

## NOTICE OF VILLAGE BOARD MEETING

DATE: Tuesday, May 5, 2026

TIME: 6:30pm

LOCATION: Combined Locks Civic Center,  
Council Chambers, 405 Wallace Street

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### AGENDA

#### **ADMINISTRATIVE COMMITTEE – 6:00PM (Neumeier, Krueger, Talbot)**

1. Review and consider approval of monthly bills
2. Adjourn

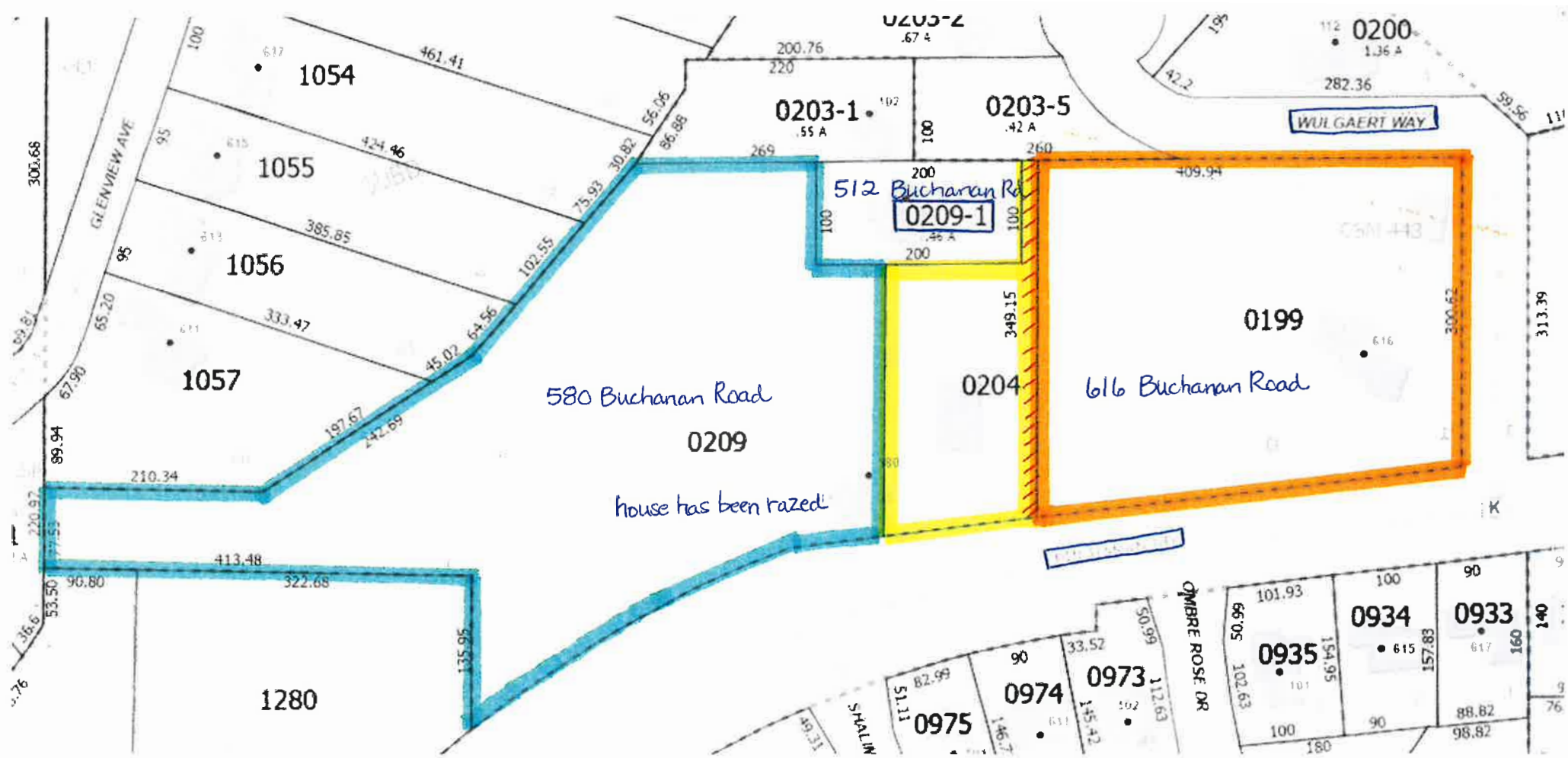
#### **VILLAGE BOARD – 6:30pm**

- A. Call to order
- B. Pledge of Allegiance
- C. Roll call
1. Public comment for matters not on the agenda
2. Review and consider approval of minutes and bills
3. Review and consider Plan Commission's recommendation for Certified Survey Map; DeValk and Thiel properties on Buchanan Road; approve if appropriate
4. Review and consider Plan Commission's recommendation for Certified Survey Map; Rosenbeck property on Shalimar Court; approve if appropriate
5. Review and consider Plan Commission's recommendation for Meadow View Dental plans on lot 4 in The Locks Business Park; approve if appropriate
6. Administrator, Public Works Director and Law Enforcement reports – accept and file
7. Review and consider approval of Resolution 2026-5; National Police Week
8. Review and consider approval of Resolution 2026-6; National Public Works Week
9. Other business, updates and future agenda items
  - a) Keller representative will attend 05/19/26 meeting to discuss 2027 remodel project
10. Consider motion to move into closed session per Wis. Stat. 19.85(1)(c) for the purpose of considering employment, promotion, compensation, or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility. *General employee discussion – vacancy, performance and wages; including seasonal wages*
11. Consider motion to return to open session; action if appropriate
12. Adjourn

**Public Notice:** Agendas are posted in the following locations: Combined Locks Civic Center main entrance and Village website: [www.combinedlocks.wi.gov](http://www.combinedlocks.wi.gov). 2015 Wisconsin Act 79 allows the publication of certain legal notices on an internet site maintained by a municipality. This law allows these types of legal notices to be posted in one physical location in the jurisdiction (instead of three) if also placed on an internet site maintained by the local government.

**Special Accommodations:** Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made with as much advance notice as possible to the Clerk's Office at 405 Wallace Street, 920-788-7740 extension 203 or email at [gieser@combinedlocks.wi.gov](mailto:gieser@combinedlocks.wi.gov).

**Notice of Possible Quorum:** A quorum of the Board of Review, Zoning Board of Appeals, Plan Commission, or other Village committee may be present at this meeting for the purpose of gathering information and possible discussion on items listed on this agenda. However, unless otherwise noted in this agenda, no official action by the Board of Review, Zoning Board of Appeals, Plan Commission, or other Village committee will be taken at this meeting.



Village Board Item #3

**Item #2** PC

CURRENT CONDITION: The DeValk and Thiel families own the three parcels colored blue, yellow, and orange. DeValk owns the blue and yellow lots. Thiel owns the orange lot that includes an easement (red hash lines) for parcel 230020901.

CSM REQUEST: They wish to create two parcels out of the original three as shown on the proposed CSM. Lot 1 of the CSM combines the original blue and yellow lots and includes the easement (hashed red lines). Lot 2 is the acreage that is remaining.

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

BEING PART OF LOT E OF GOVERNMENT LOT 4, PART OF LOT D OF GOVERNMENT LOT 5, PART OF LOT D OF GOVERNMENT LOT 6, PART OF LOT C OF GOVERNMENT LOT 7, ALL ACCORDING TO THE RECORDED ASSESSOR'S PLAT OF THE VILLAGE OF COMBINED LOCKS AND ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 443 AS RECORDED IN DOCUMENT NO. 907319, ALL LOCATED IN GOVERNMENT LOTS 4-7 OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN.

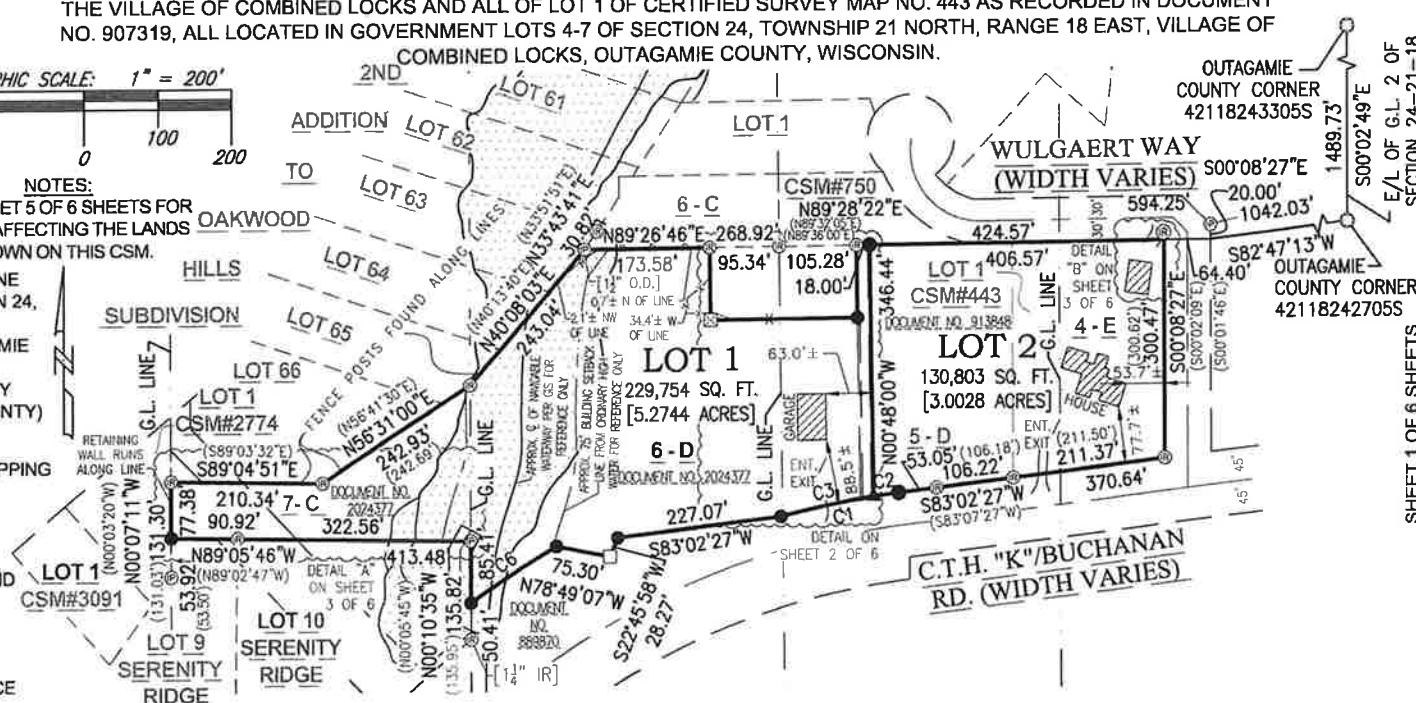


**NOTES:**  
SEE SHEET 5 OF 6 SHEETS FOR NOTES AFFECTING THE LANDS SHOWN ON THIS CSM.

NORTH IS REFERENCED TO THE EAST LINE OF THE GOVERNMENT LOT 2 OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN, WHICH BEARS S00°02'49"E PER THE WISCONSIN COUNTY COORDINATE SYSTEM (OUTAGAMIE COUNTY)

**LEGEND:**

- = APPROX. FLOODPLAIN PER FEMA MAPPING
- = 1 1/4" X 18" O.D. ROUND IRON PIPE SET, WEIGHING 1.68 LBS. PER LIN. FT.
- ⊙ = 1 1/2" O.D. ROUND IRON PIPE FOUND [UNLESS OTHERWISE NOTED]
- ⊗ = 3/4" SOLID ROUND IRON REBAR FOUND [UNLESS OTHERWISE NOTED]
- ▲ = RAILROAD SPIKE SET
- = RIGHT-OF-WAY POST FOUND
- = MAG AND DISK FOUND
- ( ) = RECORDED AS BEARING OR DISTANCE
- x- = WIRE FENCE FOUND
- r- = FENCE REMAINS FOUND
- ⊠ = CUT CROSS IN CONCRETE SET



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CENTRAL ANGLE	CHORD BEARING	CHORD LENGTH	TANGENT BEARING
C1	1119.30	164.05	8°23'51"	S78°50'31"W	163.90	S83°02'27"W S74°38'36"W
C2	1119.30	34.88	1°47'07"	S82°08'53"W	34.87	S83°02'27"W S81°15'20"W
C3	1119.30	129.17	6°36'44"	S77°56'58"W	129.10	S81°15'20"W S74°38'36"W
C6	1204.30	139.65	6°38'38"	S56°25'54"W	139.57	S59°45'13"W S53°06'35"W

**OWNER(S) OF RECORD:**  
TRAVIS J. & MAGAN A. DEVALK  
RICHARD D. & PATRICIA M. THIEL

**PARCEL NO.(S):**  
230020900 230020400 230019900

**DOCUMENT NO.(S):**  
2024377 2063027 913848

CHRISTOPHER E. PERREAULT, PLS-2249 DATED  
CAROW LAND SURVEYING & ENVIRONMENTAL  
615 N. LYNNDAL DR., APPLETON, WI 54914  
N5841 STATE HIGHWAY 47-55, SHAWANO, WI 54166  
PHONE: (920)731-4168  
A2512.11 DATED:4/15/2026 DRAFTED BY:cwm/fnz-NJO

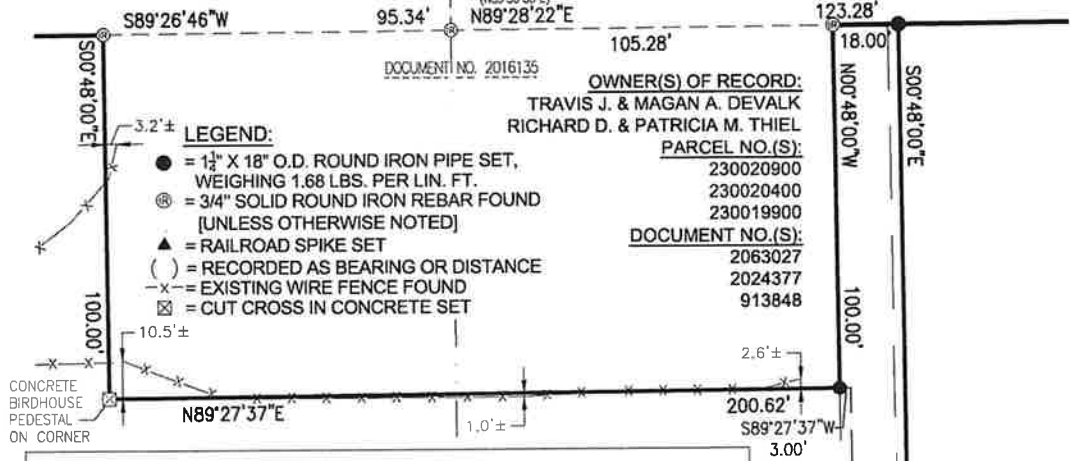
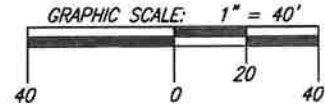
SECTION 24-21-18  
E/L OF G.L. 2 OF  
SHEET 1 OF 6 SHEETS

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

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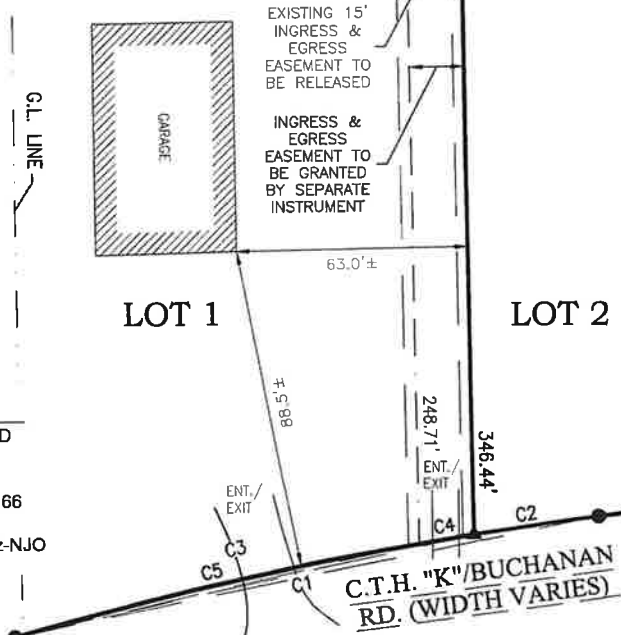
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**NOTES:**  
SEE SHEET 5 OF 6 SHEETS FOR NOTES AFFECTING THE LANDS SHOWN ON THIS CSM.



- LEGEND:**
- = 1 1/2" X 18" O.D. ROUND IRON PIPE SET, WEIGHING 1.68 LBS. PER LIN. FT.
  - ⊗ = 3/4" SOLID ROUND IRON REBAR FOUND [UNLESS OTHERWISE NOTED]
  - ▲ = RAILROAD SPIKE SET
  - ( ) = RECORDED AS BEARING OR DISTANCE
  - x- = EXISTING WIRE FENCE FOUND
  - ⊠ = CUT CROSS IN CONCRETE SET

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C2	1119.30	34.88	1°47'07"	S82°08'53"W	34.87	S83°02'27"W S81°15'20"W
C3	1119.30	129.17	6°36'44"	S77°56'58"W	129.10	S81°15'20"W S74°38'36"W
C4	1119.30	15.16	0°46'34"	S80°52'03"W	15.16	S81°15'20"W S80°28'46"W
C5	1119.30	114.01	5°50'10"	S77°33'41"W	113.96	S80°28'46"W S74°38'36"W

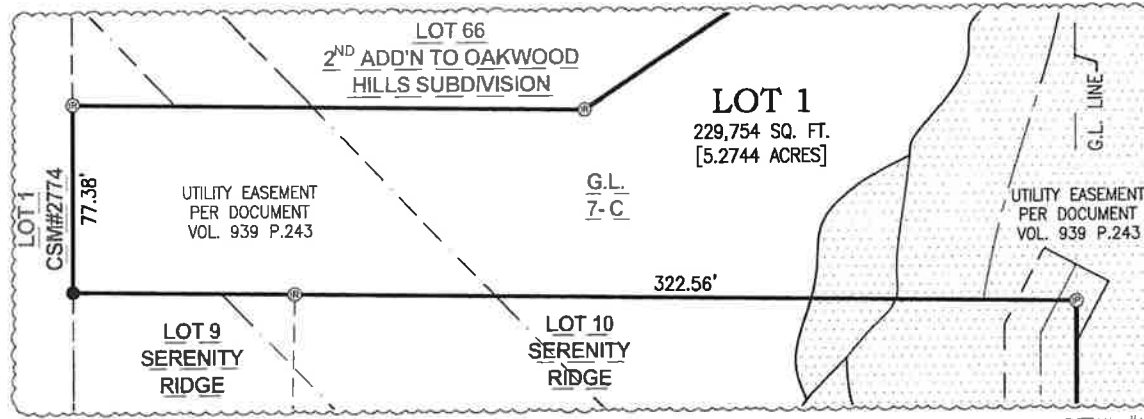


CHRISTOPHER E. PERREAULT, PLS-2249 DATED CAROW LAND SURVEYING & ENVIRONMENTAL 615 N. LYNNDAL DR., APPLETON, WI 54914 N5841 STATE HIGHWAY 47-55, SHAWANO, WI 54166 PHONE: (920)731-4168 A2512.11 DATED:4/15/2026 DRAFTED BY:cwml/fnz-NJO

**C.T.H. "K"/BUCHANAN RD. (WIDTH VARIES)**

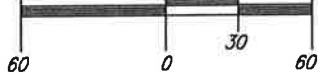
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DETAIL "A"

GRAPHIC SCALE: 1" = 60'



- LEGEND:**
- = APPROX. FLOODPLAIN PER FEMA MAPPING
  - = 1 1/2" X 18" O.D. ROUND IRON PIPE SET, WEIGHING 1.68 LBS. PER LIN. FT.
  - = 1 1/2" O.D. ROUND IRON PIPE FOUND [UNLESS OTHERWISE NOTED]
  - = 3/4" SOLID ROUND IRON REBAR FOUND [UNLESS OTHERWISE NOTED]
  - = RECORDED AS BEARING OR DISTANCE

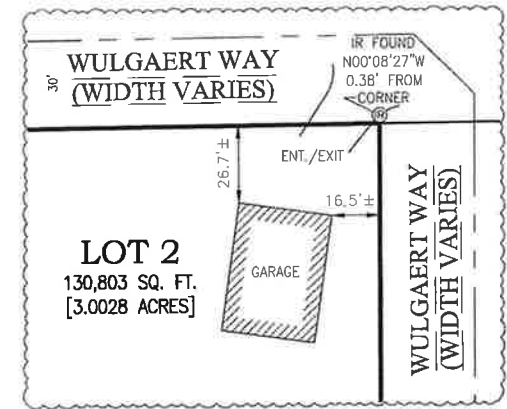
**NOTES:**  
SEE SHEET 6 OF 6 SHEETS FOR NOTES AFFECTING THE LANDS SHOWN ON THIS CSM.

**OWNER(S) OF RECORD:**  
TRAVIS J. & MAGAN A. DEVALK  
RICHARD D. & PATRICIA M. THIEL

**PARCEL NO.(S):**  
230020900 230020400 230019900

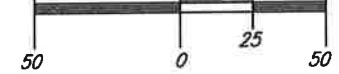
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DETAIL "B"

GRAPHIC SCALE: 1" = 50'



CHRISTOPHER E. PERREAULT, PLS-2249 DATED  
CAROW LAND SURVEYING & ENVIRONMENTAL  
615 N. LYNNDAL DR., APPLETON, WI 54914  
N5841 STATE HIGHWAY 47-55, SHAWANO, WI 54166  
PHONE: (920)731-4168  
A2512.11 DATED:4/15/2026 DRAFTED BY:cwm/fnz-NJO

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

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**SURVEYOR'S CERTIFICATE:**

I, CHRISTOPHER E. PERREULT, PROFESSIONAL WISCONSIN LAND SURVEYOR, CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED PART OF LOT E OF GOVERNMENT LOT 4, PART OF LOT D OF GOVERNMENT LOT 5, PART OF LOT D OF GOVERNMENT LOT 6, PART OF LOT C OF GOVERNMENT LOT 7, ALL ACCORDING TO THE RECORDED ASSESSOR'S PLAT OF THE VILLAGE OF COMBINED LOCKS AND ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 443 AS RECORDED IN DOCUMENT NO. 907319, ALL LOCATED IN GOVERNMENT LOTS 4-7 OF SECTION 24, TOWNSHIP 21 NORTH RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT OUTAGAMIE CORNER NO. 42118242705S ON THE EAST LINE OF GOVERNMENT LOT 2 OF SAID SECTION 24; THENCE S82°47'13"W, 1042.03 FEET TO THE EAST LINE OF WULGAERT WAY; THENCE S89°28'22"W, 64.40 FEET TO THE WEST LINE OF WULGAERT WAY AND THE POINT OF BEGINNING; THENCE S00°08'27"E, 300.47 FEET ALONG SAID WEST LINE TO THE NORTH LINE OF C.T.H. "K" (BUCHANAN ROAD); THENCE S83°02'27"W, 370.64 FEET ALONG SAID NORTH LINE; THENCE SOUTHWESTERLY, 164.05 FEET ALONG AN ARC OF AN 1119.30 FOOT RADIUS CURVE OF SAID NORTH LINE TO THE LEFT, HAVING A CHORD WHICH BEARS S78°50'31"W AND IS 163.90 FEET IN LENGTH; THENCE S83°02'27"W, 227.07 FEET ALONG SAID NORTH LINE; THENCE S22°45'58"W, 28.27 FEET ALONG SAID NORTH LINE; THENCE N78°49'07"W, 75.30 FEET ALONG SAID NORTH LINE; THENCE SOUTHWESTERLY, 139.65 FEET ALONG THE ARC OF A 1204.30 FOOT RADIUS CURVE OF SAID NORTH LINE TO THE LEFT, HAVING A CHORD WHICH BEARS S56°25'54"W AND IS 139.57 FEET IN LENGTH, TO THE EAST LINE OF LOT 10, SERENITY RIDGE; THENCE N00°10'35"W, 85.41 FEET ALONG SAID EAST LINE TO THE NORTH LINE OF SAID LOT 10; THENCE N89°05'46"W, 413.48 FEET ALONG SAID NORTH LINE TO THE EAST LINE OF CERTIFIED SURVEY MAP NO. 2774; THENCE N00°07'11"W, 77.38 FEET ALONG SAID EAST LINE TO THE SOUTH LINE THE SECOND ADDITION TO OAKWOOD HILLS SUBDIVISION; THENCE S89°04'51"E, 210.34 FEET ALONG SAID SOUTH LINE; THENCE N56°31'00"E, 242.93 FEET ALONG SAID SOUTH LINE; THENCE N40°08'03"E, 243.04 FEET ALONG SAID SOUTH LINE; THENCE N89°26'46"E, 173.58 FEET; THENCE S00°48'00"E, 100.00 FEET; THENCE N89°27'37"E, 200.62 FEET; THENCE N00°48'00"W, 100.00 FEET TO A SOUTH LINE OF CERTIFIED SURVEY MAP NO. 750; THENCE N89°28'22"E, 424.57 FEET ALONG SAID SOUTH LINE AND THE SOUTH LINE OF WULGAERT WAY TO THE POINT OF BEGINNING. SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT I HAVE MADE SUCH SURVEY UNDER THE DIRECTION OF TRAVIS DEVALK, 336 WINDMILL DR., KAUKAUNA, WISCONSIN 54130.

THAT THIS MAP IS A CORRECT REPRESENTATION OF THE EXTERIOR BOUNDARY LINES OF THE LAND SURVEYED AND THE DIVISION OF THAT LAND.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION ORDINANCE OF THE VILLAGE OF COMBINED LOCKS.

