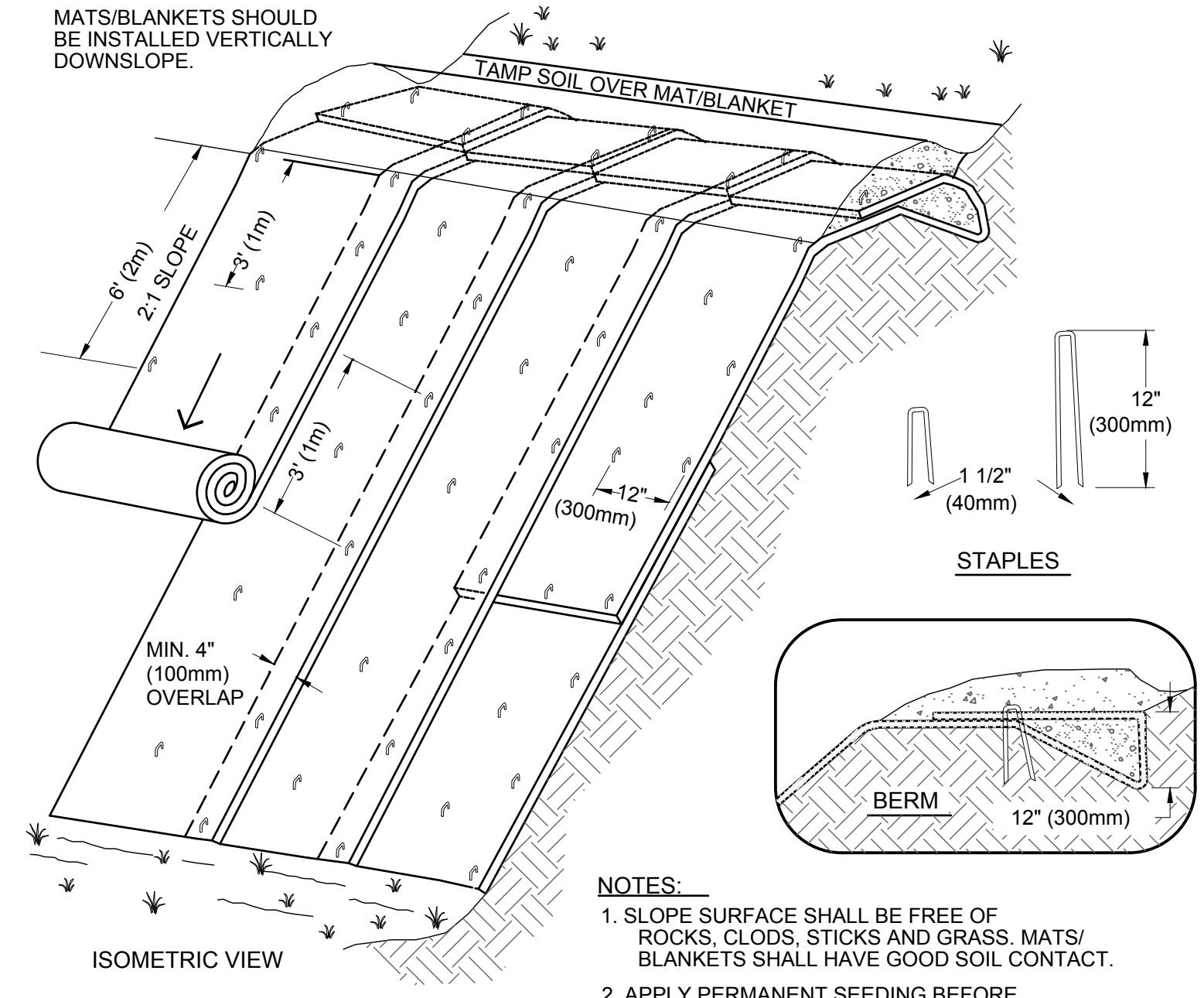
GENERAL NOTES
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