CHRISTOPHER E. PERREULT, PLS-2249 DATE  
CAROW LAND SURVEYING & ENVIRONMENTAL  
615 N. LYNNDALE DRIVE, APPLETON, WI, 54914  
N5841 S.T.H. "47-55", SHAWANO, WI 54166  
PHONE: (920)731-4168  
A2512.11 (RFR) DATED: 4-15-2026



**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

BEING PART OF LOT E OF GOVERNMENT LOT 4, PART OF LOT D OF GOVERNMENT LOT 5, PART OF LOT D OF GOVERNMENT LOT 6, PART OF LOT C OF GOVERNMENT LOT 7, ALL ACCORDING TO THE RECORDED ASSESSOR'S PLAT OF THE VILLAGE OF COMBINED LOCKS AND ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 443 AS RECORDED IN DOCUMENT NO. 907319, ALL LOCATED IN GOVERNMENT LOTS 4-7 OF SECTION 24, TOWNSHIP 21 NORTH RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN.

**OWNER'S CERTIFICATE:**

AS OWNER (S), I (WE) CERTIFY THAT I (WE) CAUSED THE LANDS DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON. I (WE) FURTHER CERTIFY THAT THIS MAP IS REQUIRED BY S.236.10 OR S.236.12 OF THE WISCONSIN STATUTES TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL: VILLAGE OF COMBINED LOCKS.

WITNESS THE HAND AND SEAL OF SAID OWNER (S) THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
RICHARD D. THIEL

\_\_\_\_\_  
PATRICIA M. THIEL

**STATE OF WISCONSIN)**

)SS

**OUTAGAMIE COUNTY)**

PERSONALLY CAME BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, THE ABOVE NAMED PERSON (S) TO ME KNOWN TO BE THE PERSON (S) WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

\_\_\_\_\_  
NOTARY PUBLIC  
MY COMMISSION EXPIRES \_\_\_\_\_

**ADDITIONAL NOTES:**

- THIS MAP DOES NOT TRANSFER PROPERTY OWNERSHIP OF THE LOTS HEREON. SALE OR TRANSFER OF THE LOTS REQUIRES A DEED.
- FIELD SURVEY DATE: 2/9/2026
- PRIOR TO ANY CONSTRUCTION OR OTHER LAND USE ACTIVITY, ALL BUILDING SETBACKS AND OTHER LAND USE REQUIREMENTS SHOULD BE VERIFIED WITH THE VILLAGE OF COMBINED LOCKS.
- THE ORDINARY HIGH WATER MARK SETBACK IS NOT BASED ON AN OFFICIAL DETERMINATION AND PRIOR TO ANY BUILDING, AN OFFICIAL DETERMINATION OF THE ORDINARY HIGH WATER MUST BE MADE BY THE VILLAGE OF COMBINED LOCKS OR OTHER AUTHORIZED PERSON.
- PRIOR TO ANY CONSTRUCTION CONTACT WISCONSIN DEPARTMENT OF NATURAL RESOURCES TO DETERMINE NAVIGABILITY OF WATERWAY AND LOCATION OF ORDINARY HIGH WATER.
- DESCRIPTION OF LAND IN DOCUMENT NO. 889870 DOES NOT CLOSE AND CONTAINS PATENT AMBIGUITIES. BEST AVAILABLE PAROL AND FIELD EVIDENCE WAS USED TO REESTABLISH LOCATION OF RIGHT OF WAY LINE. OUTAGAMIE COUNTY AND COMBINED LOCKS HIGHWAY DEPARTMENTS WERE UNABLE TO PROCURE ADDITIONAL INFORMATION.
- LANDS DESCRIBED IN DOCUMENT NO. 889870 DEFINING THE RIGHT-OF-WAY FOR C.T.H. "K" DOES NOT CLOSE AND CONTAINS PATENT AMBIGUITY.

\_\_\_\_\_  
CHRISTOPHER E. PERREAULT, PLS-2249 DATE  
CAROW LAND SURVEYING & ENVIRONMENTAL  
615 N. LYNNDAL DRIVE, APPLETON, WI, 54914  
N5841 S.T.H. "47-55", SHAWANO, WI 54166  
PHONE: (920)731-4168  
A2512.11 (RFR) DATED: 4-15-2026

## Village Board Item #4

### **Item #3 PC**

CURRENT CONDITION: The Rosenbeck family owns parcel #230095900. It is .60 acre (est) and is the result of combining lots 26 and 27 of the Ravina Meadows Subdivision in 2007.

CSM REQUEST: They wish to divide the .60 acre parcel back into two separate parcels as shown on the proposed CSM. Lot 1 of the CSM includes a house and would be .303 acre. Lot 2 is undeveloped and would be .294 acre or 12,807 square feet. This is enough area to build a house, but there are two frontages requiring 25' setbacks. The future builder may need to be creative with the house layout. For comparison, the property at 109 Shalimar Court is .29 acre. Utilities are stubbed to the proposed new lot.

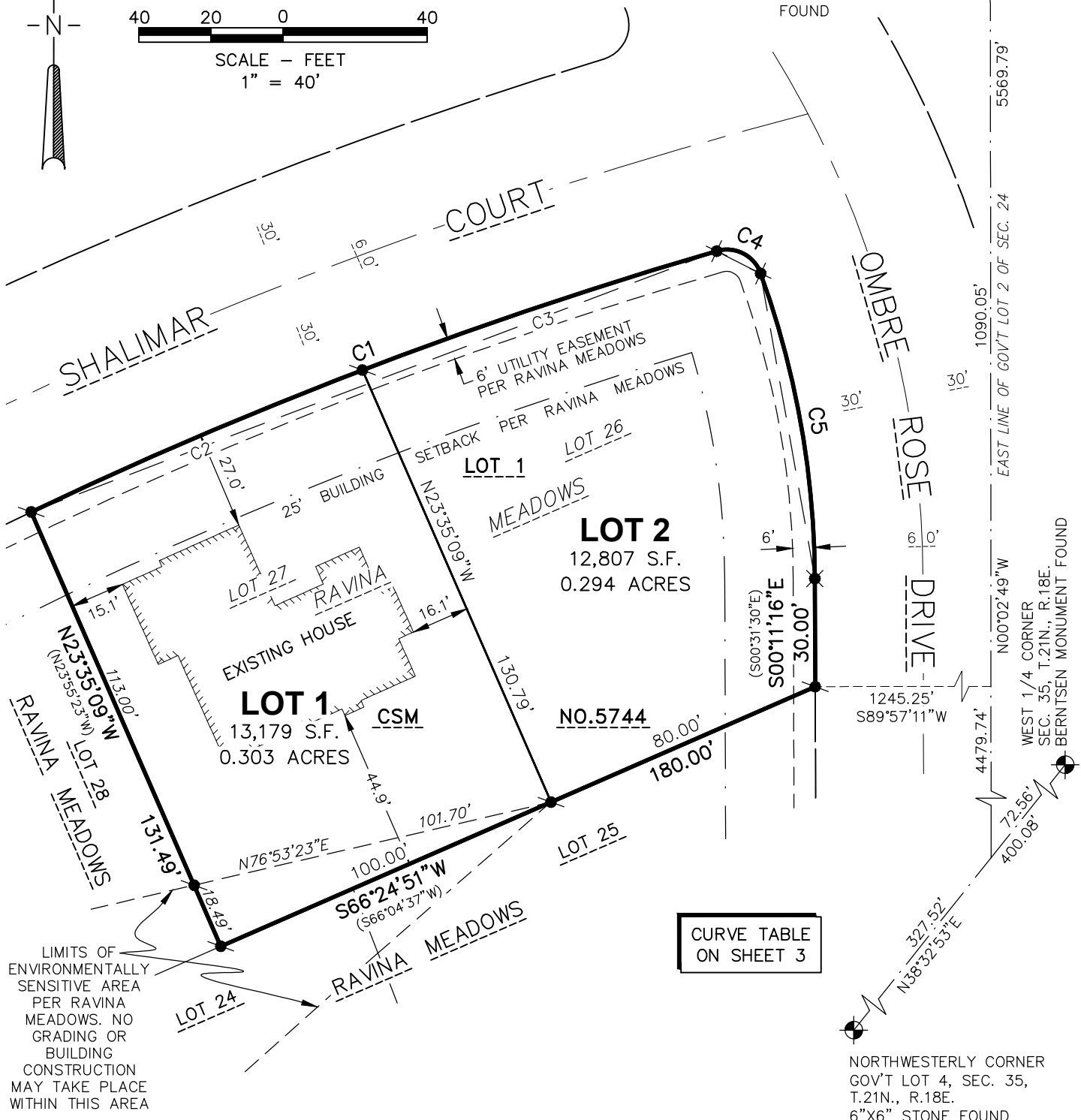
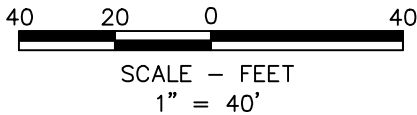
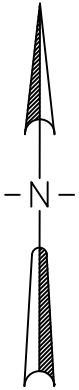
**CERTIFIED SURVEY MAP SHEET 1 OF 3**

ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5744, RECORDED IN VOLUME 33 OF CERTIFIED SURVEY MAPS ON PAGE 5744 AS DOCUMENT NO. 1777822, BEING PART OF GOVERNMENT LOT 5 OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN

BEARINGS ARE REFERENCED TO THE EAST LINE OF GOVERNMENT LOT 2 OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 18 EAST, WHICH BEARS N00°02'49"W PER THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR OUTAGAMIE COUNTY

FOR:  
STEVEN ROSENBECK  
118 SHALIMAR COURT  
COMBINED LOCKS, WI 54113

CORNER NO.  
4 21 18 24 27 05S  
ON THE EAST LINE OF  
GOV'T LOT 2 OF  
SEC. 24, T.21N., R.18E.  
MAG NAIL WITH WASHER  
FOUND



LIMITS OF ENVIRONMENTALLY SENSITIVE AREA PER RAVINA MEADOWS. NO GRADING OR BUILDING CONSTRUCTION MAY TAKE PLACE WITHIN THIS AREA

CURVE TABLE ON SHEET 3

**LEGEND**

- 3/4" STEEL REBAR FOUND
- 1 1/4" STEEL REBAR FOUND
- CERTIFIED LAND CORNER OUTAGAMIE COUNTY
- S.F. - SQUARE FEET
- ( ) - RECORDED BEARING AND/OR DISTANCE
- EXISTING BUILDING

**McMAHON**  
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.  
1445 McMAHON DRIVE NEENAH, WI 54956  
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025  
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM  
DRAFTED BY: AMY M. SEDLAR



**CERTIFIED SURVEY MAP**

SHEET 3 OF 3

ALL OF LOT 1 OF CERTIFIED SURVEY MAP NO. 5744, RECORDED IN VOLUME 33 OF CERTIFIED SURVEY MAPS ON PAGE 5744 AS DOCUMENT NO. 1777822, BEING PART OF GOVERNMENT LOT 5 OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 18 EAST, VILLAGE OF COMBINED LOCKS, OUTAGAMIE COUNTY, WISCONSIN

OWNER'S CERTIFICATE

I, as Owner, hereby certify that I caused the land described on this Certified Survey Map to be surveyed, divided and mapped as represented on this Certified Survey Map. I also certify that this Certified Survey Map is required by S.236.10 or S.236.12 of the Wisconsin Statutes to be submitted to the following for approval or objection: Village of Combined Lock

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Steven K. Rosenbeck

State of Wisconsin)  
                                  )SS  
\_\_\_\_\_ County)

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, the above named person to me known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public

\_\_\_\_\_ County, WI

My Commission Expires: \_\_\_\_\_

CURVE TABLE							
CURVE	RADIUS	DELTA	LENGTH	CHORD DIRECTION	CHORD LENGTH	TANGENT IN	TANGENT OUT
C1	1260.00'	009°15'53"	203.74'	N69°10'25"E (N68°50'12"E)	203.53'	N64°32'28"E	N73°48'22"E
C2	1260.00'	004°32'54"	100.02'	N66°48'56"E (N66°28'55"E)	100.00'		
C3	1260.00'	004°42'59"	103.72'	N71°26'52"E (N71°06'51.5"E)	103.69'		
C4	10.00'	086°11'57"	15.04'	S63°05'38"E (S63°25'40.5"E)	13.67'	N73°48'22"E (N73°28'21"E)	S19°59'37"E (S20°19'42"E)
C5	250.00'	019°48'12"	86.41'	S10°05'26"E (S10°25'36"E)	85.98'	S19°59'37"E (S20°19'42"E)	S00°11'16"E (S00°31'30"E)



April 13, 2026

Village of Combined Locks  
Attn: Racquel Shampo-Giese  
405 Wallace Street  
Combined Locks, WI 54113

Re: Meadowview Dental – 544 Martineau Road  
Stormwater & Site Plan Review #1  
McM. No. C0006-09-26-00330.00

Dear Racquel,

On April 9, 2026, McMahon Associates, Inc. (McMAHON) received a construction plan set for the proposed Meadowview Dental site submitted by Mach IV. As requested, McMAHON performed a review of these documents for conformance with Village standards, requirements, and preferences.

### **PROJECT DESCRIPTION / SITE PLAN**

The proposed project is a new office building for Meadowview Dental located at 544 Martineau Road (Lot 4 of the Locks Business Park). The project site is 79,715 square-feet (1.83 acres) and is generally located at the northwest end of Martineau Road. The project includes a 5,521 square-foot office building and 18,690 square-feet of parking lot & sidewalks, resulting in a total of 24,211 square feet (30%) of imperviousness. The site requires 21 parking stalls and provides 30 total parking stalls, including 2 ADA handicap stalls.

### **SITE DEMOLITION PLAN**

The proposed site demolition plan identifies sawcutting and removing the existing curb & gutter for the proposed driveways/aprons.

- The existing 4" thick sidewalk within the proposed driveway locations should also be identified to be removed. The site plan should show/call out the sidewalk being replaced with 6" thick concrete, similar to the new 6" thick concrete apron.

### **EROSION CONTROL PLAN**

The erosion control plan consists of installing temporary tracking pads, silt fence, inlet protection, ditch checks, dust control, and dewatering throughout construction. Permanent erosion control measures include rip-rap placement and final restoration (seed, mulch and erosion mat). Although no Sediment

Discharge calculations were submitted, the site appears to include standard erosion control measures that are anticipated to satisfy the 5 tons per acre per year sediment discharge requirement.

### **STORMWATER MANAGEMENT PLAN**

Stormwater runoff from the site drains to the Village's Coonen Pond "A" via storm sewer and overland flow. The Coonen Pond "A" is designed to provide total suspended solids (TSS) reduction, total phosphorus (TP) reduction, and peak discharge attenuation for the site. The project site is exempt from infiltration performance standards due to in-situ clay soil textures that are present. There are no wetlands located within the project area, so protective area setbacks do not apply.

### **LANDSCAPING/LIGHTING PLAN**

The submitted Landscaping Plan does include a good mix of trees, shrubs and plantings that seem appropriate for the site. However, there are no plantings proposed within the 15' Planting Easement along CTH "CE".

- Per the Village's Zoning Ordinance, a landscape buffer is required for properties adjacent to CTH "CE" per the requirements of § [580-14](#) and must be approved by the Planning Commission. It's up to Village Staff and/or Planning Commission if you want to require additional plantings within the 15' Planting Easement.

The submitted photometric/lighting plan does include some pole mounted lights within the parking lot.

- Per the submitted photometric plan, there will be minimal (0.1-0.2 footcandles) light dispersion on the adjacent parcel to the east. I searched the Village's ordinances for lighting requirements but could not find any. As such, this comment is for informational purposes and up to the Village if they'd like to see a revision to the photometric/lighting plan so there is zero light dispersion on the adjacent parcel.

In summary, there may be some modifications to the Demolition, Site, Landscaping or Lighting Plans depending on final Village or preferences. As previously mentioned, the proposed site plan indicates the site will contain a total of 24,211 sq ft of imperviousness. Based on an ERU being equivalent to 3,623 sq ft, this equates to **6.76 ERU's** for future Stormwater Utility Rate billings. If you have any questions or would like to discuss any of this information, please let me know.

Respectfully,

McMahon Associates, Inc.



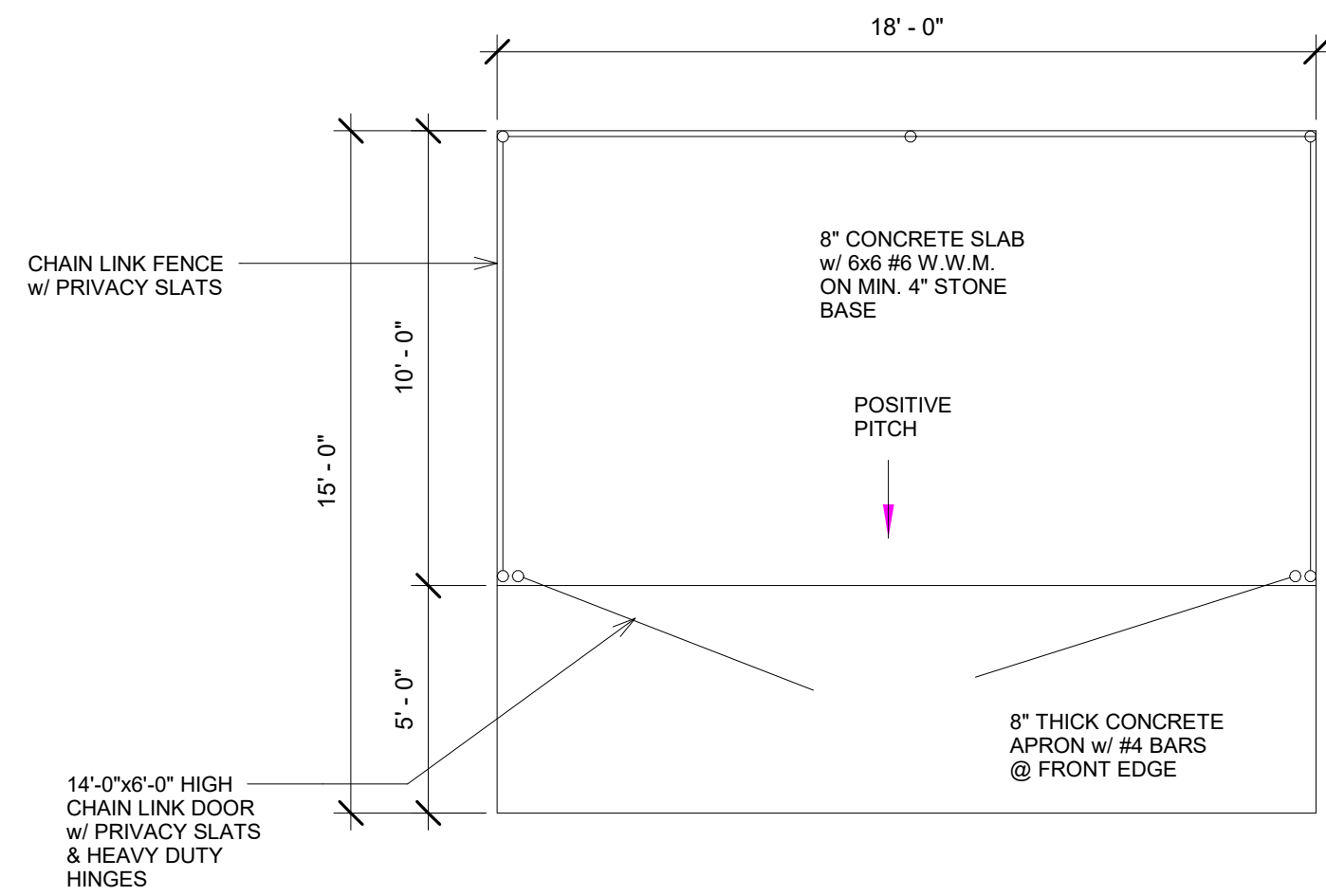
Phil Kleman  
Associate/Municipal & Water Resource Engineer

Cc: Keith Weyenberg, V. Combined Locks



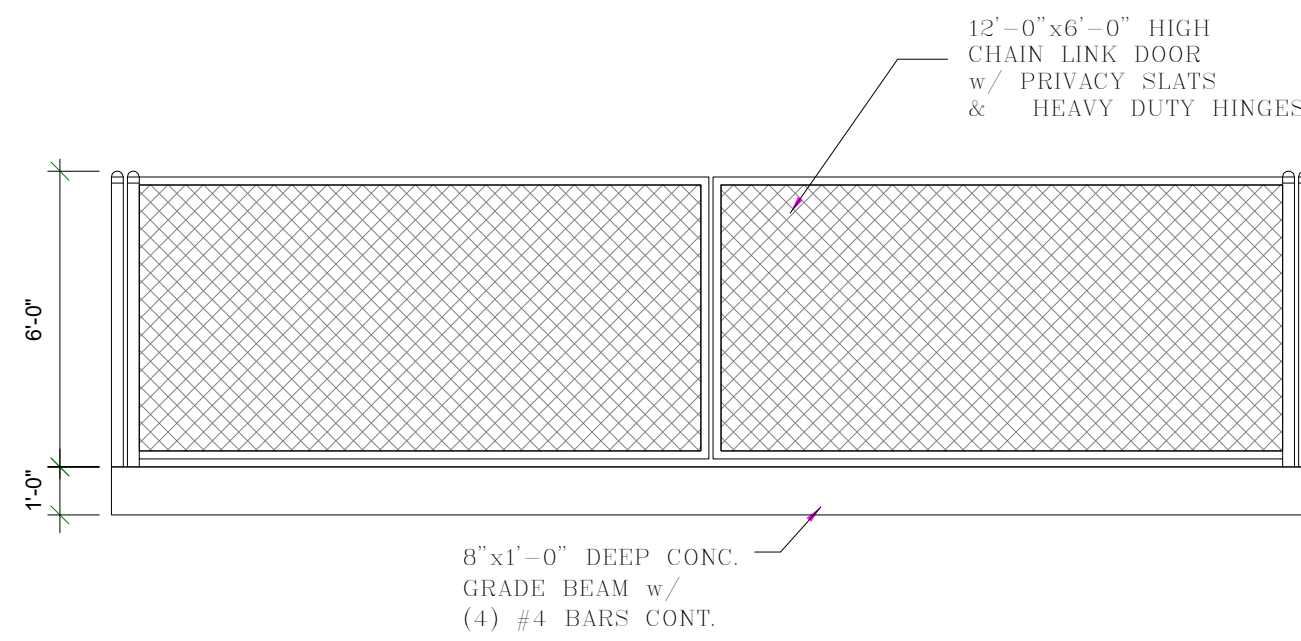






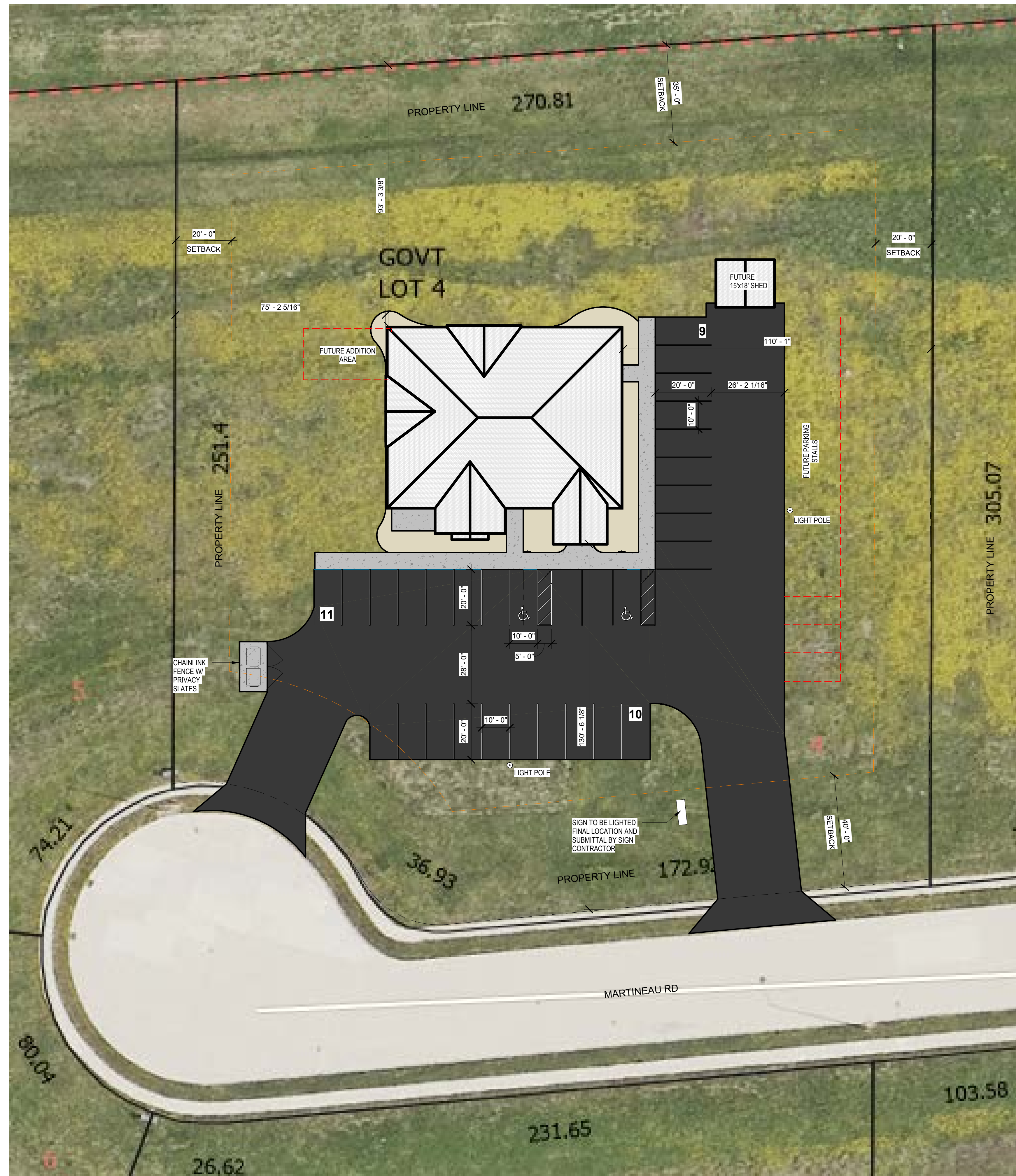
**DUMPSTER PLAN**

SCALE: 1/4"=1'-0"



**DUMPSTER ELEVATION**

SCALE: 1/4"=1'-0"



No.	Date	Description

Page Information

Drawn By JJW	Approved By Checker
Project No. 25-0082	Date 3/19/26
Sheet No.	

# GENERAL STRUCTURAL NOTES

(APPLY UNLESS NOTED OTHERWISE ON PLANS / DETAILS)

## GENERAL STRUCTURAL NOTES

- REFERENCE STANDARDS: UNLESS OTHERWISE NOTED, ALL STANDARDS SHALL BE CURRENT EDITION, WITH LATEST ADDENDA IF APPLICABLE.
- CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES AND FIELD CONDITIONS PRIOR TO ANY DEMOLITION, FABRICATION, CONSTRUCTION, OR INSTALLATION AND NOTIFY ENGINEER IF CONDITIONS, MATERIALS SIZES AND DIMENSIONS ARE DIFFERENT FROM THOSE SHOWN.
- THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE INDICATED, THEY DO NOT INDICATE THE MEANS OR METHOD OF CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF THE STRUCTURE DURING ALL PHASES OF DEMOLITION/CONSTRUCTION/INSTALLATION. PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN OR OTHER PERSONS BY MEANS OF SHORING, BRACING, ETC. AS A PART OF THIS RESPONSIBILITY, RETAIN THE SERVICES OF A LICENSED STRUCTURAL ENGINEER TO DESIGN AND SUPERVISE ANY SCAFFOLDING FOR WORKMEN AND ALL SHORING AND ELEMENTS OF CONSTRUCTION.
- CROSS REFERENCE ALL DIMENSIONS AND DETAILS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS BEFORE COMMENCING ANY FABRICATION/CONSTRUCTION.
- DETAILS AND CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS SHOWN FOR SIMILAR CONDITIONS AND MATERIAL.
- SHOP DRAWINGS PREPARED BY SUPPLIERS, SUB-CONTRACTORS, ETC. SHALL BE REVIEWED, COORDINATED AND SIGNED/STAMPED BY GENERAL CONTRACTOR PRIOR TO SUBMITTING TO THE ENGINEER.
- VERIFY LOCATION OF ALL BOX OUTS AND OPENINGS WITH MECHANICAL CONTRACTORS, OPENING SIZES AND LOCATIONS SHOWN FOR PIPES, DUCTS, MECHANICAL UNITS, ETC. ARE FOR GENERAL INFORMATION ON AND SHALL BE VERIFIED WITH MECHANICAL CONTRACTOR BEFORE COMMENCING THE WORK.

## TEMPORARY BRACING

- PROVIDE REQUIRED TEMPORARY BRACING FOR STRUCTURAL STEEL UNTIL PERMANENT BRACING AND WALLS ARE IN PLACE.
- PROVIDE TEMPORARY BRACING FOR ALL WALLS, CONCRETE, MASONRY, LIGHT GAGE METAL OR WOOD UNTIL THEY ARE OF ADEQUATE DESIGN STRENGTH AND ARE PROPERLY ANCHORED IN FINAL FORM.

## SHOP DRAWINGS

- SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS IN ADDITION TO ITEMS REQUIRED BY PROJECT SPECIFICATIONS.
- THE CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO THE ARCHITECT. ITEMS NOT IN CONFORMANCE W/ THE CONTRACT DOCUMENTS SHALL BE NOTED UPON CONTRACTOR'S REVIEW.
- ANY CHANGES, SUBSTITUTIONS, OR DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE CLOUDED BY THE MANUFACTURER OR FABRICATOR. ANY OF THE AFOREMENTIONED ITEMS THAT ARE NOT CLOUDED OR NOTED BY SUBMITTING PARTIES, SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW UNLESS NOTED ACCORDINGLY.
- THE ENGINEER HAS THE RIGHT TO APPROVE OR DISAPPROVE ANY CHANGES TO CONTRACT DOCUMENTS AT ANYTIME BEFORE OR AFTER SHOP DRAWING REVIEW.
- THE SHOP DRAWINGS DO NOT REPLACE THE CONTRACT DOCUMENTS. ITEMS OMITTED OR SHOWN INCORRECTLY AND ARE NOT FLAGGED BY THE STRUCTURAL OR ARCHITECT SHALL NOT BE CONSIDERED CHANGES TO THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ITEMS ARE CONSTRUCTED IN ACCORDANCE W/ THE CONTRACT DOCUMENTS.
- THE ADEQUACY OF ENGINEERING DESIGNS AND LAYOUT PERFORMED BY OTHERS RESTS W/ THE DESIGNING OR SUBMITTING AUTHORITY.
- REVIEWING IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR THE CORRECTNESS SHALL REST W/ THE CONTRACTOR.

## GENERAL FOUNDATION NOTES

- ALL FOUNDATION EXCAVATIONS, BACKFILL AND COMPACTION SHALL BE INSPECTED AND CERTIFIED BY A QUALIFIED SOILS TESTING FIRM PRIOR TO THE CONSTRUCTION OF ANY FOOTINGS. ALL REPORTS ARE TO BE SUBMITTED TO STRUCTURAL ENGINEER.
  - CROSS REFERENCE ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS TO ASSURE PROPER DIMENSIONS AND PLACEMENT OF ALL ANCHOR BOLTS, INSERTS, ETC.
  - ALL FOOTING ELEVATIONS SHOWN ARE TO TOP OF FOOTINGS, UNLESS NOTED OTHERWISE.
  - ALL FOOTINGS ARE CENTERED UNDER WALLS OR COLUMNS ABOVE, UNLESS NOTED OTHERWISE.
  - CONTINUOUS WALL FOOTINGS UP THROUGH 1'-8" WIDE TO BE 10" THICK. FOOTINGS OVER 1'-8" WIDE TO BE 12" THICK, UNLESS NOTED OTHERWISE.
  - PROVIDE WALL FOOTING REINFORCEMENT AS FOLLOWS, UNLESS NOTED OTHERWISE:  
FOOTINGS UP THROUGH 1'-11" WIDE-----2-#4 CONT.  
FOOTINGS 2'-0" THROUGH 2'-8" WIDE-----2-#5 CONT.  
FOOTINGS 2'-9" THROUGH 3'-4" WIDE-----3-#5 CONT. & #4 @ 12" TRANSV.  
FOOTINGS 3'-5" THROUGH 4'-0" WIDE-----4-#5 CONT. & #5 @ 16" TRANSV.  
FOOTINGS 4'-1" THROUGH 5'-0" WIDE-----5-#5 CONT. & #5 @ 12" TRANSV.
  - FURNISH #4 AND #5 CONTINUOUS WALL FOOTING REINFORCING IN STOCK LENGTHS. FIELD BEND #4 AROUND CORNERS AND THROUGH FOOTINGS STEPS. SHOP BEND #5 THROUGH FOOTING STEPS AND AROUND CORNERS. LAP CONTINUOUS FOOTING REINFORCING MINIMUM 15" AT SPLICES AND STAGGER SPLICES.
  - CAST DOWELS IN FOOTINGS FOR CONCRETE COLUMNS AND WALLS ABOVE. DOWELS TO BE SAME NUMBER AND SIZE, AS THE VERTICAL REINFORCING, UNLESS NOTED OTHERWISE. DOWELS ARE TO PROJECT FROM FOOTINGS 30 BAR DIAMETERS OR A MINIMUM OF 24". WHICHEVER IS GREATER. PROVIDE 30 DEGREE BEND IN COLUMN FOOTING DOWELS. WALL FOOTING DOWELS ARE STRAIGHT, UNLESS NOTED OTHERWISE.
  - PROVIDE WELDED WIRE BLOCK REINFORCING IN ALL MASONRY WALLS AT 16" O.C. MAXIMUM SPACING.
  - SHORE ALL FOUNDATION WALLS BEFORE BACKFILLING AND COMPACTION.
  - PROVIDE 6X6 W/4XW/4 W.W.F. (6X6 10/10 W.W.F.) IN ALL SLABS ON GRADE AND ENTRANCE PLATFORMS, UNLESS NOTED OTHERWISE.
  - PROVIDE 3" CONCRETE COVER FOR ALL FOOTING REINFORCING.
  - BEFORE ENCASING STEEL COLUMNS IN CONCRETE OR MASONRY, PAINT COLUMN BASES AND TOPS OF ANCHOR BOLTS WITH ASPHALTIC PAINT.
  - IN LIEU OF A GEOTECHNICAL REPORT: THE FOUNDATION HAS BEEN DESIGN ACCORDING TO THE RECOMMENDATION OF CHAPTER 18 OF THE IBC
  - THE SOIL DESIGN VALUES FOR THE FOUNDATION ARE
- |  |             |
|--|-------------|
| ALLOWABLE BEARING PRESSURE               | 2000 PSF    |
| ALLOWABLE LATERAL BEARING PRESSURE       | 150 PSF/FT  |
| ALLOWABLE LATERAL SLIDING COEF.          | 0.25        |
| LATERAL BACKFILL PRESSURE (UNRESTRAINED) | 30 PSF / FT |
| LATERAL BACKFILL PRESSURE (RESTRAINED)   | 50 PSF / FT |
- 
- | FOUNDATION BEARING DEPTH (MIN.) |  |
|---------------------------------|--|
| 42" BELOW FINISHED GRADE        |  |
- 
- ALL FOUNDATIONS SHALL BEAR ON COMPACTED ENGINEERED FILL OR COMPETENT NATIVE SOIL. SUBBASE COMPACTED TO 95% DRY DENSITY (STANDARD PROCTOR). GRADE IS DEFINED AS LOWEST ADJACENT GRADE WITHIN 5 FEET OF THE BUILDING FOR PERIMETER FOOTINGS. WHERE EXTERIOR PAVING OR CONCRETE IS DIRECTLY ADJACENT TO BUILDING, GRADE IS DEFINED AS TOP OF EXTERIOR PAVING AT LEAST 5 FEET FROM BUILDING. CONCRETE FOOTING EXCAVATIONS SHALL BE CLEAN AND FREE OF LOOSE DEBRIS OR UN-COMPACTED MATERIAL AT TIME OF CONCRETE PLACEMENT.
  - BACKFILL AGAINST RESTRAINED WALLS SHALL NOT BE PLACED UNTIL AFTER WALLS ARE SUPPORTED BY THE COMPLETION OF INTERIOR FLOOR SYSTEMS AND CONCRETE OR GROUT STRENGTH HAS REACHED THE 28 DAY STRENGTH LISTED IN THE CONCRETE GENERAL NOTES.

## GENERAL CONCRETE NOTES

- MINIMUM 28 DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS:
- | USE:                               | STRENGTH | MAX W/C RATIO | AIR ENTRAINMENT |
|------------------------------------|----------|---------------|-----------------|
| FOOTING                            | 3000 PSI | 0.45          | 5.5% +/- 1%     |
| FOUNDATION WALLS                   | 4000 PSI | 0.45          | 5.5% +/- 1%     |
| SLAB ON GRADE                      | 4000 PSI | 0.45          | 5.5% +/- 1%     |
| BEAMS, COLS, ELEVATED SLABS, WALLS | 4000 PSI | 0.45          | 5.5% +/- 1%     |
| EXTERIOR SLAB                      | 4000 PSI | 0.45          | 5.5% +/- 1%     |
- 
- CONCRETE CONSTRUCTION SHALL COMPLY WITH ALL THE REQUIREMENTS OF THE "ACI MANUAL OF CONCRETE PRACTICE" BY THE ACI.
  - THE "ACI DETAILING MANUAL" BY THE ACI SHALL GOVERN DETAILING AND FABRICATION OF ALL REINFORCING STEEL, UNLESS NOTED OTHERWISE.
  - REINFORCING SUPPLIER TO PROVIDE ALL ACCESSORIES, CHAIRS, SPACING BARS AND SUPPORTS NECESSARY TO SECURE STEEL IN ACCORDANCE WITH "MANUAL OF STANDARD PRACTICE" BY THE CONCRETE REINFORCING STEEL INSTITUTE.
  - SUPPLIER SHALL PROVIDE PLASTIC CHAIRS AND BAR SUPPORTS IN ALL AREAS OF EXPOSED CONCRETE.
  - PROVIDE MINIMUM CONCRETE PROTECTION FOR ALL REINFORCEMENT AS FOLLOWS:  
  
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH-----3"  
  
EXPOSED TO EARTH OR WEATHER:  
#6 BARS AND SMALLER-----1-1/2"  
  
#6 BARS AND LARGER-----2"  
  
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:  
  
SLABS, WALLS & JOISTS (#3 TO #11)-----3/4"  
  
BEAMS, GIRDBERS & COLUMNS, MAIN REINFORCEMENT, TIES, STIRRUPS OR SPIRALS-----1-1/2"
  - PROVIDE CORNER BARS AT ALL WALLS, GRADE BEAMS AND EDGE BEAMS. CORNER BAR TO BE THE SAME SIZE AND SPACING AS ALL HORIZONTAL BARS.
  - AT OPENINGS IN SLABS OR WALLS, PROVIDE A MINIMUM OF 2-#6 BARS EACH SIDE OF OPENING. BARS TO BE 6'-0" LONGER THAN OPENING.
  - NO ALUMINUM OF ANY TYPE SHALL BE ALLOWED IN THE CONCRETE WORK, UNLESS COATED TO PREVENT ALUMINUM CONCRETE REACTION. MAXIMUM OD. OF EMBEDDED CONDUIT SHALL BE NO LARGER THAN ONE-THIRD OF THE SLAB THICKNESS AND THE CONDUIT SHALL BE PLACED SUCH THAT IT DOES NOT SIGNIFICANTLY IMPAIR THE STRENGTH OF CONSTRUCTION

## CONCRETE SLABS AND JOINT NOTE AND DETAILS:

- CONSTRUCTION JOINTS (CONST. JT.) - POUR INTERIOR SLABS ON GRADE IN CONTINUOUS LANES OR CHECKERBOARD PATTERN.  
  
CONTINUOUS LANES - 30' MAXIMUM WIDTH WITH CONST. JTS. OCCURRING AT COLUMN CENTERLINES.  
  
CHECKERBOARD PATTERN - 30' MAXIMUM DIMENSION WITH CONST. JTS. OCCURRING AT COLUMN CENTERLINES.
- CONTROL JOINTS (C.J.) - LOCATE SAWCUT (3/16" X 1" DEEP) OR ZIP STRIP C.J.'S TO CREATE APPROXIMATELY SQUARE PANELS WITH THE FOLLOWING MAXIMUM DIMENSIONS:  
  
EXPOSED FINISHED SLAB - 15'.  
FINISHED SLAB TO BE COVERED WITH V.C.T. OR CARPET - 15'  
  
OTHER CONDITIONS - VERIFY C.J. LIMITS WITH ARCHITECT.  
  
ROUGH SLABS - NO LIMIT. CREATE CONST. JT. WHERE ROUGH SLAB MEETS FINISHED SLAB.
- PLACE SLAB REINFORCING WITHIN 1/3 OF SLAB THICKNESS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL FLOOR FINISHES, SLOPES, RECESSES, FLOOR DRAINS, GUTTERS, ETC.

## STRUCTURAL WOOD NOTES:

- PLYWOOD WALL PANELS SHALL BE ORIENTATED WITH FACE GRAIN PARALLEL TO SUPPORT STUD.
- PLYWOOD ROOF PANELS SHALL BE ORIENTED WITH FACE GRAIN PERPENDICULAR TO SUPPORT TRUSSES.
- WOOD CONSTRUCTION, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE WOOD CHAPTER 23 OF THE INTERNATIONAL BUILDING CODE. ALL NAILING SHALL CONFORM TO TABLE 2304.10.1 "FASTENING SCHEDULE" OF THE INTERNATIONAL BUILDING CODE, UNLESS OTHER REQUIREMENTS NOTED ON THE DRAWINGS ARE MORE STRICT. JOINTS IN LOAD BEARING TOP PLATES SHALL BE OFFSET AT LEAST 48". HOLES AND NOTCHES IN SAWN LUMBER SHALL BE LIMITED AS SPECIFIED IN THE INTERNATIONAL BUILDING CODE.
- FOUNDATION PLATES ON CONCRETE OR MASONRY WALLS SHALL BE PRESSURE TREATED LUMBER, #2 GRADE MINIMUM. SILLS SHALL BE ANCHORED TO CONCRETE OR MASONRY WITH 1/2" X 5" TITEN HD ANCHOR BOLTS SPACED 32" O.C. MAXIMUM. THERE SHALL BE A MINIMUM OF 3 BOLTS PER PIECE WITH ONE BOLT LOCATED WITHIN 8" OF EACH END OF EACH PIECE. THERE SHALL BE NO SILL SPLICE UNDER ANY POST OR MULLION.
- POSTS AND BEAMS CONSTRUCTED OF MULTIPLE LAMINATED VENEER LUMBER MEMBERS SHALL BE FASTENED TOGETHER ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- BUILT UP MEMBERS, COLUMNS, BEAMS AND DOUBLE JOISTS SHALL BE CONNECTED WITH TWO ROWS 16d NAILS AT 12" O.C. STAGGERED, UNLESS NOTED OTHERWISE.
- ALL JOISTS, ROOF BEAMS AND GIRDBERS SHALL HAVE FULL HORIZONTAL BEARING OF THE MEMBER OVER SUPPORT UNLESS OTHERWISE SHOWN. DO NOT OVERCUT.
- ALL FABRICATED WOOD TRUSSES SHALL BE FURNISHED IN ACCORDANCE WITH DESIGNS PREPARED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE THAT THE PROJECT IS LOCATED, USING THE DESIGN LOADS AND SPAN CONDITIONS INDICATED ON THE CONTRACT DOCUMENTS. NO DEVIATION OF TRUSS SHAPE, BEARING POINT LOCATIONS OR SUPERIMPOSED LOADS, FROM THOSE SHOWN ON THE ARCHITECT AND/OR ENGINEER DRAWINGS WILL BE ALLOWED. SHOP DRAWINGS, INCLUDING AN OVERALL ERECTION PLAN INDICATING EACH TYPE OF TRUSS, TRUSS BEARING POINT LOCATIONS, REQUIRED LATERAL BRACING, EACH TRUSS MEMBER'S SIZE AND STRESS AND CONNECTION DETAILS, SHALL BE SUBMITTED FOR PRIOR APPROVAL TO THE ARCHITECT, ENGINEER AND GENERAL CONTRACTOR.
- ALL TRUSSES ARE TO BE DESIGNED AS SIMPLE SPAN CONDITIONS, USING BEARING WALLS OR BEAMS AS SHOWN ON PLANS.
- ROOF TRUSSES SHALL BE FASTENED TO THE SUPPORT WALLS WITH 6" TIMBERLOK SCREWS OR EQUAL OR AS NOTED ON PLANS.
- HANDLING OF TRUSSES AND ERECTION BRACING IS THE RESPONSIBILITY OF THE SUB-CONTRACTOR. THE SUB-CONTRACTOR SHALL PROVIDE TEMPORARY DIAGONAL, LATERAL AND CROSS BRACINGS UNTIL ROOF SHEATHING, CEILING AND PERMANENT BRACING CAN BE APPLIED AND SHEAR WALLS COMPLETED.
- THE TRUSS MANUFACTURER SHALL PROVIDE THE GENERAL CONTRACTOR AND SUB-CONTRACTOR WITH THE PUBLICATION "BRACING WOOD TRUSSES: COMMENTARY AND RECOMMENDATIONS," BWT-76 BY THE TRUSS PLATE INSTITUTE.
- FRAMING LUMBER SHALL CONFORM WITH THE PROVISIONS OF THE AMERICAN SOFTWOOD LUMBER STANDARD PS-20-70 AND EACH PIECE SHALL BEAR THE GRADE STAMP OF A GRADING AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE. ALL FRAMING LUMBER 2" AND LESS IN THICKNESS SHALL BE SEASONED TO A MOISTURE CONTENT OF 19 THE INDICATION "S-DRY" ON THE GRADE STAMP.
- STUD WALLS TO BE CONSTRUCTED WITH CONTINUOUS TREATED SILL PLATE AND WITH DOUBLE TOP PLATE. SEE PLANS AND DETAILS FOR STUD SIZE.
- HOLES BORED IN THE STUD OR JOIST SHALL BE IN THE MIDDLE ONE-THIRD OF THE DEPTH AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH.
- PANEL ROOF SHEATHING SHALL BE PER WOOD FRAMING NOTES ON FRAMING PLANS. EACH PANEL SHALL BE IDENTIFIED WITH THE GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF PRODUCT STANDARD (PS). APPLICATION AND NAILING OF PLYWOOD SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
- VERIFY SIZE, NUMBER AND LOCATION OF ALL MECHANICAL OPENINGS IN ROOF DECKS WITH MECHANICAL CONTRACTOR.

## GENERAL STEEL NOTES:

- ALL SHOP CONNECTIONS SHALL BE WELDED OR BOLTED. FIELD CONNECTIONS SHALL BE BOLTED (U.N.C.). BOLTED CONNECTIONS SHALL BE MADE WITH A MINIMUM 3/4" DIAMETER HIGH STRENGTH BOLTS CONFORMING TO ASTM A325-N (THREADS IN SHEAR PLANE).
- ALL WELDS AS PER LATEST SPECIFICATIONS OF THE AWS E70XX ELECTRODES.
- ALL STEEL BEAMS SHALL BE TRUE TO LINE AND ELEVATION. COLUMN BASE PLATES GROUTED AND ANCHOR BOLTS TIGHT BEFORE ANY LOADS ARE PLACED.
- ALL COLUMN BASE AND CAP PLATES TO BE WELDED AROUND ALL SIDES.
- BOTTOM PLATE OF STEEL LINTELS SHALL BE WELDED TO THE BEAM WITH 3/16" FILLET WELD (BOTH SIDES) 3" LONG AT 12" O.C.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO SHORE AND BRACE ALL BEAMS CARRYING MASONRY ABOVE.
- ALL ANCHOR BOLTS SHALL BE ASTM A307 (FU=60,000 PSI).
- ALL STEEL BEAMS SHALL BEAR A MINIMUM OF 8" ON GROUTED MASONRY UNITS (OR CONCRETE).
- ALL WELD NOT SPECIFIED ARE 3/16" FILLET WELD, CONTINUOUS AND/OR ALL AROUND.
- STRUCTURAL FABRICATORS SHALL SHOW ALL FIELD WELDING REQUIREMENTS ON SHOP DRAWINGS SUBMITTED TO ENGINEER.