TABLE 1: GRADATION FOR STONE TRACKING PADS

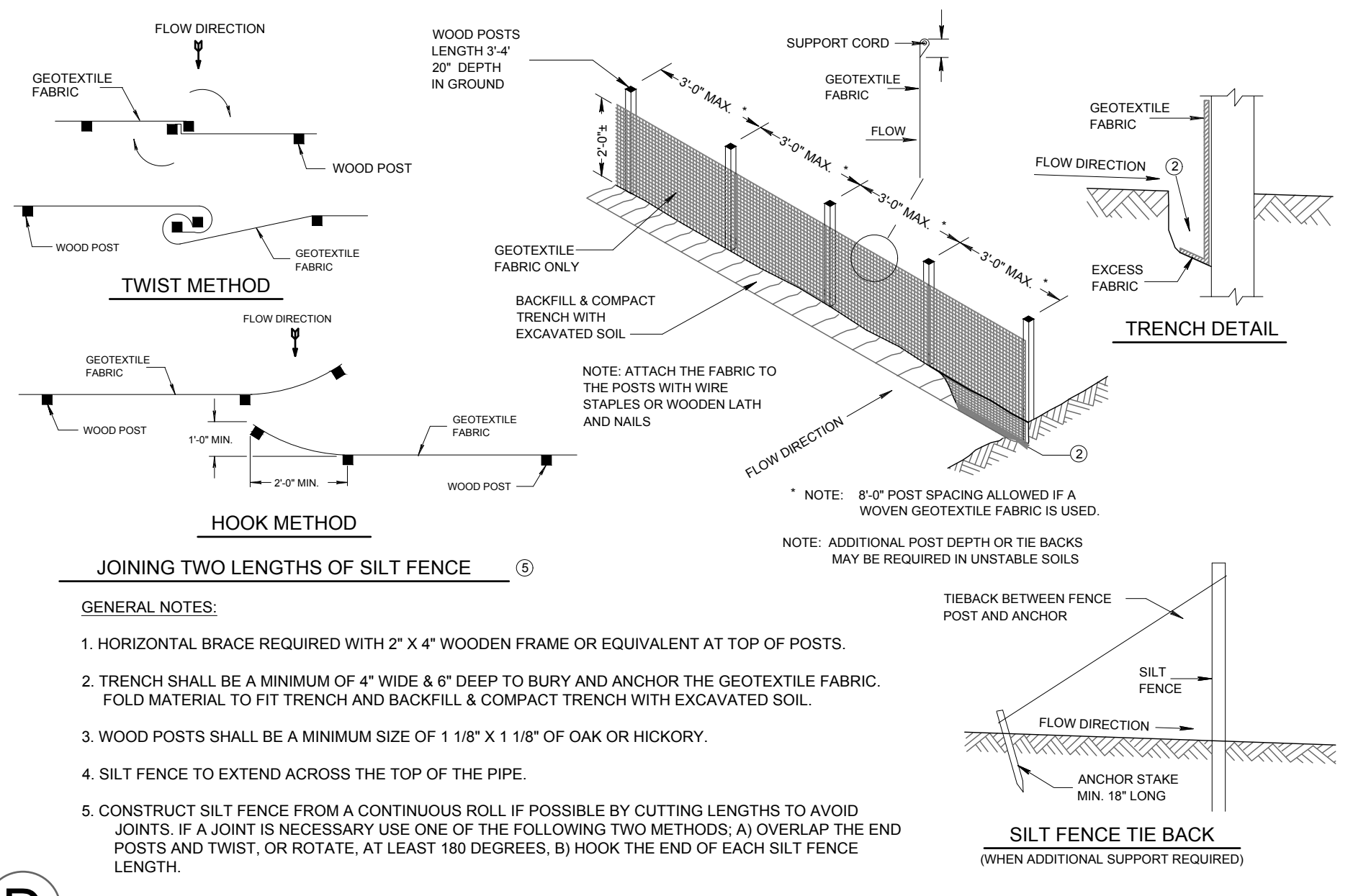
SIEVE SIZE	% PASSING BY WEIGHT
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5