HURRICANE TIE FASTENERS AT ALL TRUSS BEARING LOCATIONS			
CONNECTION TYPE	HURRICANE TIE	ATTACHMENT TO TRUSS	ATTACHMENT TO SUPPORTING STRUCTURE
TYPICAL TRUSS	SIMPSON H10A OR (1) 6" TRUSSLOK SCREW	9-10d (1 1/2" x 0.148")	9-10d (1 1/2" x 0.148")
2-PLY TRUSS	SIMPSON LGT2	16 - 16d SINKERS	14 - 16d SINKERS
3-PLY TRUSS	SIMPSON LGT3-SDS2.5	12-SDS 1/4" x 2 1/2"	26 - 16d SINKERS
4-PLY TRUSS	SIMPSON LGT4-SDS3	16-SDS 1/4" x 3"	30 - 16d SINKERS
JACK TRUSS	SIMPSON H1	6-8D 1 1/2" x 0.131"	4-8D 2 1/2" x 0.131"
HIP CORNER TRUSS	SIMPSON HCP2	6-10D 1 1/2" x 0.148"	6-10D 1 1/2" x 0.148"

NAILING SCHEDULE		
CONNECTION	NAILING	TYPE
JOIST OR TRUSS BEARING ON SILL OR GIRDER	(3)-8d COMMON (2 1/2" x 0.131")	TOENAIL
	(3)-3"x 0.131" NAILS (Gun Nail)	
	(3)-3"x 14 GAUGE STAPLES	
BRIDGING TO JOIST	(2)-8d COMMON (2 1/2" x 0.131")	TOENAIL EACH END
	(2)-3"x 0.131" NAILS (Gun Nail)	
	(2)-3"x 14 GAUGE STAPLES	
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d (3 1/2" x 0.135") AT 16" O.C.	FACE NAIL
	3"x 0.131" NAILS (Gun Nail) AT 8" O.C.	
	3"x 14 GAUGE STAPLES AT 12" O.C.	
TOP PLATE TO STUD	(2)-16d COMMON (3 1/2" x 0.162")	END NAIL
	(3)-3"x 0.131" NAILS (Gun Nail)	
	(3)-3"x 14 GAUGE STAPLES	
SOLE PLATE TO STUD	(2)-16d COMMON (3 1/2" x 0.162")	END NAIL
	(3)-3"x 0.131" NAILS (Gun Nail)	
	(3)-3"x 14 GAUGE STAPLES	
DOUBLE STUDS, FACE NAIL	16d (3 1/2" x 0.135") AT 24" O.C.	FACE NAIL
	3"x 0.131" NAILS (Gun Nail) AT 8" O.C.	
	3"x 14 GAUGE STAPLES AT 8" O.C.	
DOUBLE TOP PLATES	16d (3 1/2" x 0.135") AT 16" O.C.	FACE NAIL
	3"x 0.131" NAILS (Gun Nail) AT 12" O.C.	
	3"x 14 GAUGE STAPLES AT 12" O.C.	
DOUBLE TOP PLATES - LAP SPLICE	(8)-16d COMMON (3 1/2" x 0.162")	FACE NAIL
	(12)-3"x 0.131" NAILS (Gun Nail)	
	(12)-3"x 14 GAUGE STAPLES	
BLOCKING BETWEEN JOISTS OR RAFTERS AND TOP PLATE	(3)-8d COMMON (2 1/2" x 0.131")	TOENAIL
	(3)-3"x 0.131" NAILS (Gun Nail)	
	(3)-3"x 14 GAUGE STAPLES	
RIM JOIST TO TOP PLATE	8d (2 1/2" x 0.131") AT 6" O.C.	TOENAIL
	3"x 0.131" NAILS (Gun Nail) AT 6" O.C.	
	3"x 14 GAUGE STAPLES AT 6" O.C.	
TOP PLATES, LAPS AND INTERSECTIONS	USE: SIMPSON A36 AT 48" O.C.	-NA-
	(2)-16d COMMON (3 1/2" x 0.162")	
	(3)-3"x 0.131" NAILS (Gun Nail)	
CONTINUOUS HEADER, TWO PIECES	16d COMMON (3 1/2" x 0.162")	FACE NAIL AT 16" O.C. ALONG EDGES
	(3)-8d COMMON (2 1/2" x 0.131")	
	(3)-3"x 0.131" NAILS (Gun Nail)	
CEILING JOISTS TO PLATE	(5)-3"x 14 GAUGE STAPLES	TOENAIL
	(3)-16d COMMON (3 1/2" x 0.162)	
	(4)-3"x 0.131" NAILS (Gun Nail)	
CEILING JOISTS, LAPS OVER PARTITIONS	(4)-3"x 14 GAUGE STAPLES	FACE NAIL
	(3)-16d COMMON (3 1/2" x 0.162)	
	(4)-3"x 0.131" NAILS (Gun Nail)	
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	(3)-16d COMMON (3 1/2" x 0.162)	FACE NAIL
	(4)-3"x 0.131" NAILS (Gun Nail)	
	(4)-3"x 14 GAUGE STAPLES	
RAFTER OR TRUSS TO PLATE	(3)-8d COMMON (2 1/2" x 0.131")	TOENAIL
	(3)-3"x 0.131" NAILS (Gun Nail)	
	(3)-3"x 14 GAUGE STAPLES	
CONTINUOUS HEADER TO STUD	(4)-8d COMMON (2 1/2" x 0.131")	TOENAIL
	16d COM (3 1/2" x 0.162") AT 24" O.C.	
	3"x 0.131" NAILS (Gun Nail) AT 16" O.C.	
BUILT-UP CORNER STUDS	16d COM (3 1/2" x 0.162") AT 24" O.C.	FACE NAIL
	3"x 0.131" NAILS (Gun Nail) AT 16" O.C.	
	3"x 14 GAUGE STAPLES AT 16" O.C.	

- NOTES:  
 1. MINIMUM NAILING SPECIFIED HEREIN SHALL BE PROVIDED UNLESS NOTED OTHERWISE ON PLANS, DETAILS OR GENERAL STRUCTURAL NOTES.  
 2. NAILING NOT NOTED ON THESE PLANS OR DETAILS SHALL BE PER I.B.C. TABLE 2304.10.1

STRUCTURAL SHEET INDEX	
Sheet Number	Sheet Name
S0.1	STRUCTURAL NOTES
S0.2	DESIGN CRITERIA
S1.0	FOUNDATION PLAN
S1.1	CONCRETE DETAILS
S1.2	CONCRETE DETAILS
S2.0	1ST FLOOR FRAMING PLAN
S3.0	ROOF FRAMING PLAN
S3.1	FRAMING DETAILS

PROPOSED NEW BUILDING FOR:

MEADOW VIEW DENTAL

LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI

STRUCTURAL NOTES

Description

No. Date

Page Information

ISSUED FOR CONSTRUCTION

Drawn By: AJL Approved By: EMJ  
 Project No.: - Date: 2/15/2026  
 Sheet No.:



S0.1

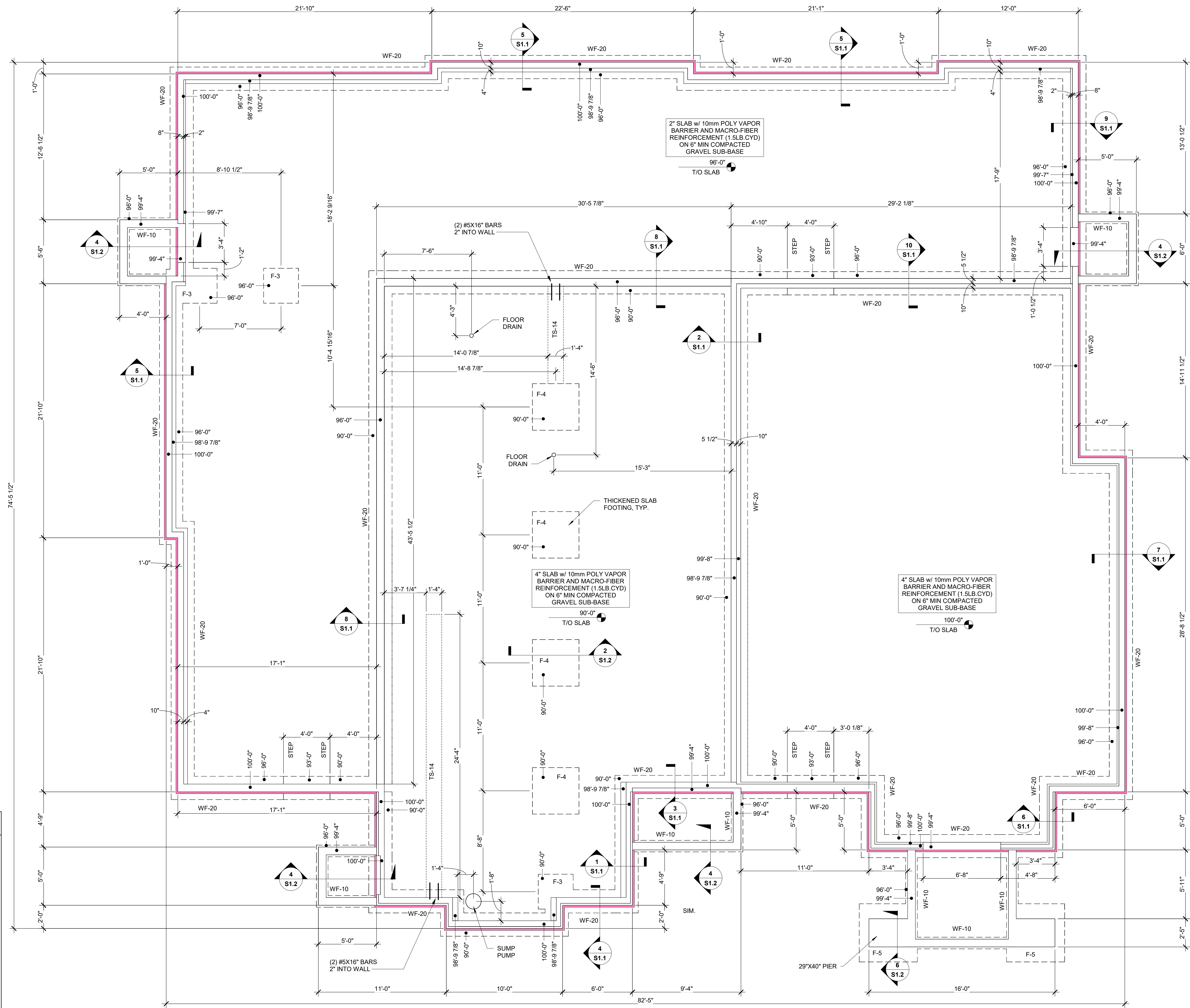
**UTSCHIG**  
 DESIGN - CONSTRUCTION - DEVELOPMENT  
*Your Construction Solution!*  
 11040 CRAFTSMEN DRIVE  
 GREENVILLE, WI 54942  
 PHONE: 920.757.0099  
 FAX: 920.757.1015



No.	Date	Description

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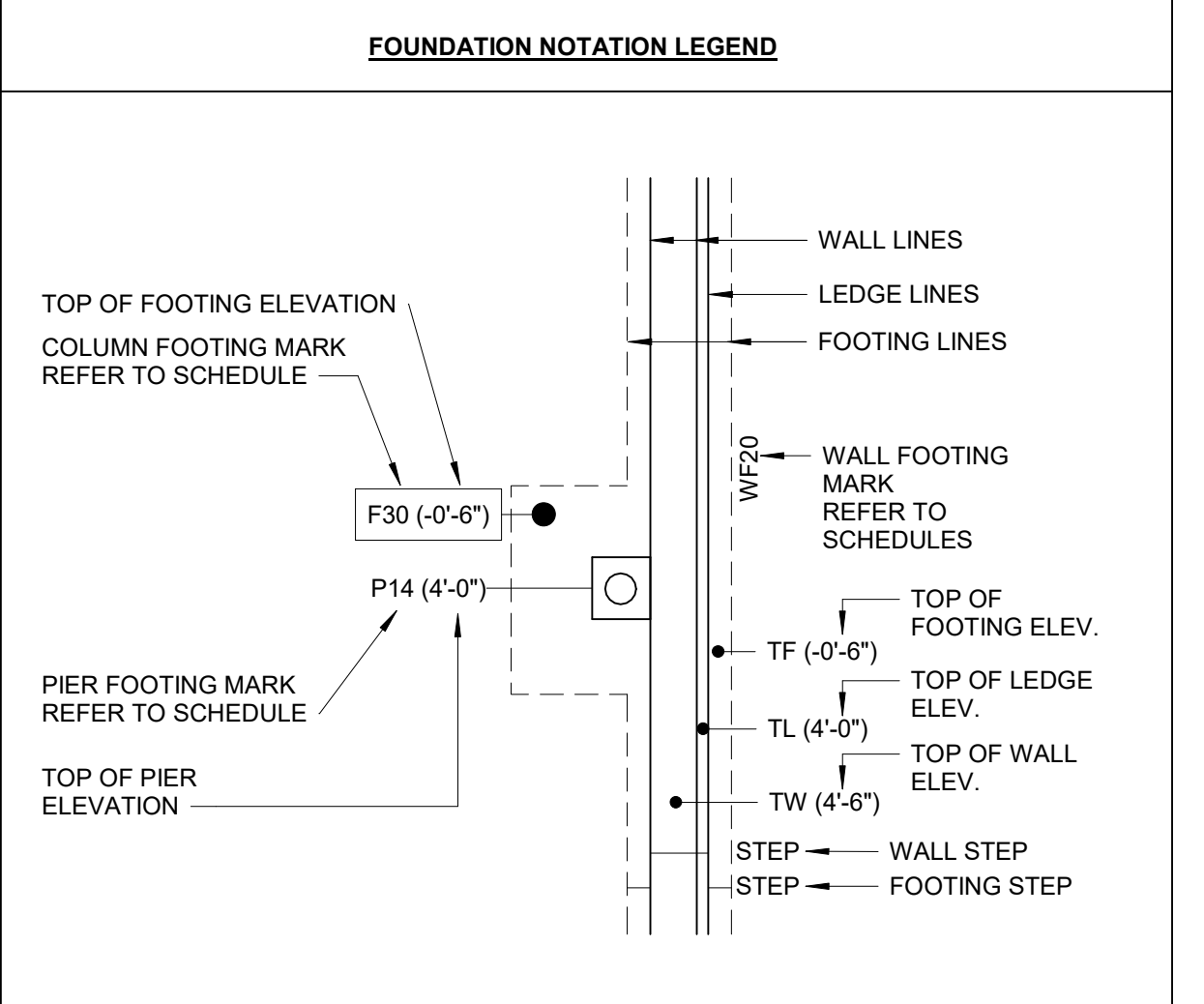
Drawn By AJL	Approved By EMJ
Project No.	Date 2/15/2026
Sheet No.	



**FOOTING SCHEDULE**

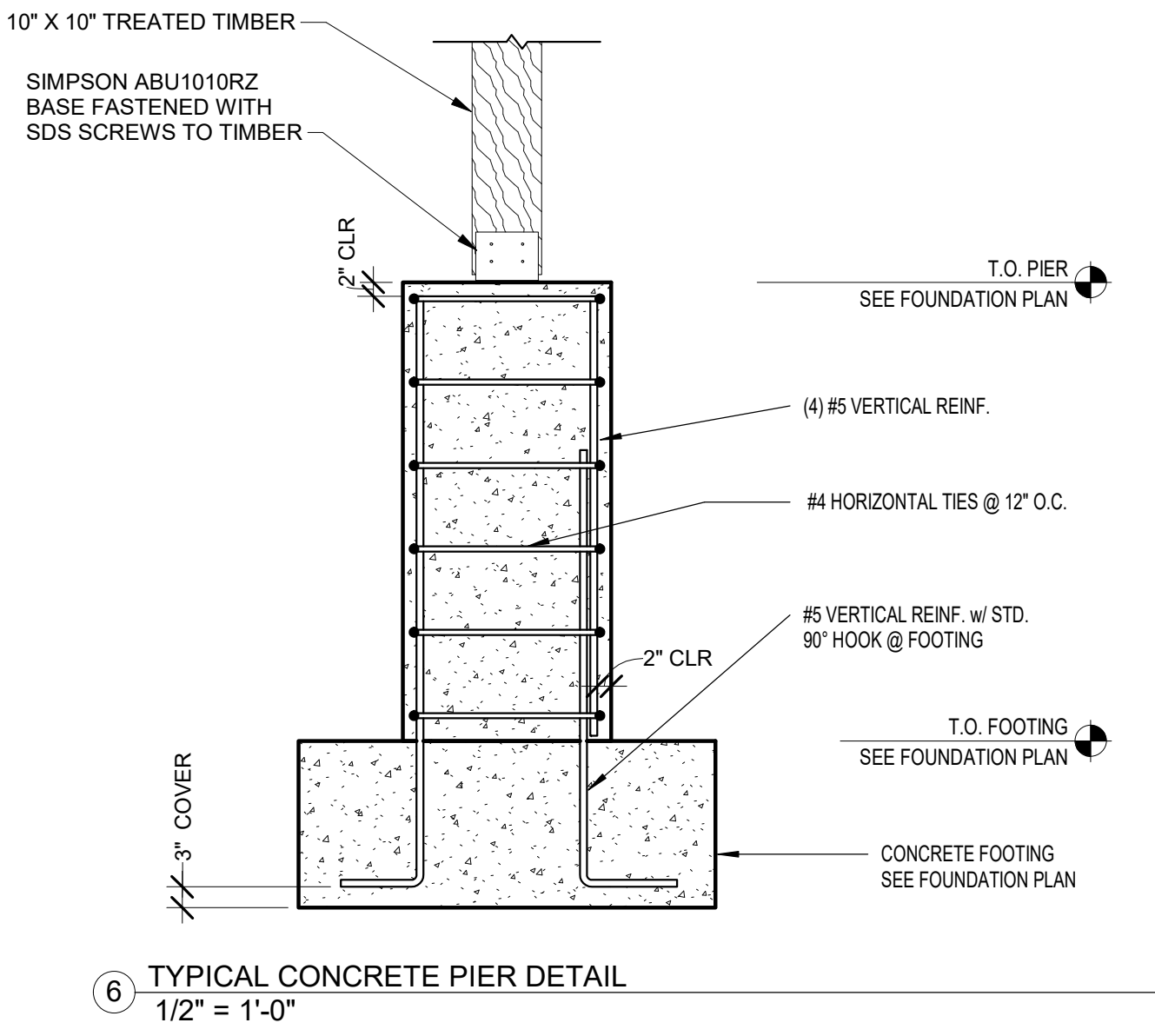
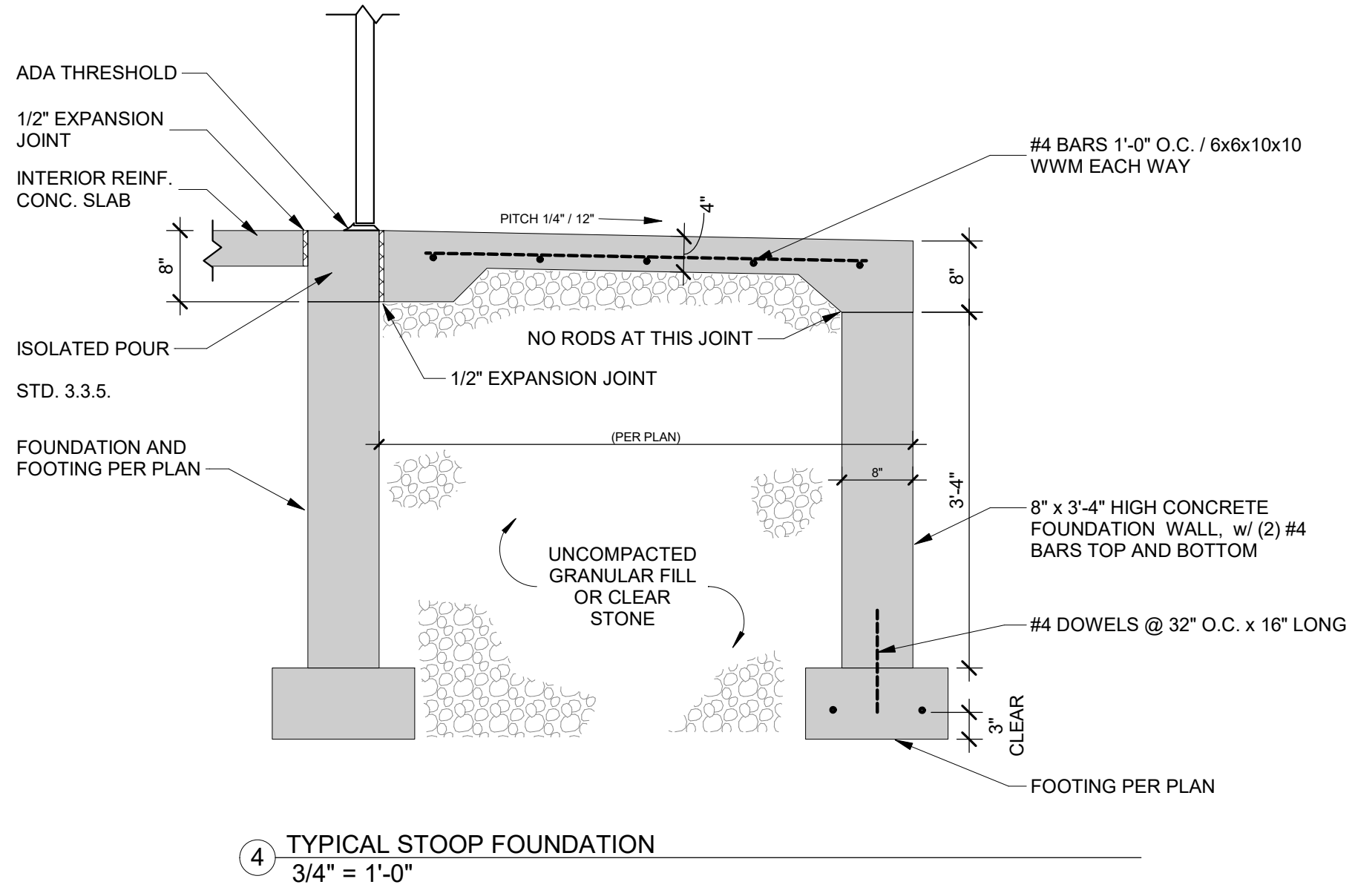
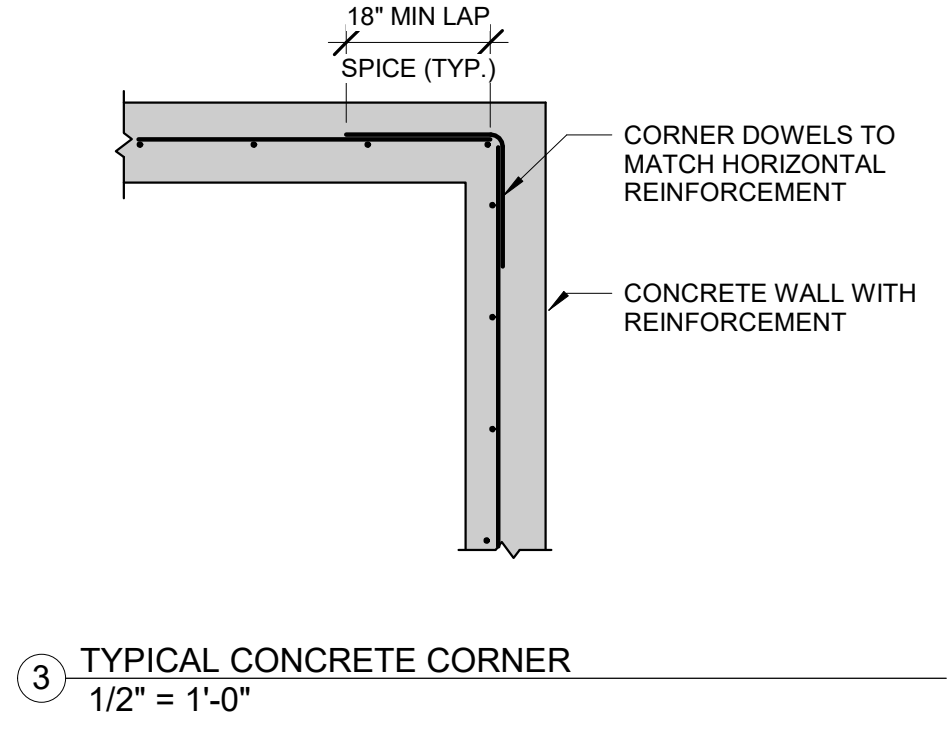
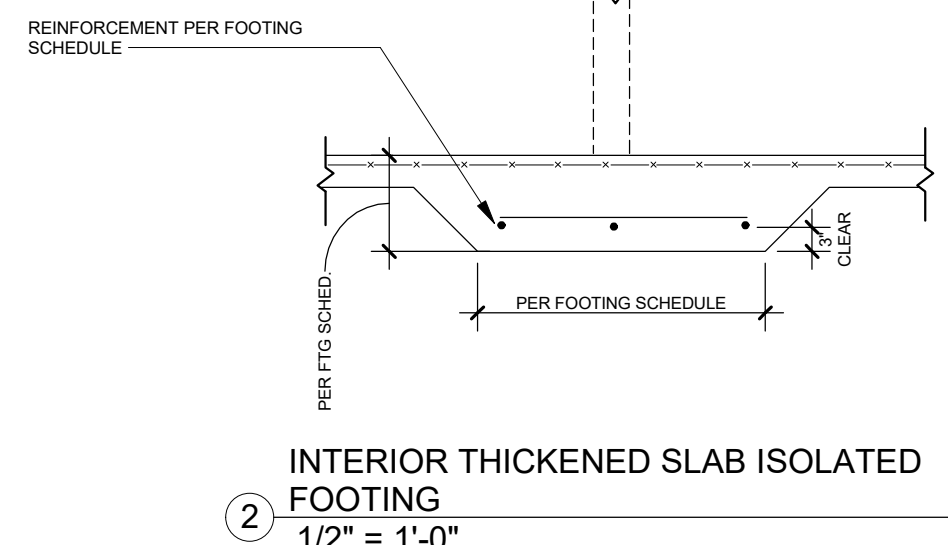
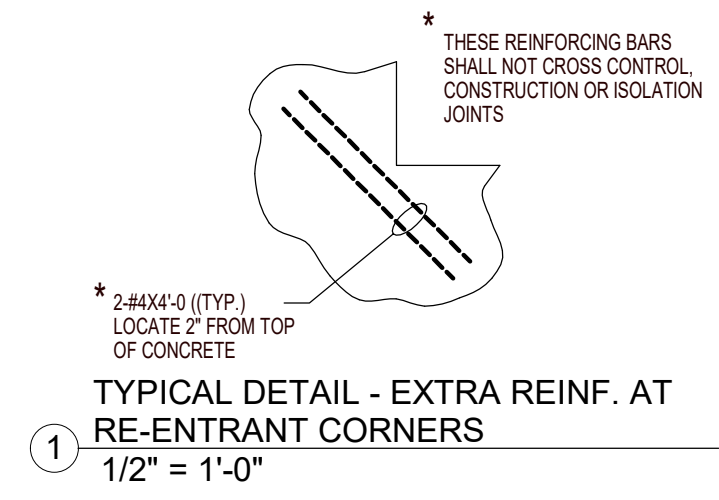
MARK	DIMENSIONS			BOTTOM REINF.		TOP REINF.		NOTES
	WIDTH	LENGTH	THICKNESS	SHORT	LONG	SHORT	LONG	
TS-14	1'-4"	CONT.	10"	--	(2) #4	--	--	
WF-20	2'-0"	CONT.	10"	--	(2) #4	--	--	
WF-10	1'-0"	CONT.	8"	--	(2) #4	--	--	
F-3	3'-0"	3'-0"	10"	(4) #4 BOTH WAYS	--	--	--	ISOLATED COLUMN FOOTING
F-4	4'-0"	4'-0"	10"	(5) #4 BOTH WAYS	--	--	--	ISOLATED COLUMN FOOTING
F-5	5'-0"	5'-0"	12"	(6) #4 BOTH WAYS	--	--	--	ISOLATED COLUMN FOOTING

NOTES:  
 1. ALL BARS TO HAVE 3" COVER FROM BOTTOM  
 2. SEE GENERAL STRUCTURAL FOUNDATION NOTES  
 3. CONTRACTOR TO HIRE SOILS ENGINEER TO FIELD VERIFY AT TIME OF FOOTING EXCAVATION



- FOUNDATION PLAN NOTES**
- VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL DRAWINGS.
  - ALL DIMENSIONS ARE TO EDGE OF FRAMING, CONCRETE OR CENTER OF COLUMN / POST.
  - ALL SCHEDULE MARK DESIGNATIONS MAY NOT NECESSARILY BE FOUND IN THIS PLAN. SCHEDULES ARE TYPICAL TO THIS PROJECT.
  - ALL FOOTINGS AND SLABS TO BEAR ON COMPETENT NATIVE SOILS AND/OR STRUCTURAL FILL.
  - VERIFY LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY DRILLING OR EXCAVATION.
  - COORDINATE AND VERIFY LOCATION OF ALL UNDERGROUND WORK PRIOR TO POURING CONCRETE SLAB
  - CONTRACTOR TO BE AWARE OF POSSIBLE NEED OF OVER EXCAVATION OF POOR SOILS.
  - ANCHOR BOLT AND EMBEDDED HOLD DOWN ANCHORS ARE SHOWN ON THE FRAMING PLANS.
  - W1, W2, ETC. - AS SHOWN ON PLAN INDICATES CONCRETE OR MASONRY WALLS. SEE WALL SCHEDULE FOR ADDITIONAL INFORMATION.
  - WF18, WF24, ETC. - AS SHOWN ON PLAN INDICATES A CONTINUOUS WALL FOOTING. SEE FOOTING SCHEDULE FOR ADDITIONAL INFORMATION.
  - F36, F48, ETC. - AS SHOWN ON THE PLAN INDICATES A WOOD POST. SEE POST SCHEDULE FOR MORE INFORMATION.
  - PF-1, PF-2, ETC. - AS SHOWN ON PLAN INDICATES A CONCRETE PIER. SEE PIER SCHEDULE FOR ADDITIONAL INFORMATION

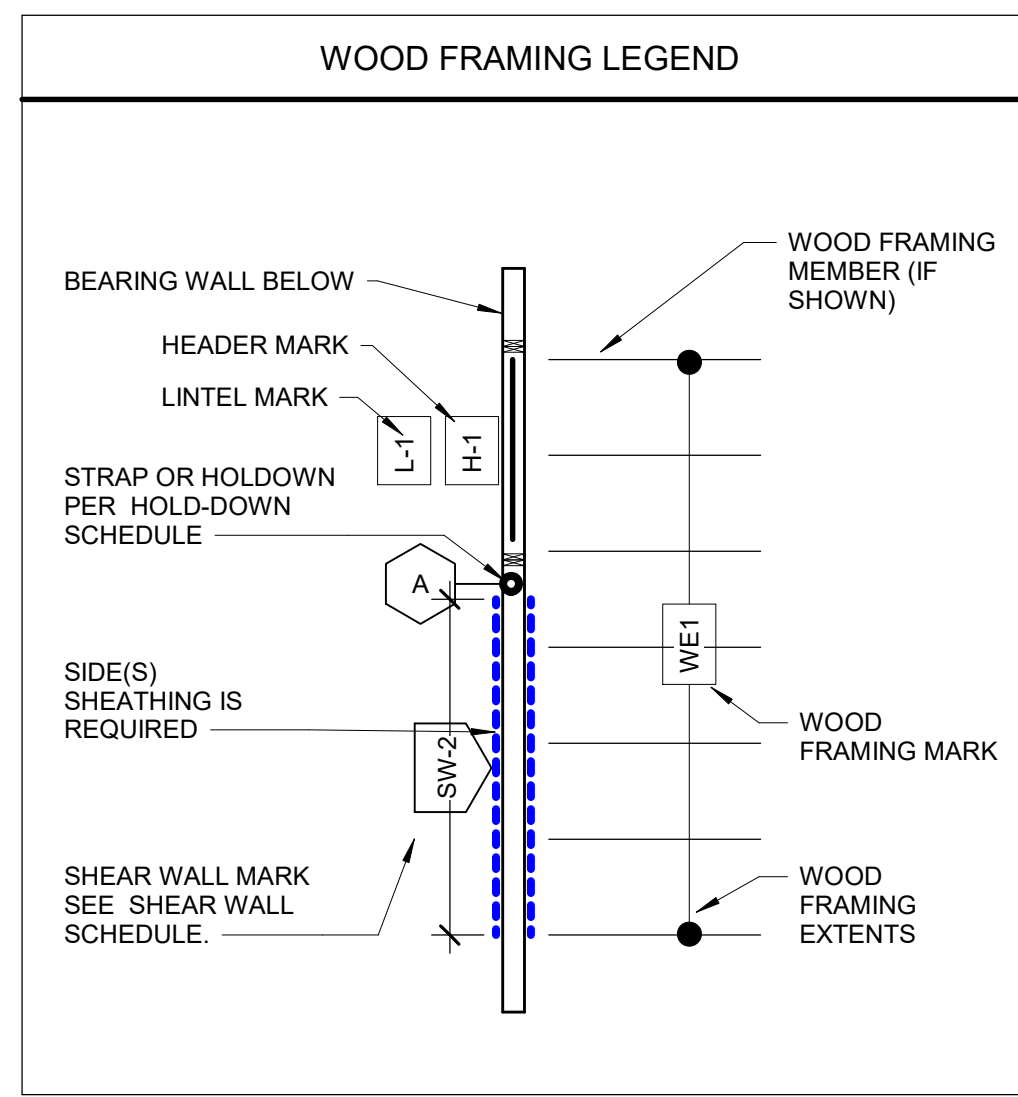




No.	Date	Description

Page Information





- ### FRAMING PLAN NOTES
- VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL DRAWINGS.
  - ALL DIMENSIONS ARE TO EDGE OF FRAMING OR CENTER OF COLUMN / POST.
  - ALL SCHEDULE MARK DESIGNATIONS MAY NOT NECESSARILY BE FOUND IN THIS PLAN. SCHEDULES ARE TYPICAL TO THIS PROJECT.
  - WALL SHEATHING** TO BE APA STRUCTURAL 1 1/2" OSB SHEATHING (ZIP) ATTACHED WITH 8d NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD SPACING, UNLESS NOTED OTHERWISE. (SEE SHEARWALL SCHEDULE).
  - ROOF DECKING** TO BE 5/8" T&G OSB ATTACHED WITH 8d NAILS @ 6" O.C. AT ALL PERIMETER AND SUPPORTED EDGES.
  - WALL STUDS** TO BE 2 x 6 #1/#2 SPF @ 16" O.C. W/ **DOUBLE** TOP PLATE PER WALL SCHEDULE, UNLESS NOTED OTHERWISE. (SEE WALL SCHEDULE).
  - GIRDER TRUSSES:** VERIFY GIRDER TRUSS LAYOUT W/ TRUSS MANUFACTURER AND COORDINATE POST LOCATIONS PRIOR TO FRAMING.
  - FLOOR DECKING** TO BE 3/4" APA RATED T&G PLYWOOD, GLUED AND NAILED

### HEADER AND BEAM SCHEDULE

MARK	SIZE	JACK STUDS	KING STUDS	MULTI-PLY FASTENING
H-1	(3) 2X6 SPF #1/#2	1	1	2 ROWS 12d @ 12" o.c. BOTH SIDES
H-2	(3) 2X6 SPF #1/#2	1	2	2 ROWS 12d @ 12" o.c. BOTH SIDES
H-3	(3) 2X6 SPF #1/#2	2	1	2 ROWS 12d @ 12" o.c. BOTH SIDES
H-4	(3) 2X10 SPF #1/#2	1	2	2 ROWS 12d @ 12" o.c. BOTH SIDES

- ### HEADER NOTES:
- STUDS NOTED ON PLANS ARE TO BE USED, WHEN NOTED, RATHER THAN STUDS SHOWN ON SCHEDULE
  - AT WALLS FRAMING PERPENDICULARLY INTO WALLS, USE NUMBER OF STUDS EQUAL TO THE NUMBER OF PLIES OF HEADER
  - AT INTERIOR WALL OPENINGS WITHOUT SCHEDULED HEADERS, USE (2) BEARING STUD AND (1) KING STUD
  - AT EXTERIOR WALL OPENINGS WITHOUT SCHEDULED HEADERS, PROVIDE (2) BEARING STUDS AND (2) KING STUDS
  - ALL KING STUDS TO EXTEND TO DOUBLE TOP PLATE
  - NO BEARING PLATES WHERE HEADERS BEAR ON PSL COLUMNS.

### SHEARWALL TYPE SCHEDULE

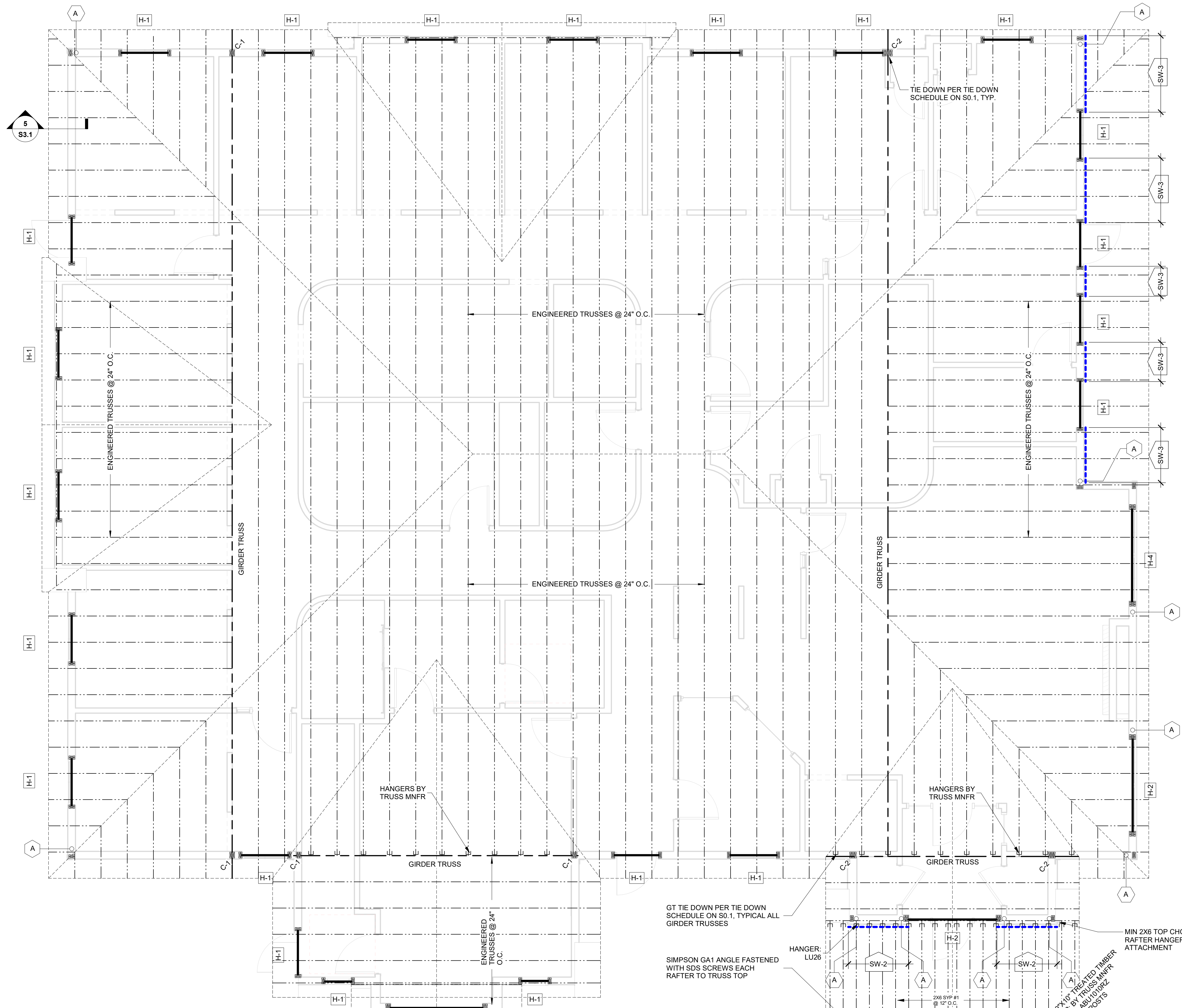
NOTES:  
1. SHEARWALL TYPES LISTED BELOW ARE NOT JOB SPECIFIC. SOME TYPES MAY NOT BE USED ON THE PLANS.  
2. FRAMING MEMBER SUPPORTING MATERIAL SHALL BE SPACED AT 16" O.C. MAXIMUM.  
3. A MINIMUM OF (2) ANCHOR BOLTS SHALL BE USED ON EACH BASE PLATE PIECE. PROVIDE (1) ANCHOR BOLT MINIMUM WITHIN 8" OF EACH END PIECE.  
4. PROVIDE CONTINUOUS DOUBLE 2X TOP PLATE AT ALL SHEARWALLS AND EXTERIOR WALLS, UNLESS NOTED OTHERWISE. LAP SPLICE TOP PLATE A MINIMUM OF 4'-0" WITH 16d NAILS STAGGERED AT 2" O.C. (24) 16d NAILS TOTAL BETWEEN SPLICE JOINTS.)  
5. PROVIDE FULL HEIGHT DOUBLE STUDS AT ENDS OF SHEARWALLS UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.  
6. BLOCK ALL PANEL EDGES. EDGE NAIL SHEATHING AT BLOCKED EDGES.  
7. SEE TYPICAL SHEARWALL DETAIL FOR ADDITIONAL REQUIREMENTS.  
8. ALL EXTERIOR WALLS ARE SW-1 UNLESS NOTED OTHERWISE. SEE FRAMING PLAN FOR SHEARWALL MARKS.

MARK	SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	BOTTOM PLATE ATTACHMENT
SW1	1/2" APA RATED SHEATHING ZIP BLOCKED	8d @ 6" O.C.	8d @ 12" O.C.	CONCRETE: 1/2" Ø TITEN HD ANCHORS WITH MIN 4" EMBED @ 48" O.C. WOOD: (2) 0.131" X 3 1/2" NAILS AT 8" O.C. THRU PLATE AND SHEATHING
SW2	1/2" APA RATED SHEATHING ZIP BLOCKED	8d @ 3" O.C.	8d @ 12" O.C.	CONCRETE: 1/2" Ø TITEN HD ANCHORS WITH MIN 4" EMBED @ 48" O.C. WOOD: (2) 0.131" X 3 1/2" NAILS AT 8" O.C. THRU PLATE AND SHEATHING
SW3	1/2" APA RATED SHEATHING ZIP BLOCKED	8d @ 4" O.C.	8d @ 12" O.C.	CONCRETE: 1/2" Ø TITEN HD ANCHORS WITH MIN 4" EMBED @ 48" O.C. WOOD: (2) 0.131" X 3 1/2" NAILS AT 8" O.C. THRU PLATE AND SHEATHING

### WALL SCHEDULE

MARK	STUD SIZE	STUD GRADE	SPACING	TOP PLATE	NOTES
W-1	2X6	SPF #1/#2	16" O.C.	(2) MSR SP 1850	
W-2	2X6	SPF #1/#2	16" O.C.	(2) SPF #1/2	
W-3	2X4	SPF #1/#2	16" O.C.	(2) SPF #1/2	

- ### TYPICAL WALL NOTES:
- ALL EXTERIOR WALLS ARE MARK W-1 UNLESS NOTED OTHERWISE
  - DOUBLE TOP PLATE SIZE AND GRADE SHALL MATCH WALL STUD OR BETTER, U.N.O.
  - AT PLATES IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER, BOTTOM PLATE SHALL BE TREATED SYP OR TREATED LSL
  - PROVIDE DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE U.N.O.
  - BOTTOM PLATE TO BE SYP #2 PRESSURE TREATED UNLESS NOTED OTHERWISE



### COLUMN / POST SCHEDULE

MARK	SIZE	GRADE	NOTES
C-1	(3) 2X6	SPF #1/#2	
C-2	(4) 2X6	SYP #1	
C-3	HSS 4"X4"X1/4"	ASTM A500 GR. B	

### HOLD DOWN SCHEDULE

MARK	DESCRIPTION	ANCHOR	FASTENERS TO STUDS	NUMBER OF END STUDS
A	SIMPSON HDUE5-SDS3 (HOLD DOWN CAPACITY = 4,700 LBS)	5/8" DIAM. X 16" A307 THREADED ROD, EPOXIED WITH HILTY HY-200 OR SIMPSON SET-3G. MINIMUM EMBEDMENT 8" INTO CONCRETE	(10) 1/4 x 3 SDS	2

No.	Date	Description

Page Information





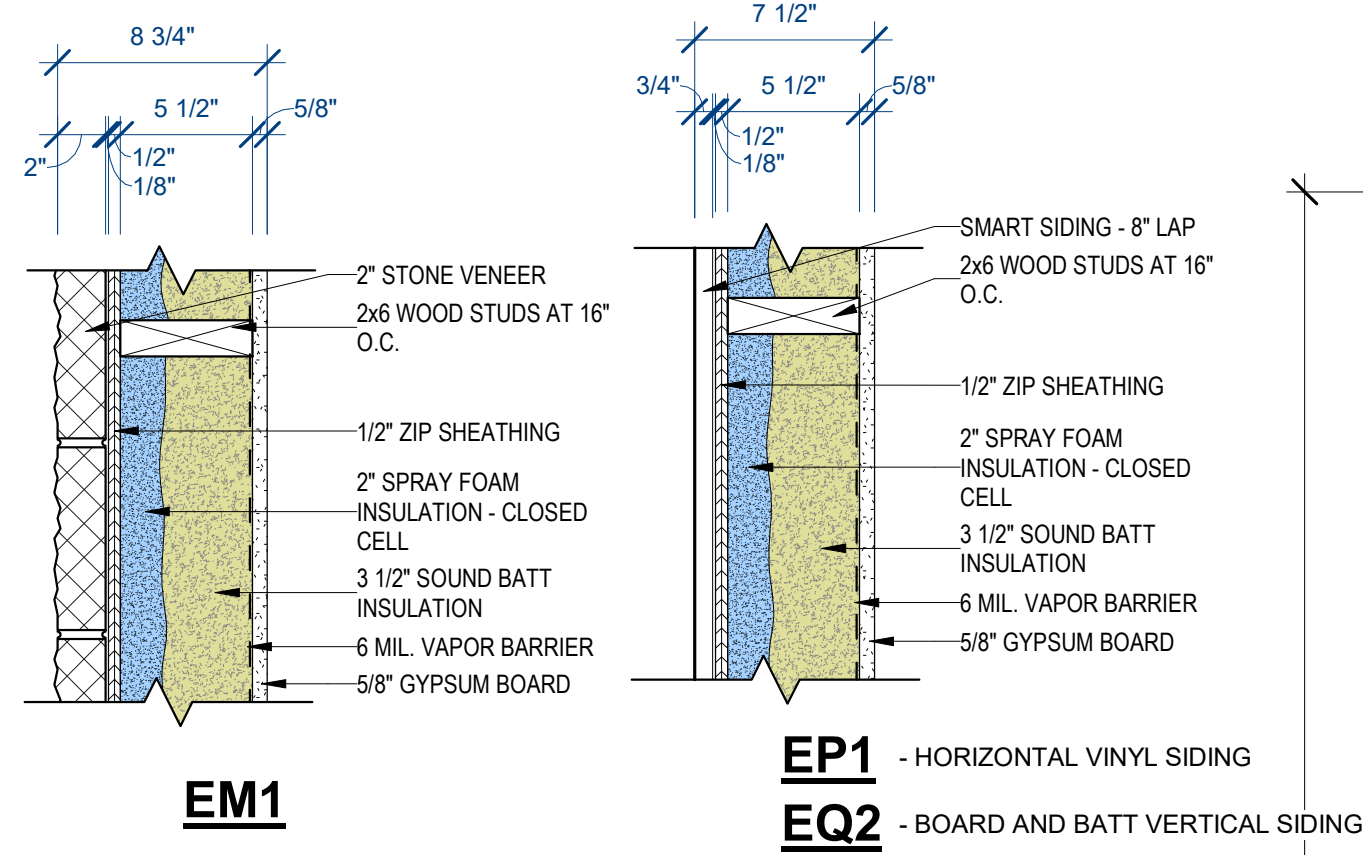


**OVERALL FIRST FLOOR PLAN**  
 Scale: 1/4" = 1'-0" 5,280 SQ.FT.

**PROPOSED NEW BUILDING FOR:**  
**MEADOW VIEW DENTAL**  
 LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI  
**OVERALL FLOOR PLAN**

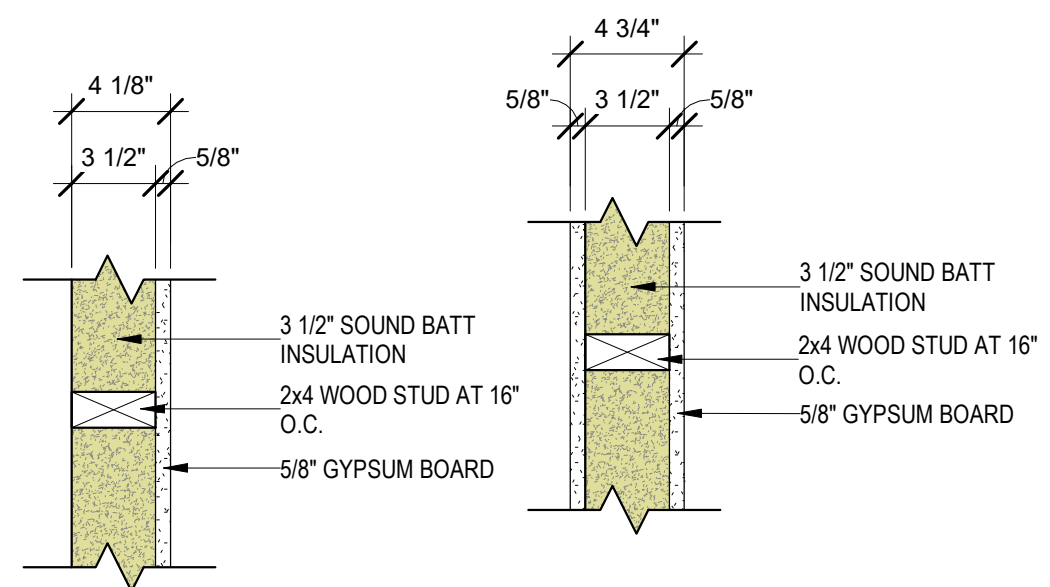
No.	Date	Description

Drawn By \_\_\_\_\_ Approved By \_\_\_\_\_  
 Project No. 25-0082 Date 3/19/26  
 Sheet No. \_\_\_\_\_



**EXTERIOR WALL TYPES**

Scale: 1 1/2" = 1'-0"



**INTERIOR WALL TYPES**

Scale: 1 1/2" = 1'-0"



**FIRST FLOOR DIMENSION PLAN**

Scale: 1/4" = 1'-0"



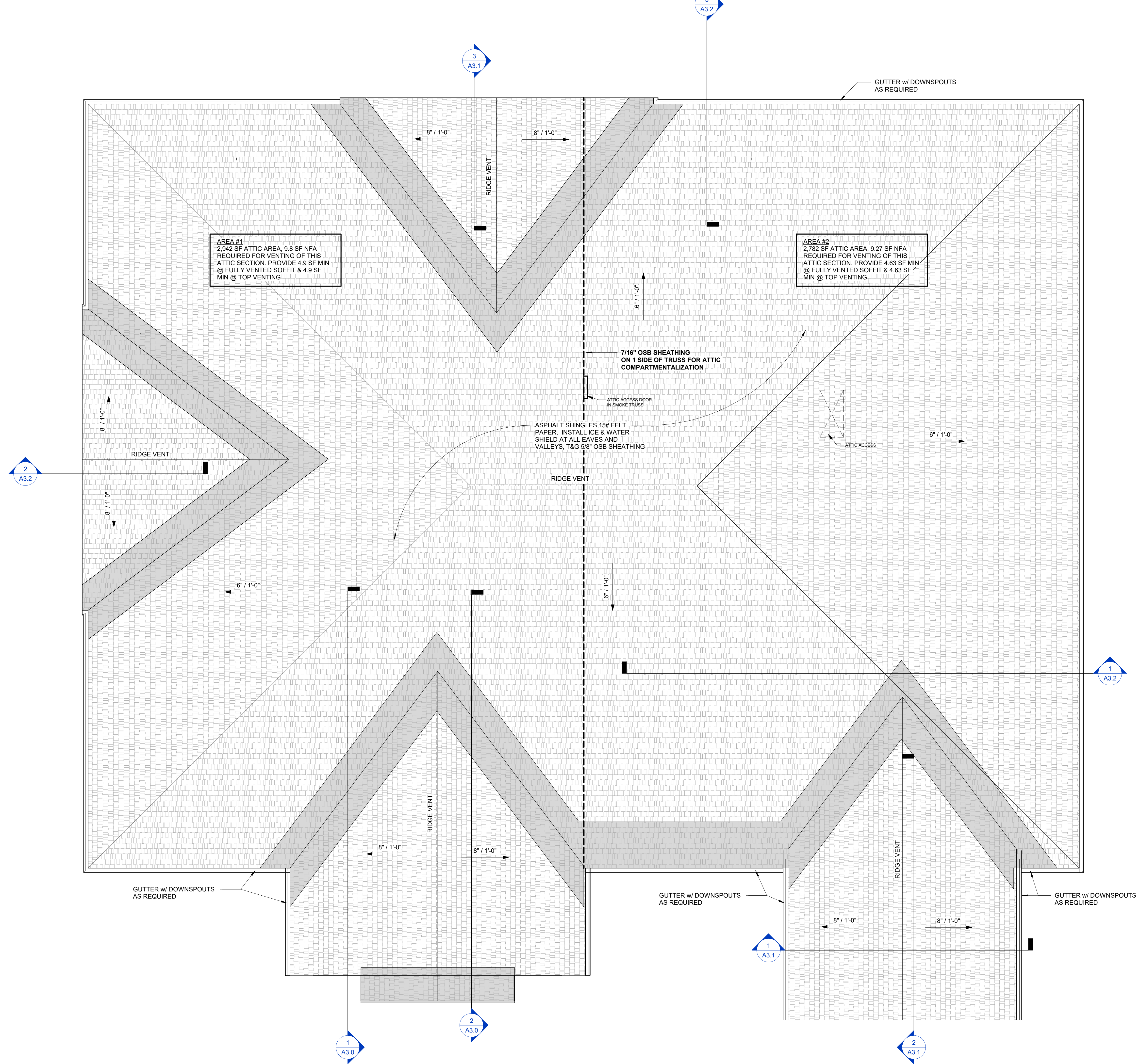
No.	Date	Description

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Project No.	Date
25-0082	3/19/26
Sheet No.	