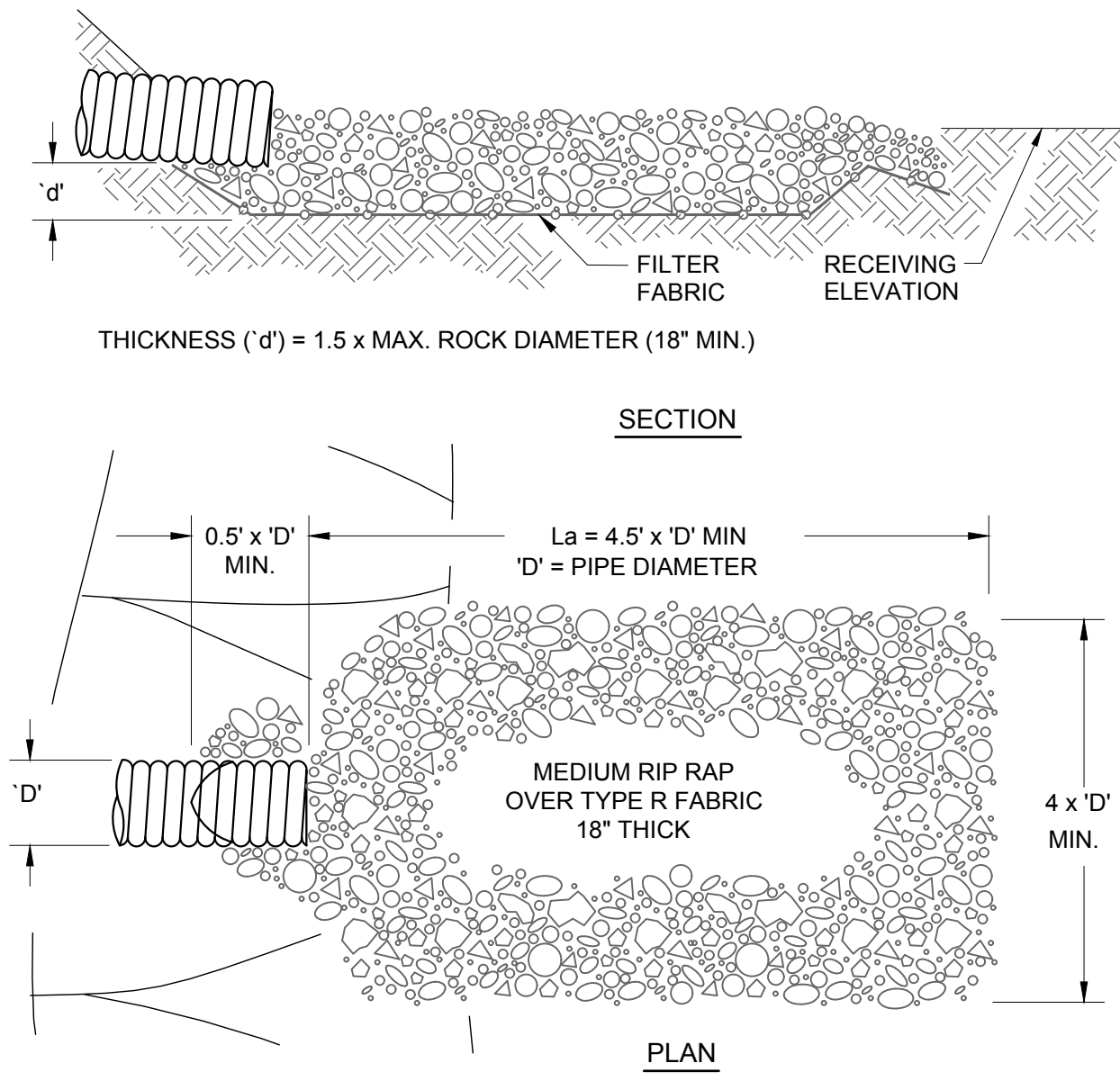
B
STONE TRACKING PAD



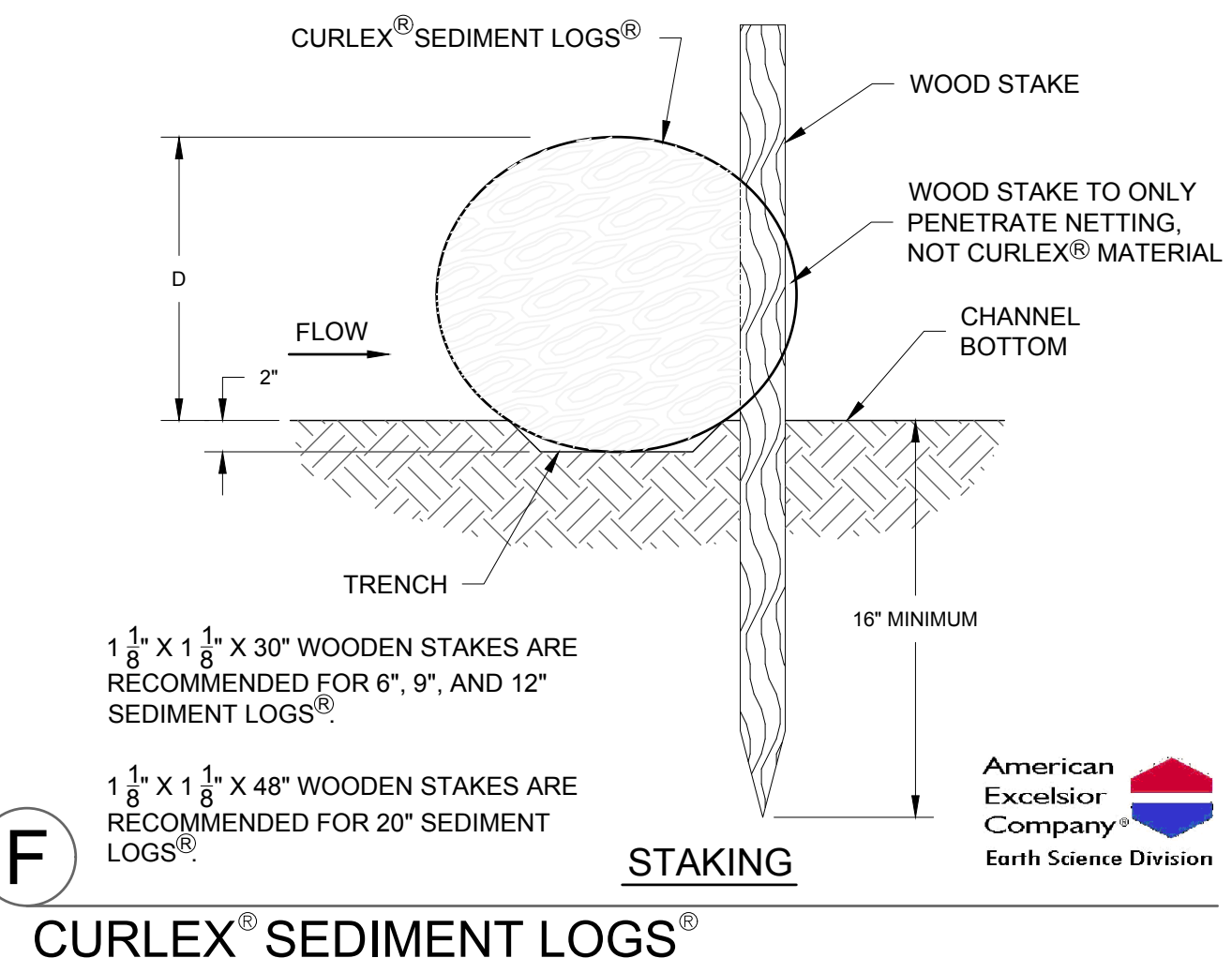
C
EROSION CONTROL MAT FOR SLOPE INSTALLATION



D
SILT FENCE



E
ENERGY DISSIPATOR



F
CURLEX® SEDIMENT LOGS®

No.	Date	Description

Page Information

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03/24/2024 10:27 AM



The light foot-candle values shown on this plan are based on the lighting design provided by the user. These values are not a guarantee of performance and are provided for informational purposes only. The user is responsible for ensuring that the lighting design meets all applicable regulatory requirements. The user is also responsible for ensuring that the lighting design is compliant with all applicable regulatory requirements. The user is also responsible for ensuring that the lighting design is compliant with all applicable regulatory requirements. The user is also responsible for ensuring that the lighting design is compliant with all applicable regulatory requirements.

Scale: as noted
 Date: 4/6/2026
 Filename: Viking Meadowview Dental Area Lights.AGI
 Drawn By: Andrew Kuehn

Job Name:
 Meadowview Dental Area Lights
 Lighting Layout
 Version A

Prepared For:
 Viking
 Adam Breunig





Filename: C:\Users\Inside Sales\Documents\Andrew\AGI\2026\April\Viking Meadowview Dental Area Lights.AGI