# OVERALL ROOFING PLAN

Scale: 1/4" = 1'-0"



### ROOF SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	SADDLES AND CRICKETS WITH ARROW DEFINING THE SLOPE DIRECTION



N1040 CRAFTSMEN DRIVE  
GREENVILLE, WI 54942  
PHONE: 920.757.0999  
FAX: 920.757.1015

## PROPOSED NEW BUILDING FOR:

### MEADOW VIEW DENTAL

LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI

## ROOF PLAN

No.	Date	Description

Page Information

Drawn By \_\_\_\_\_ Approved By \_\_\_\_\_

Project No. 25-0082 Date 3/19/26

Sheet No. \_\_\_\_\_

# A1.3

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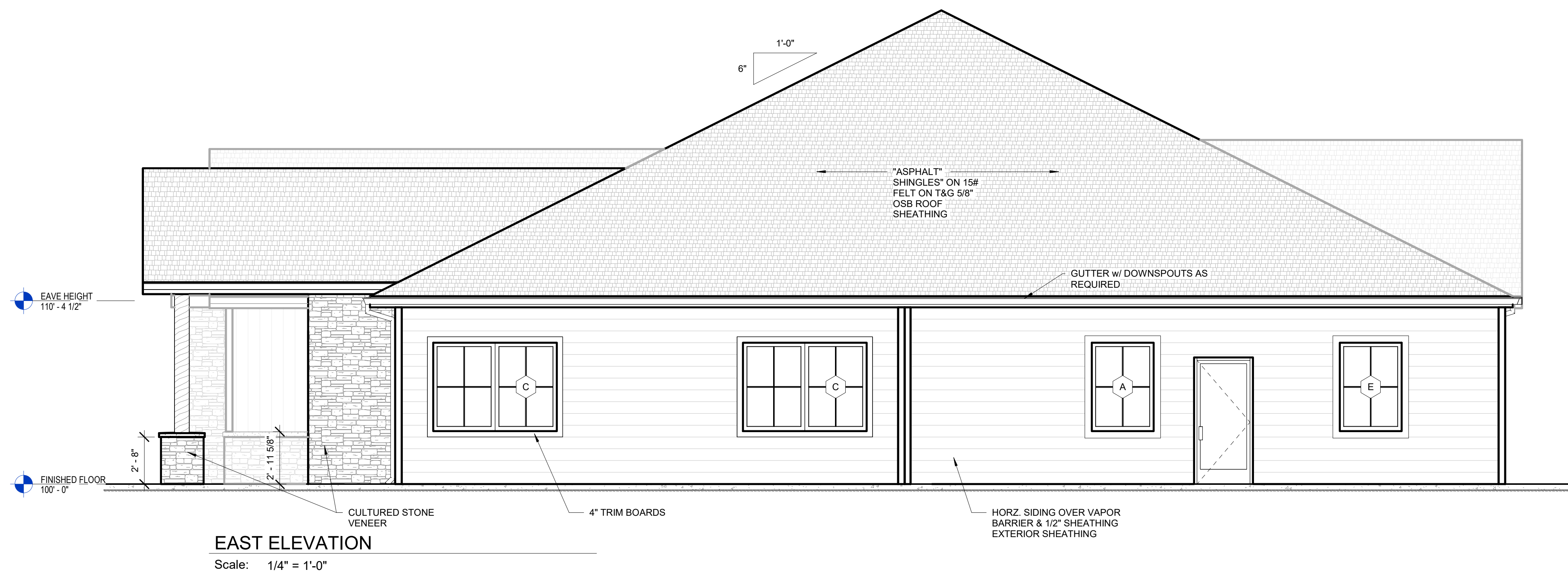


PROPOSED NEW BUILDING FOR:

MEADOW VIEW DENTAL

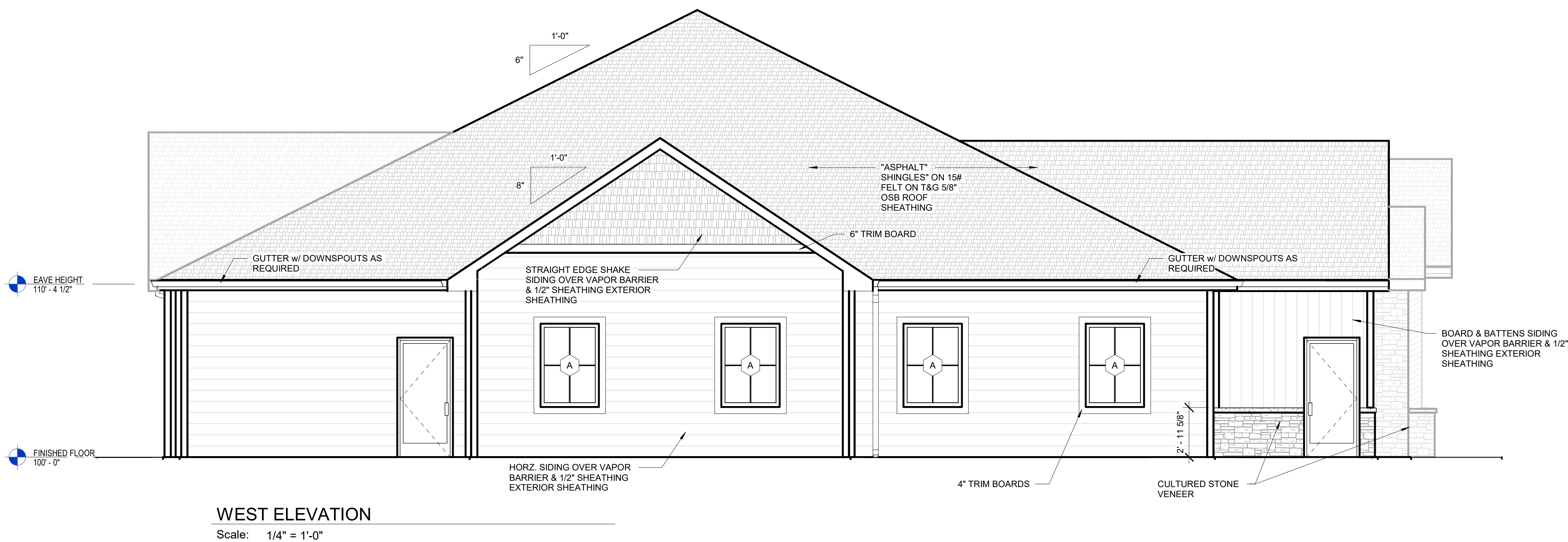
LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI

BUILDING ELEVATIONS



**EAST ELEVATION**

Scale: 1/4" = 1'-0"



**WEST ELEVATION**

Scale: 1/4" = 1'-0"

No.	Date	Description

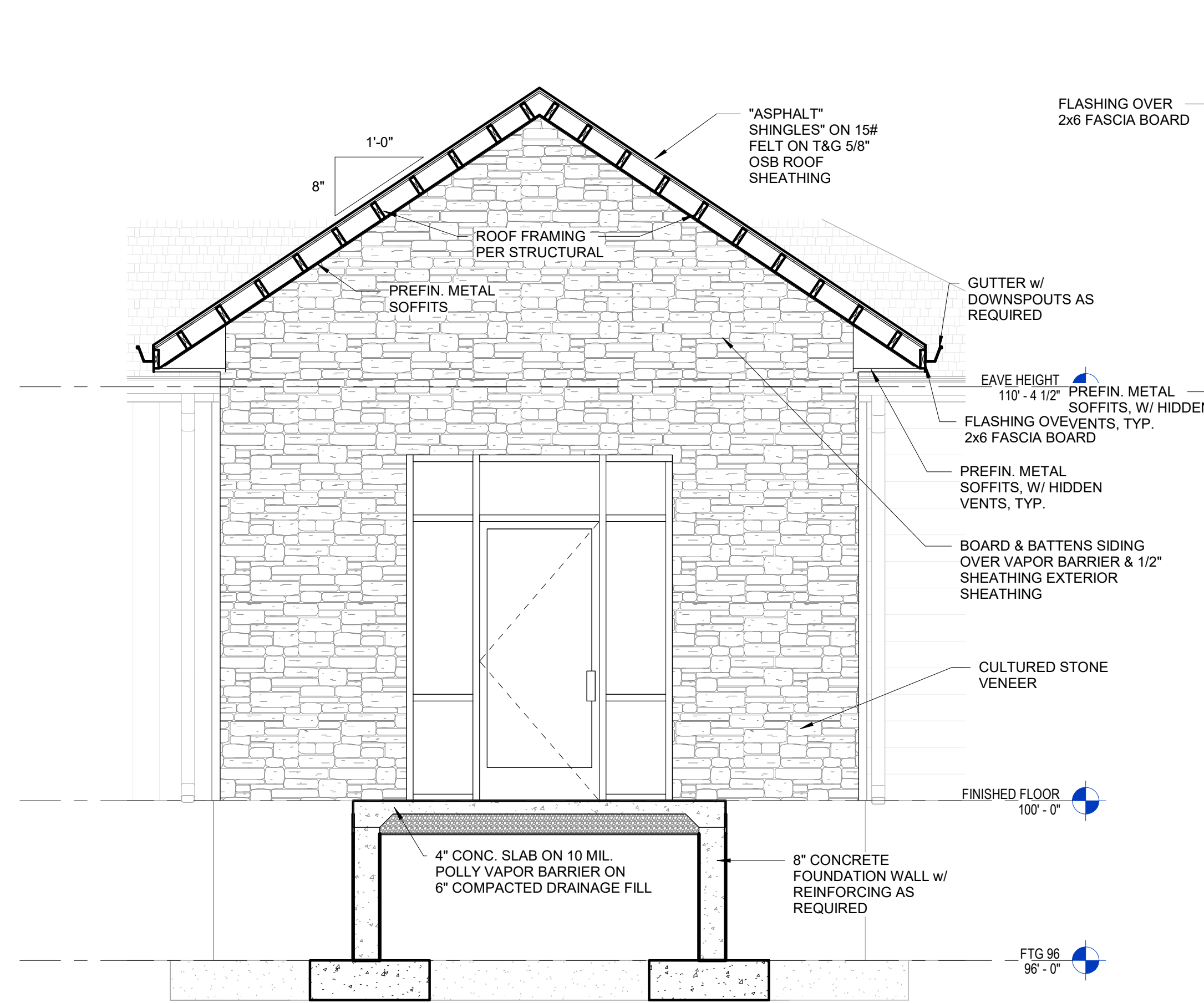
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Project No. 25-0082	Date 3/19/26
Sheet No.	

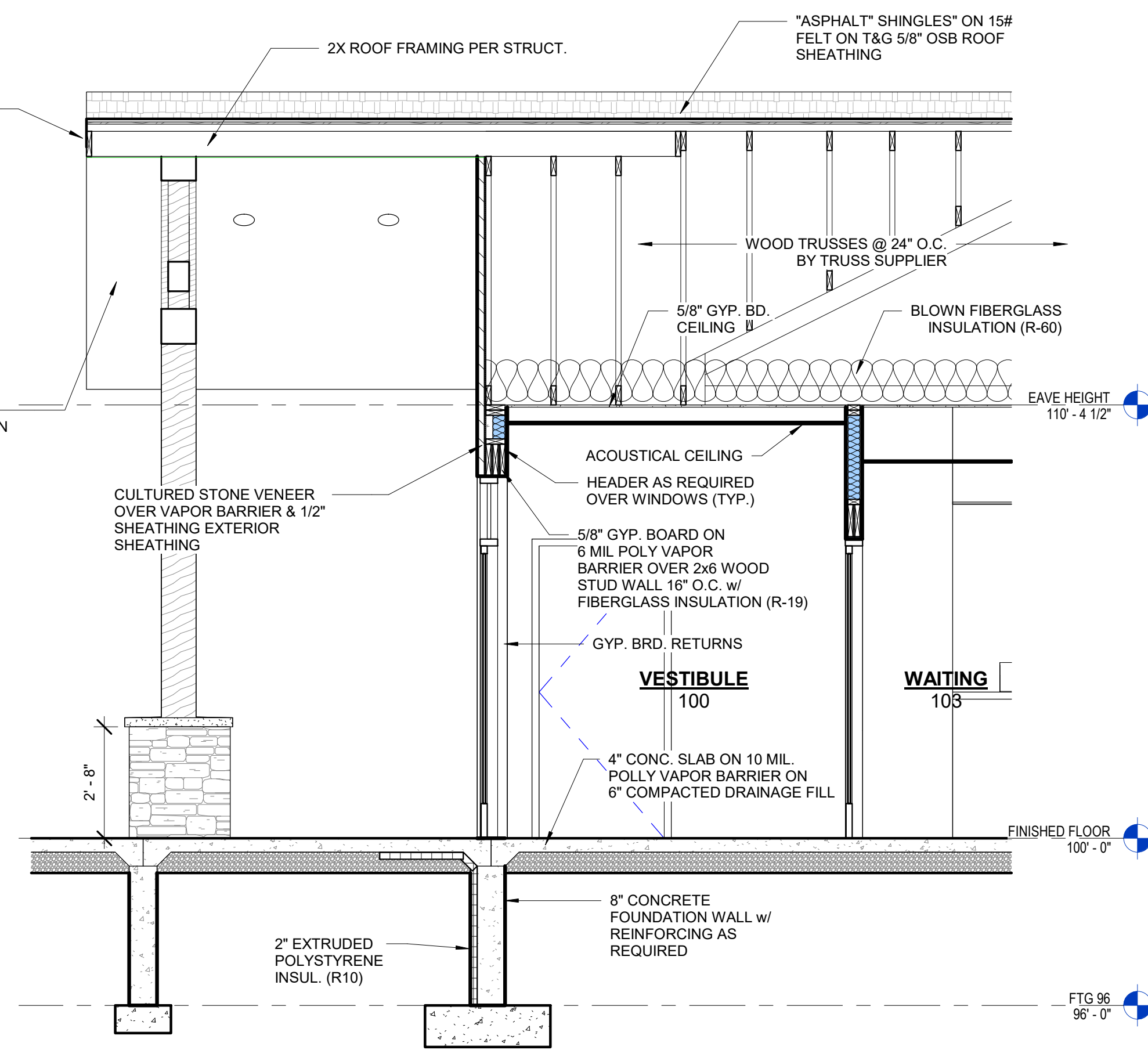
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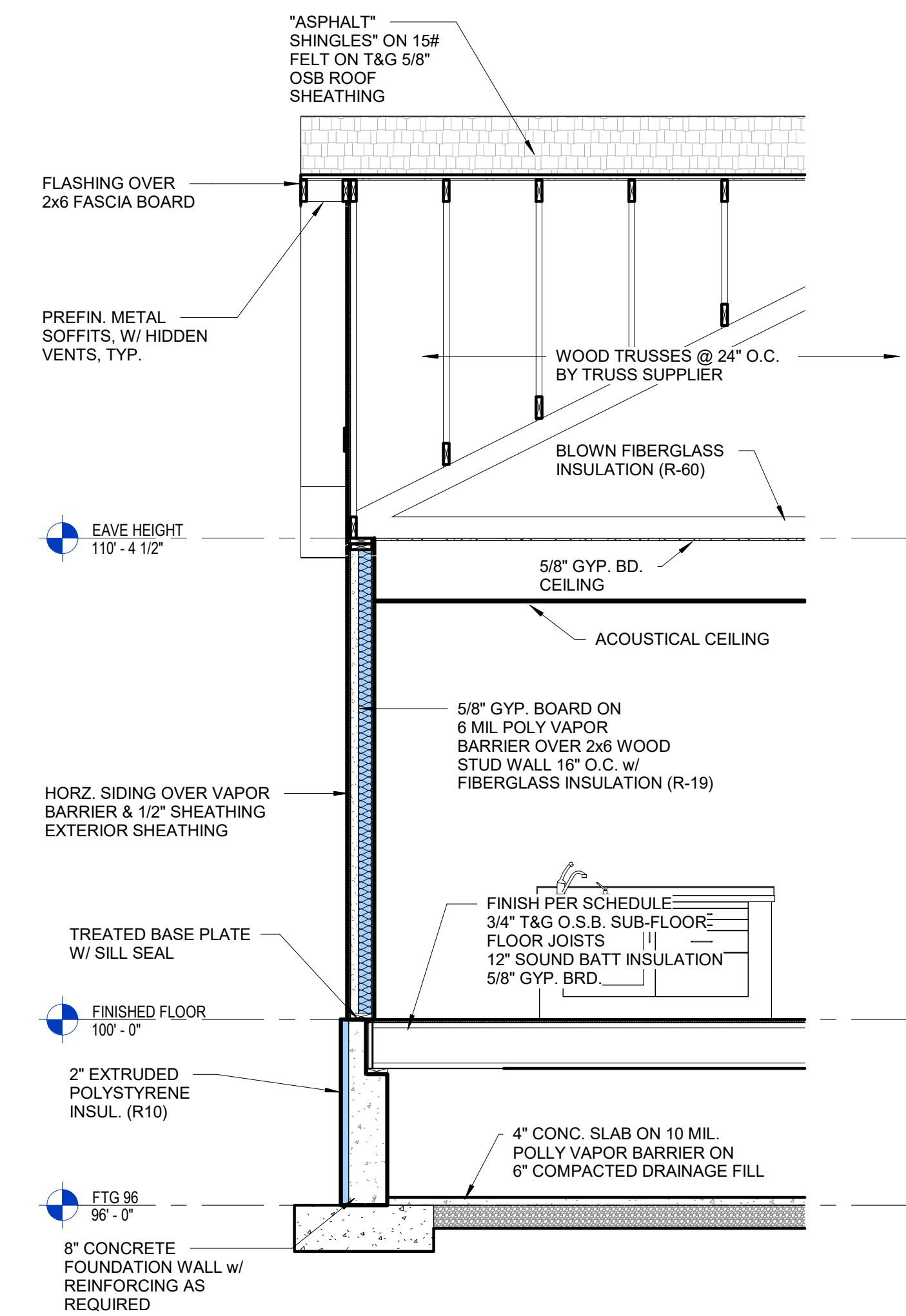
PROPOSED NEW BUILDING FOR:  
**MEADOW VIEW DENTAL**  
LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI  
**BUILDING SECTIONS**



**1 WALL SECTION**  
A3.1 3/8" = 1'-0"  
AS REFERENCED BY:A1.1



**2 WALL SECTION**  
A3.1 3/8" = 1'-0"  
AS REFERENCED BY:A1.1

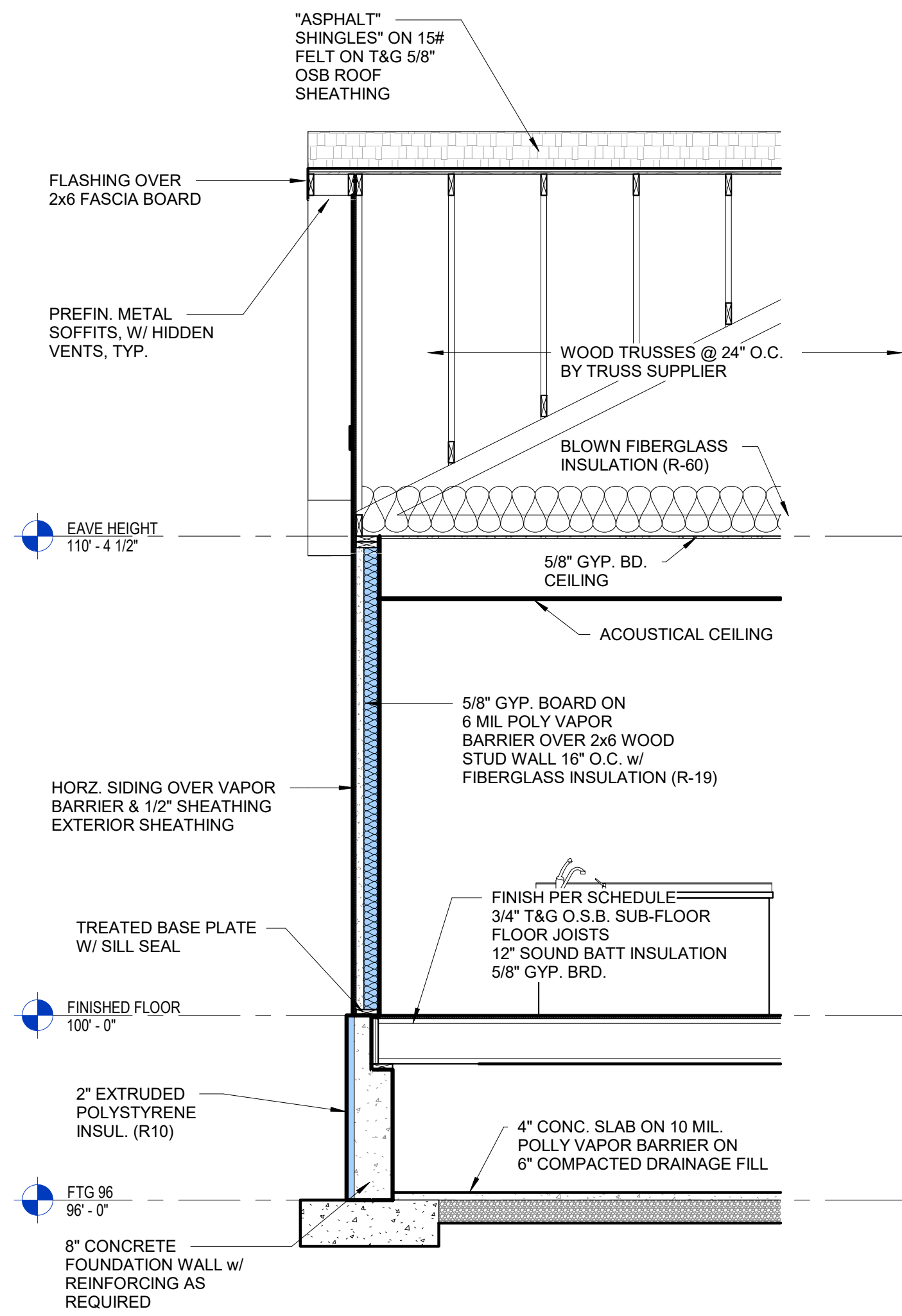


**3 WALL SECTION**  
A3.1 3/8" = 1'-0"

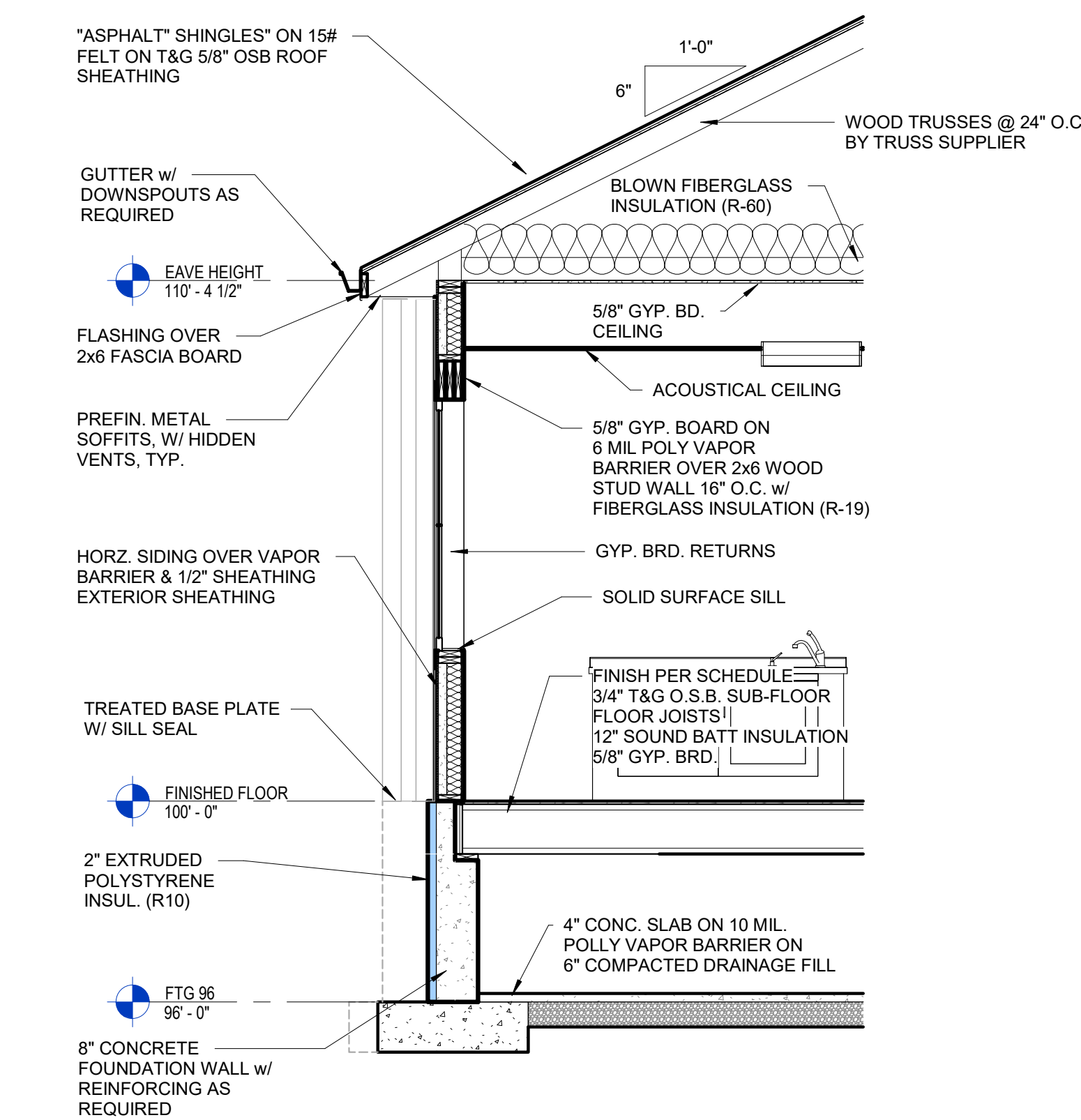
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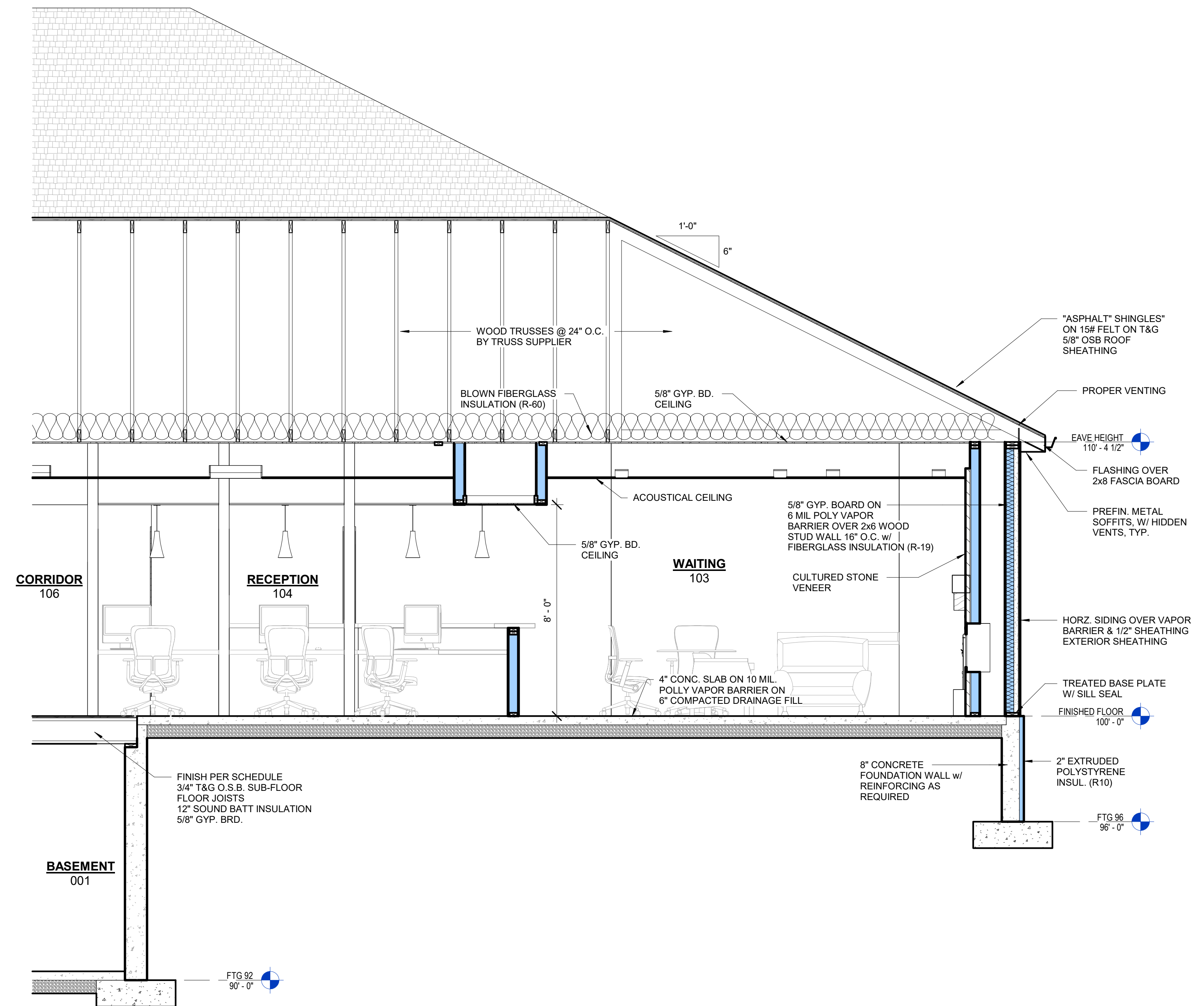
Drawn By	Approved By
Designer	Checker
Project No.	Date
25-0082	3/19/26
Sheet No.	



**2 WALL SECTION**  
A3.2 3/8" = 1'-0"



**3 WALL SECTION**  
A3.2 3/8" = 1'-0"

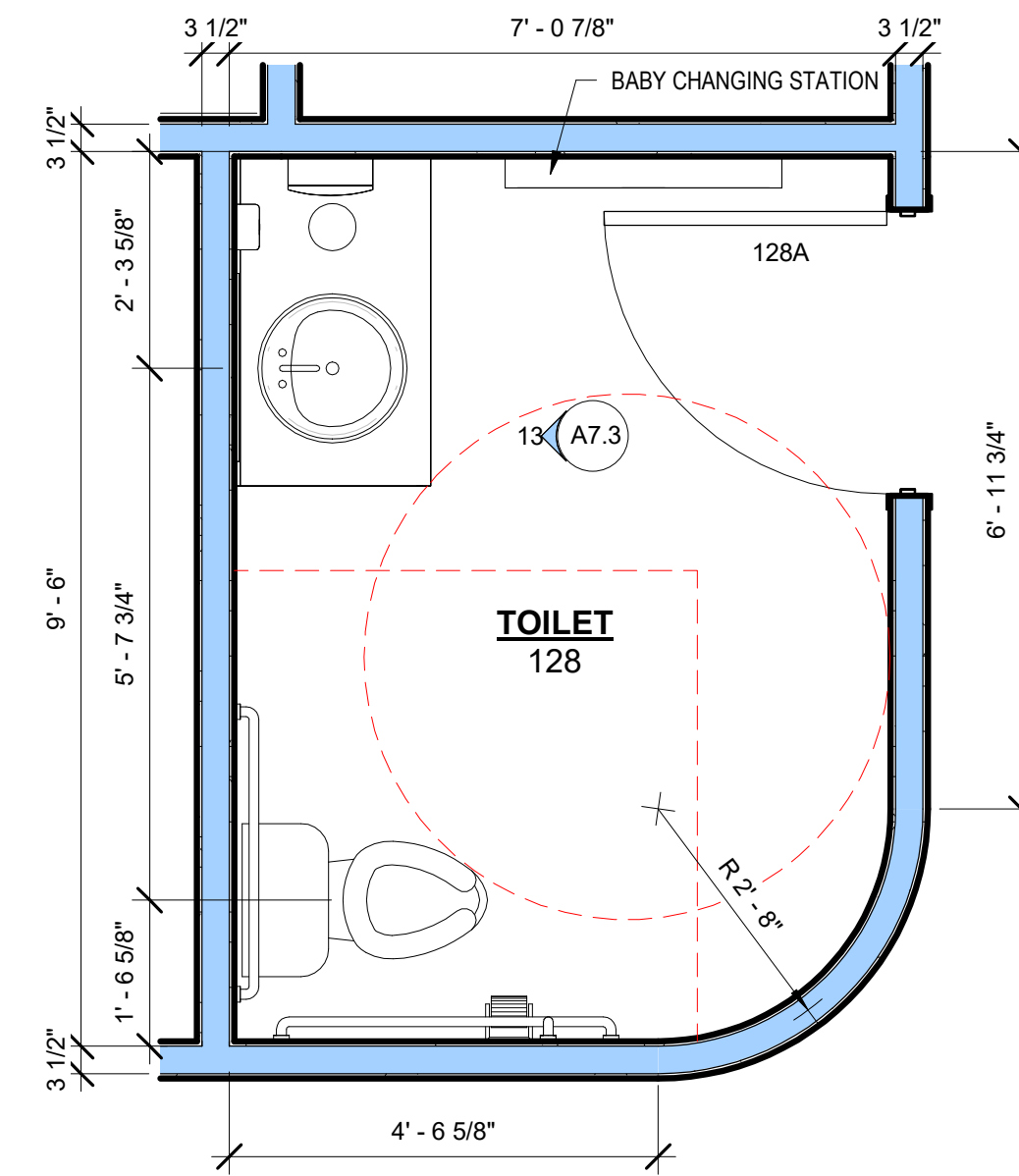


**1 WALL SECTION**  
A3.2 3/8" = 1'-0"  
AS REFERENCED BY:A1.1

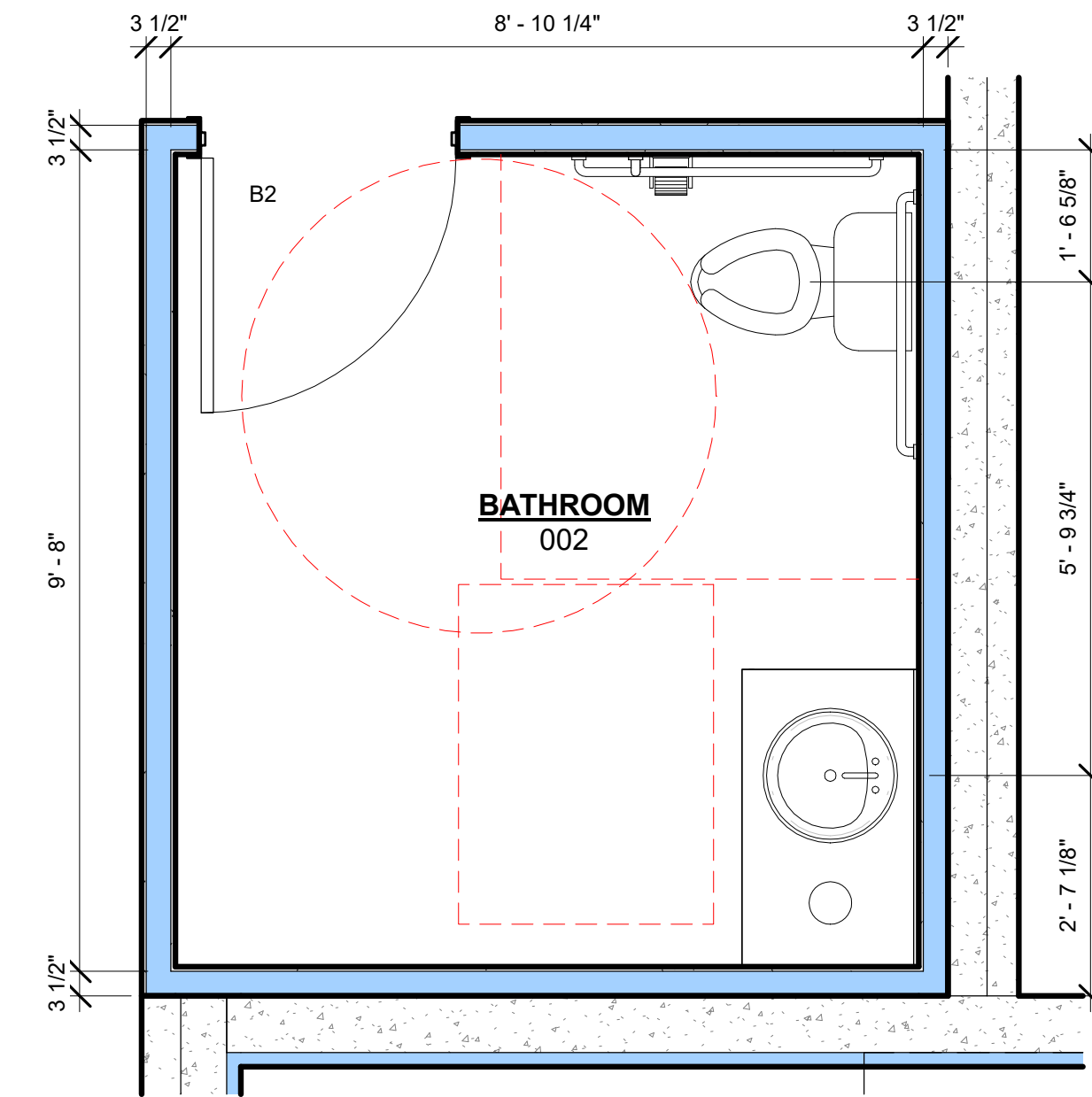
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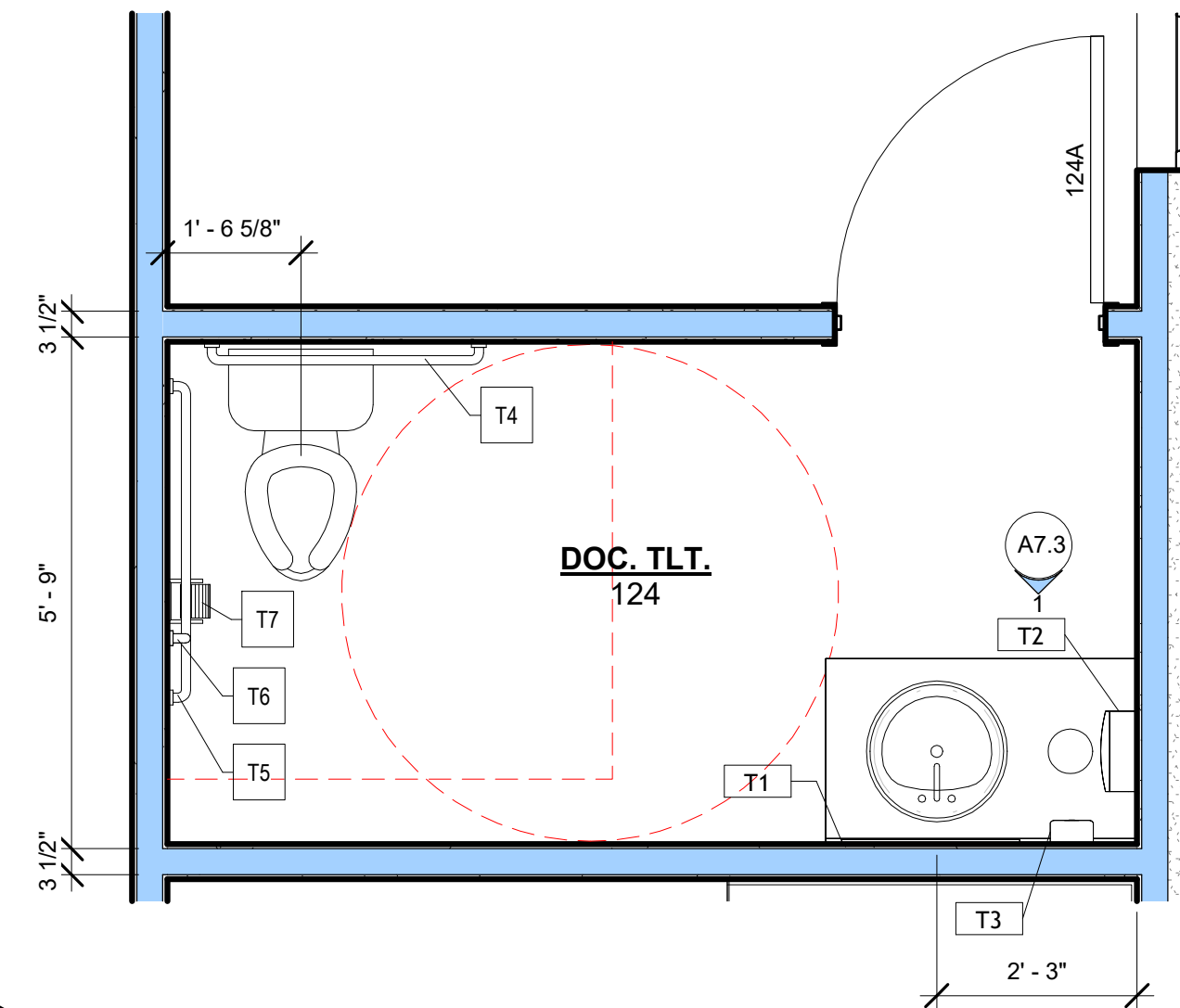
Drawn By JJW	Approved By Checker
Project No. 25-0082	Date 3/19/26
Sheet No.	



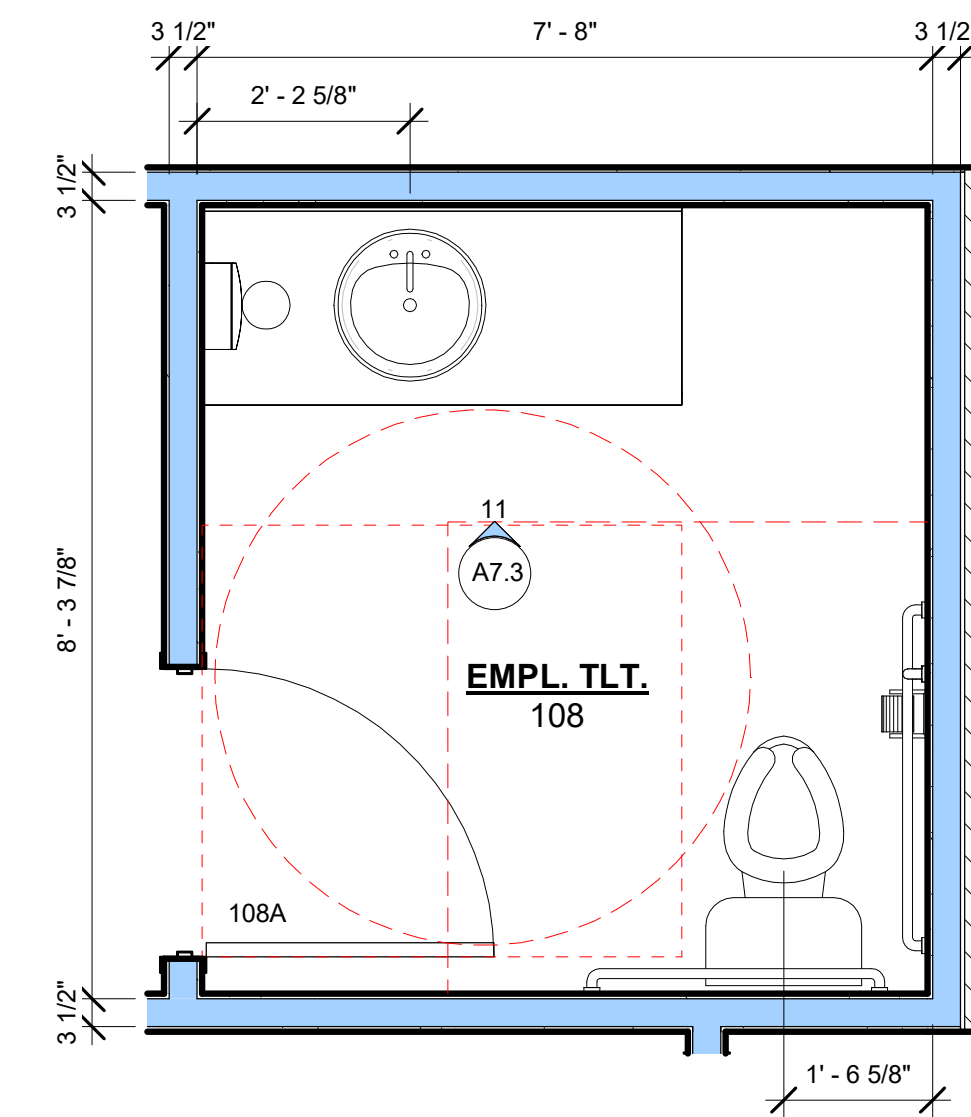
**2 Toilet 128**  
A4.2 1/2" = 1'-0"



**1 Bathroom 002**  
A4.2 1/2" = 1'-0"



**4 Doc. Tlt. 124**  
A4.2 1/2" = 1'-0"



**3 Empl. Tlt. 108**  
A4.2 1/2" = 1'-0"

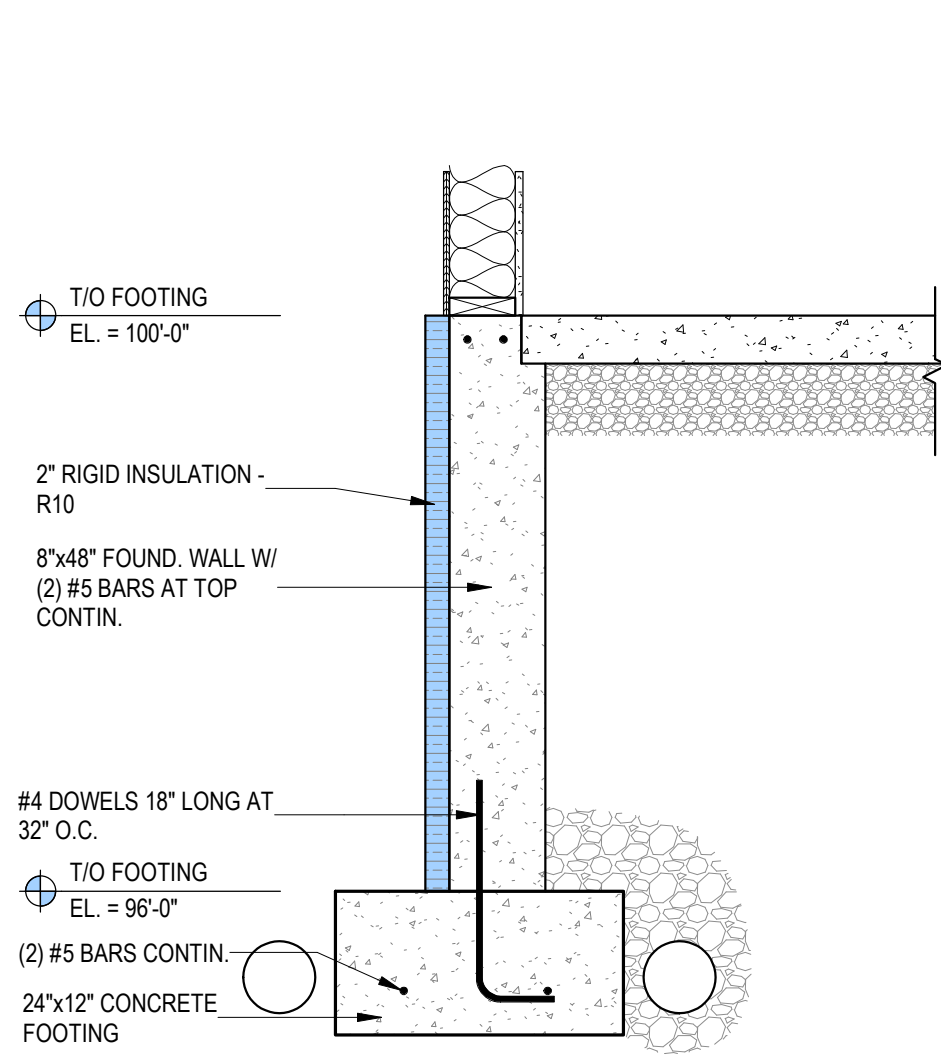
**TOILET AND BATH ACCESSORIES**

- T-1 = MIRROR (24"x36") - BRADLEY MODEL 781-2-2436
- T-2 = PAPER TOWEL - BRADLEY MODEL 244
- T-3 = SOAP DISPENSER - BRADLEY MODEL 6A00-11
- T-4 = GRAB BAR (36" LONG) - BRADLEY MODEL 812-2
- T-5 = GRAB BAR (42" LONG) - BRADLEY MODEL 812-2
- T-6 = VERTICAL GRAB BAR (18" LONG) BRADLEY MODEL 812-2
- T-7 = TOILET TISSUE DISPENSER - BRADLEY 5234