Calculation Summary

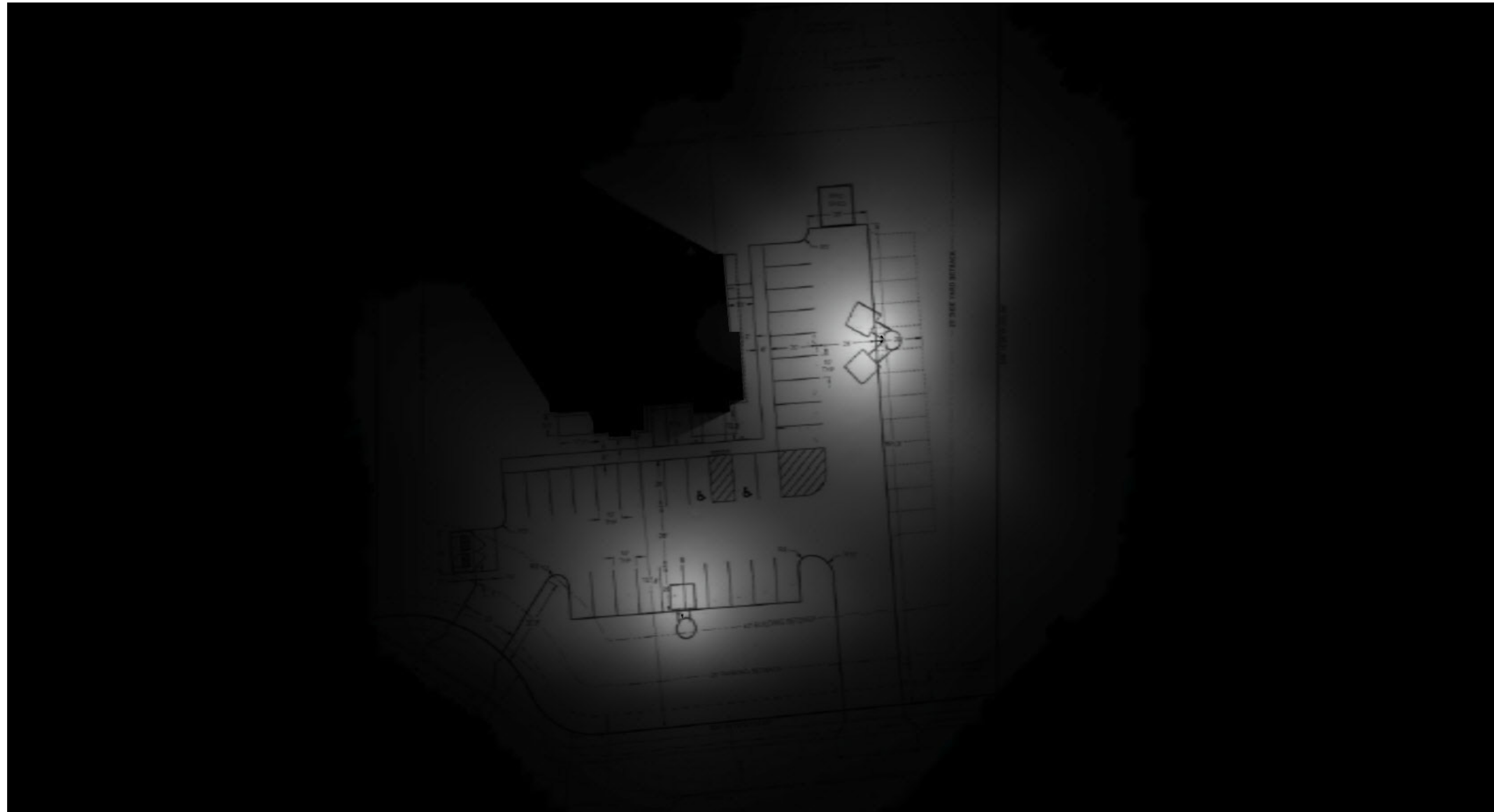
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb
CalcPts_1	Illuminance	Fc	0.60	11.8	0.0	N.A.	N.A.	Readings taken at ground	10	10

Luminaire Schedule

Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts
	1	A2	A22-4T100 x 2	2 @ 90 degrees	14368	28736	1.000	100w, 4000K, Type IV, 2	95.9	191.8
	1	A1	A22-4T100	Single	14368	14368	1.000	100w, 4000K, Type IV	95.9	95.9

Expanded Luminaire Location Summary

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A2	406.676	285.972	23	222.609	0
1	A2	406.691	286.325	23	132.609	0
2	A1	322.975	170.144	23	91.877	0
Total Quantity: 3						



The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of the designer.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal Patents issued or pending apply.

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 Meadowview Dental Area Lights
 Lighting Layout
 Version A

Prepared For:
 Viking
 Adam Breuning

Filename: C:\Users\inside\Sales\Documents\Andrew\AGI\2026\April\Viking Meadowview Dental Area Lights.AGI



Village of Combined Locks - Parks Video/Photo Project

Don Fries Recreation Area
405 Wallace Street

Suggested photos and video scenes

Ice Rink

- Overhead Drone Image:** Overall of rink and surrounding terrain/parking
- Wide-Angle Shots:** Capture the rink as a whole, showing nearby area
- Close-ups:** Details of ice texture or skates (staged) on the ice
- Equipment:** Include elements like benches or signage

Sledding Hill

- Overhead Drone Image:** Upper and lower areas of hill and parking
- Overhead Drone Video:** Traverse from upper to lower end of hill - simulate sledding action to the extent possible
- Wide-Angle Shots:** Upper and lower areas of hill from top, sides and bottom

Memorial Park Trail

- Wide-Angle Shots:** Pedestrian bridge crossing over creek, flowing water in creek
- Overhead Drone Image:** Travel along creek where possible
- Close-ups:** Flowing water with ice formation along creek

Equipment: Include elements like snowshoes/cross-country ski's staged along the trail