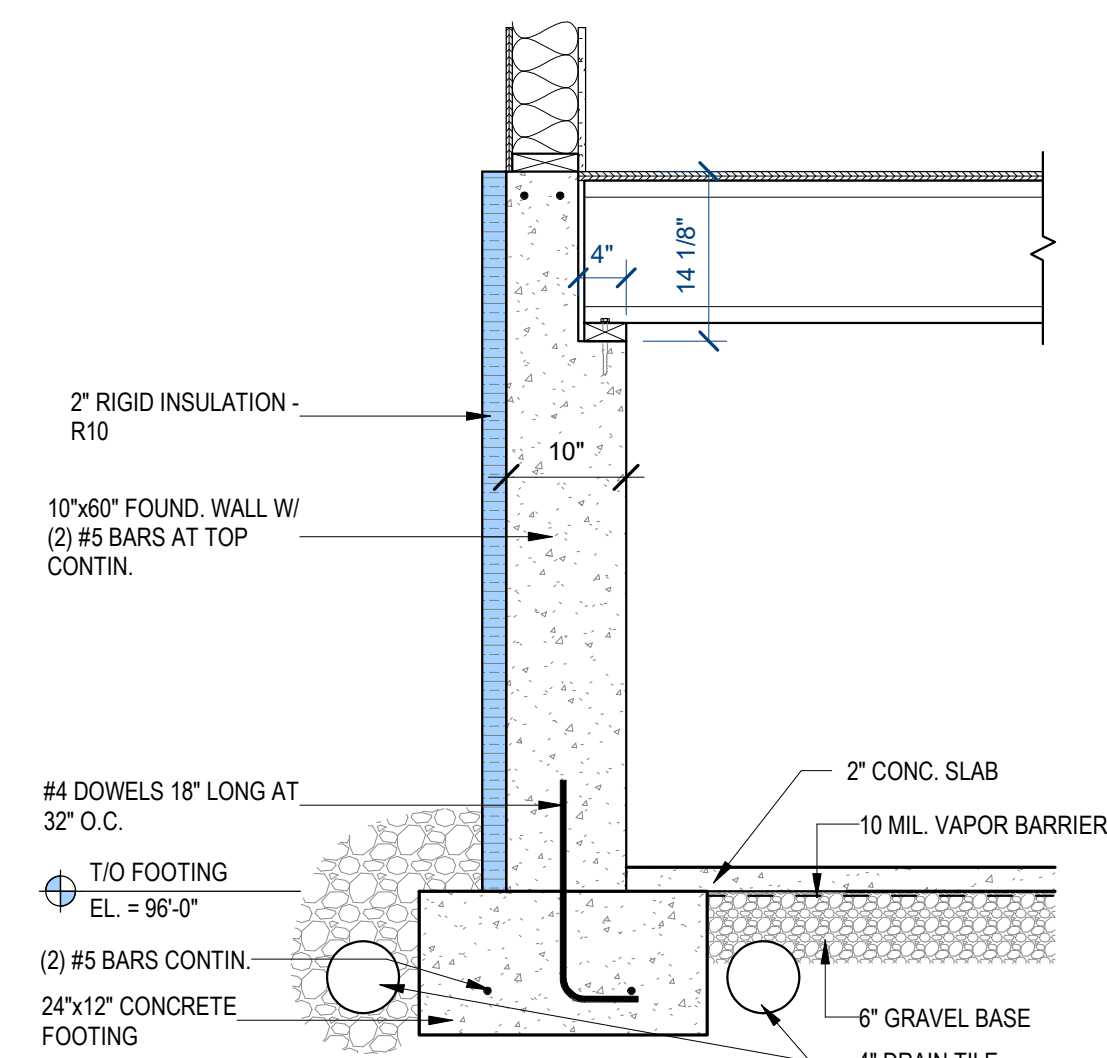
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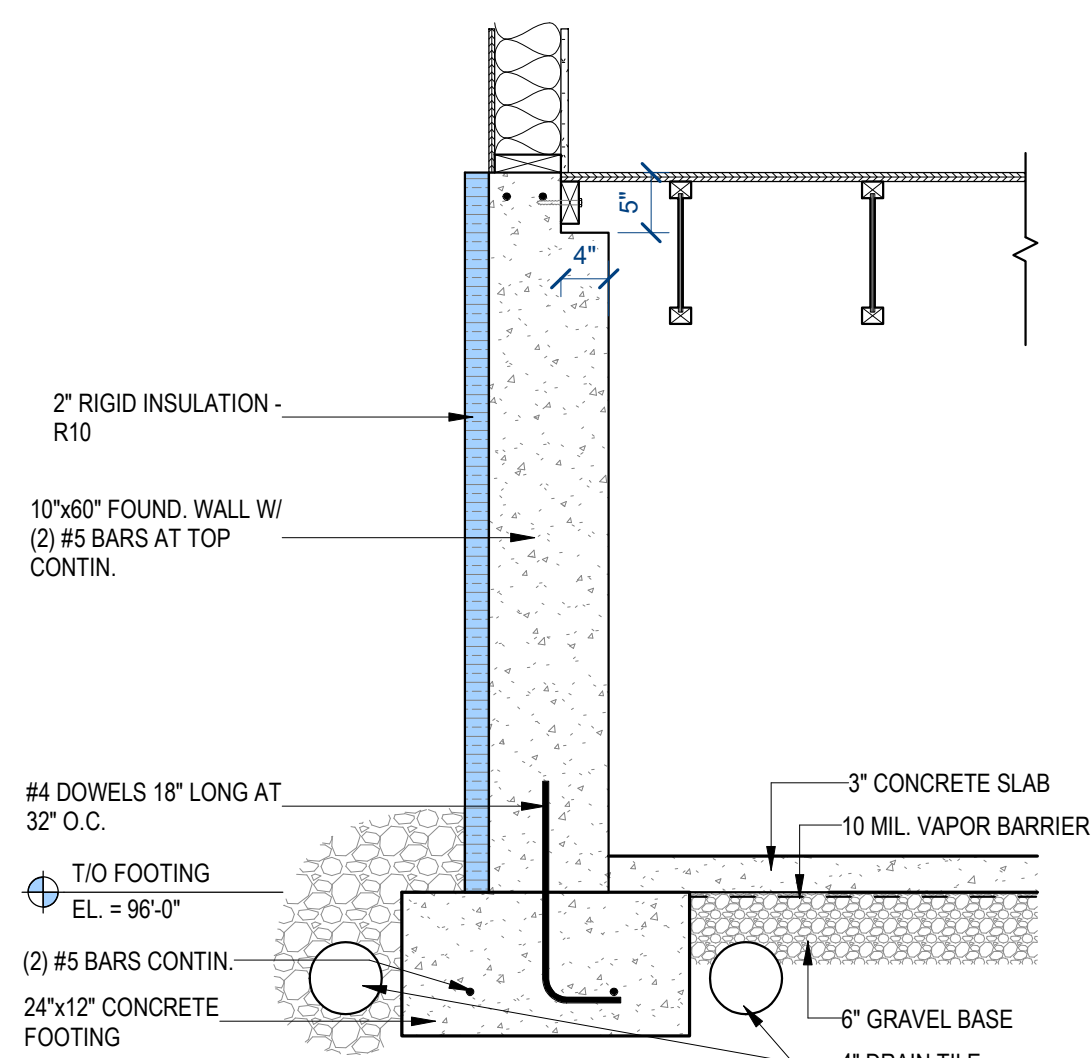
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Project No.: 25-0082  
Date: 3/19/26  
Sheet No.:



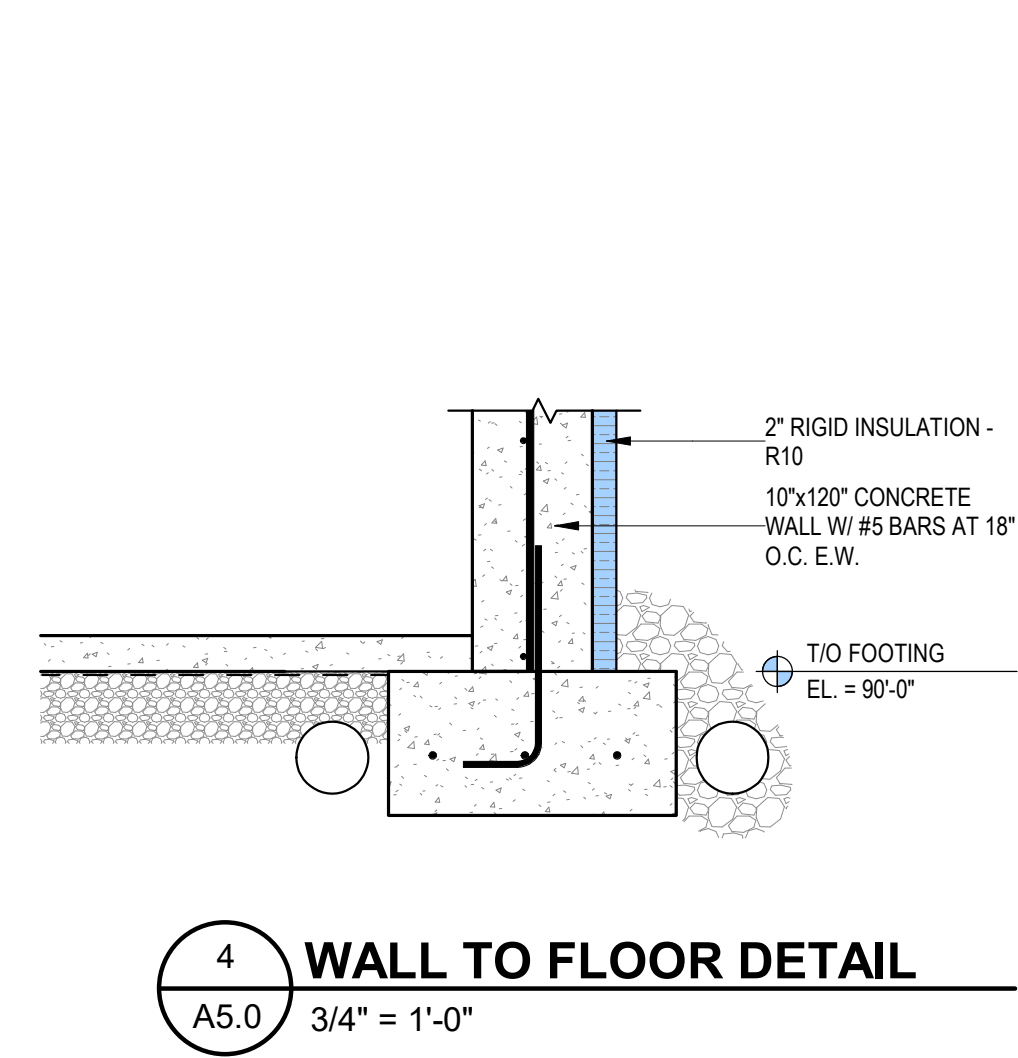
**1 FROST WALL DETAIL**  
A5.0 3/4" = 1'-0"  
AS REFERENCED BY:A1.0



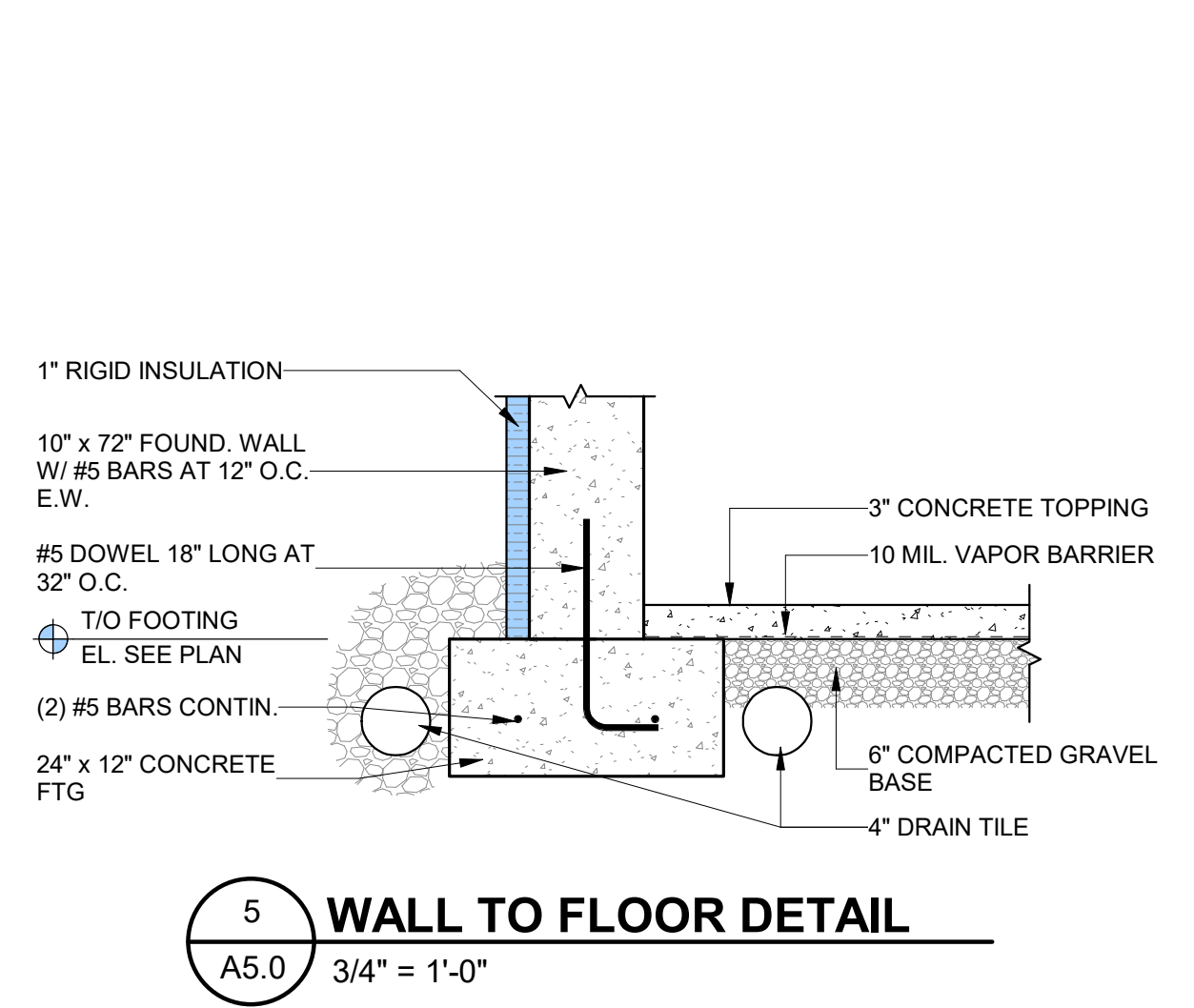
**2 WALL TO FLOOR DETAIL**  
A5.0 3/4" = 1'-0"  
AS REFERENCED BY:A1.0



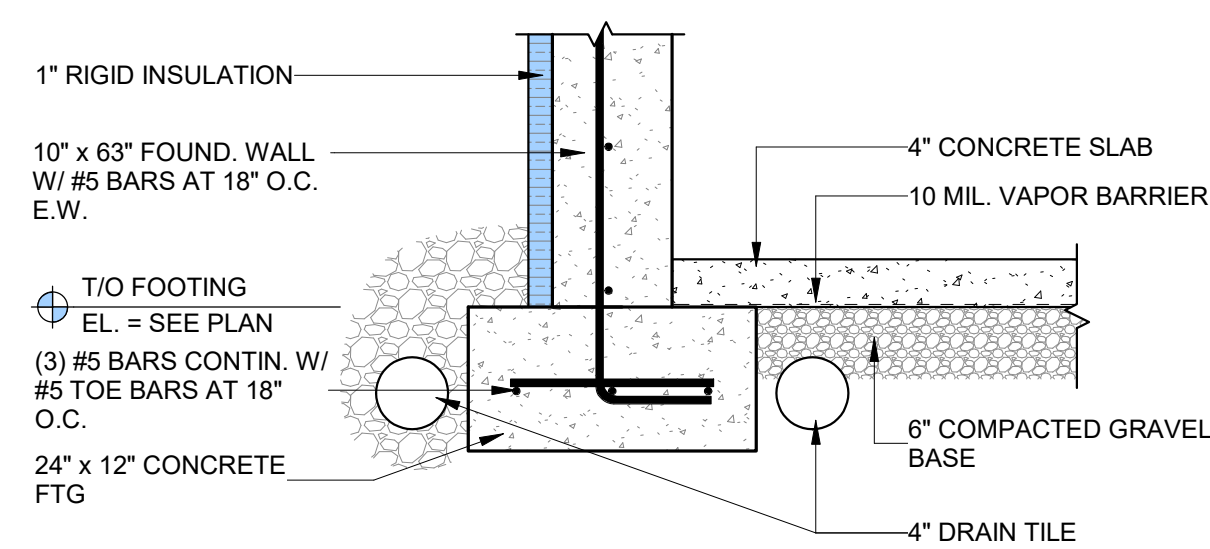
**3 WALL TO FLOOR DETAIL**  
A5.0 3/4" = 1'-0"



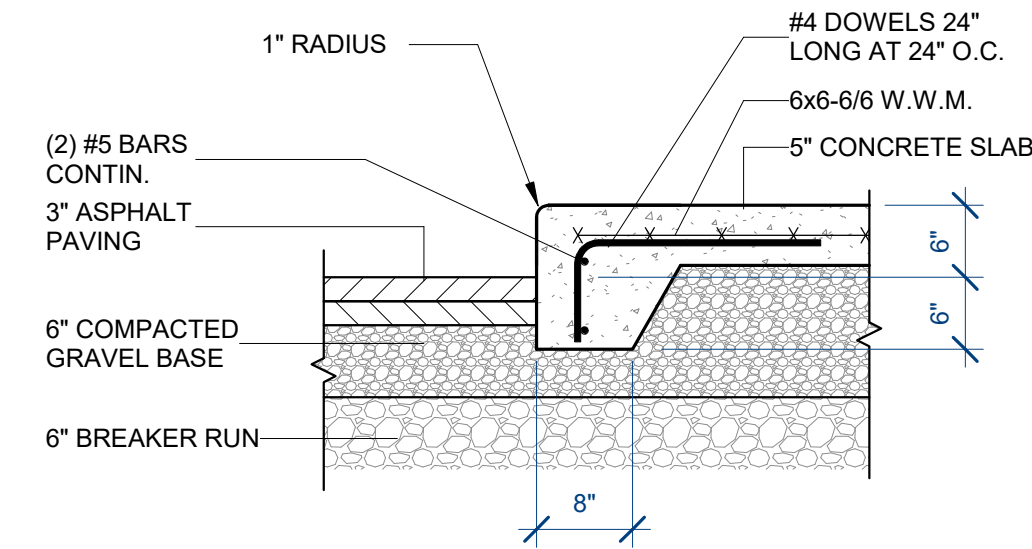
**4 WALL TO FLOOR DETAIL**  
A5.0 3/4" = 1'-0"



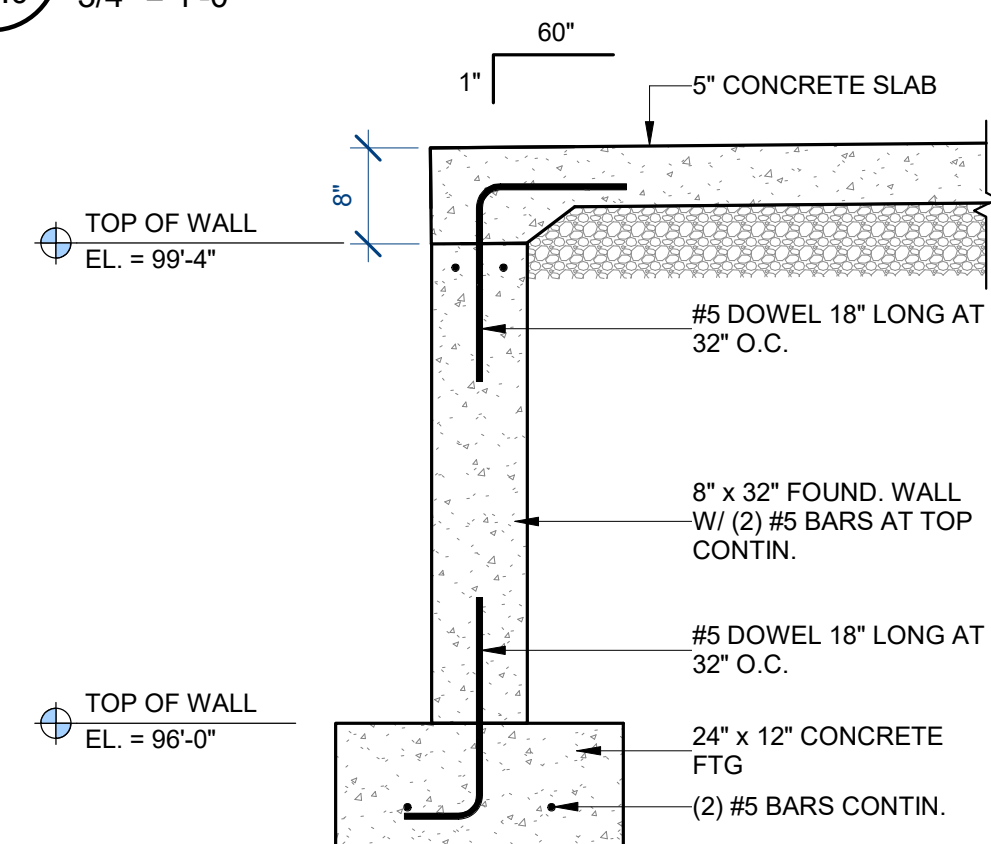
**5 WALL TO FLOOR DETAIL**  
A5.0 3/4" = 1'-0"



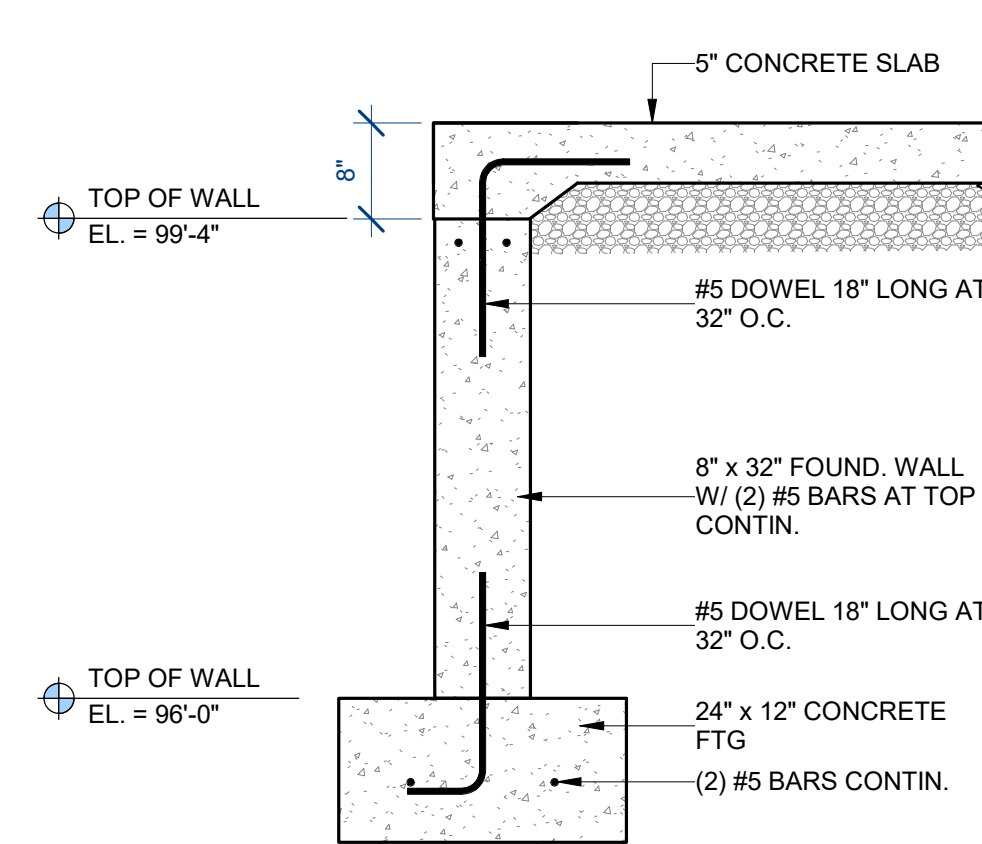
**6 WALL TO FLOOR DETAIL**  
A5.0 3/4" = 1'-0"



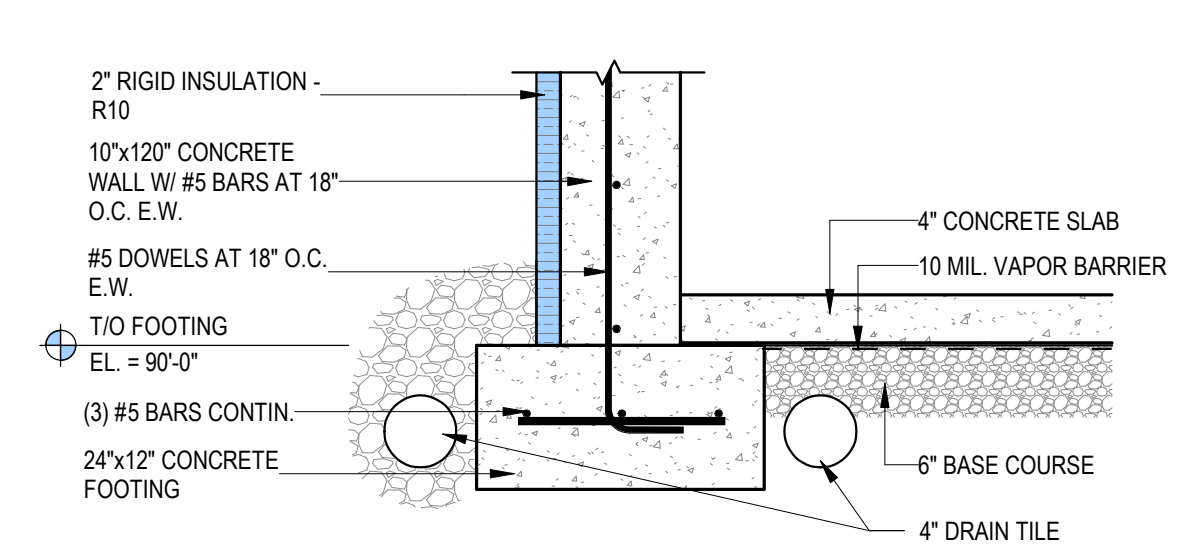
**7 SIDEWALK DETAIL**  
A5.0 3/4" = 1'-0"



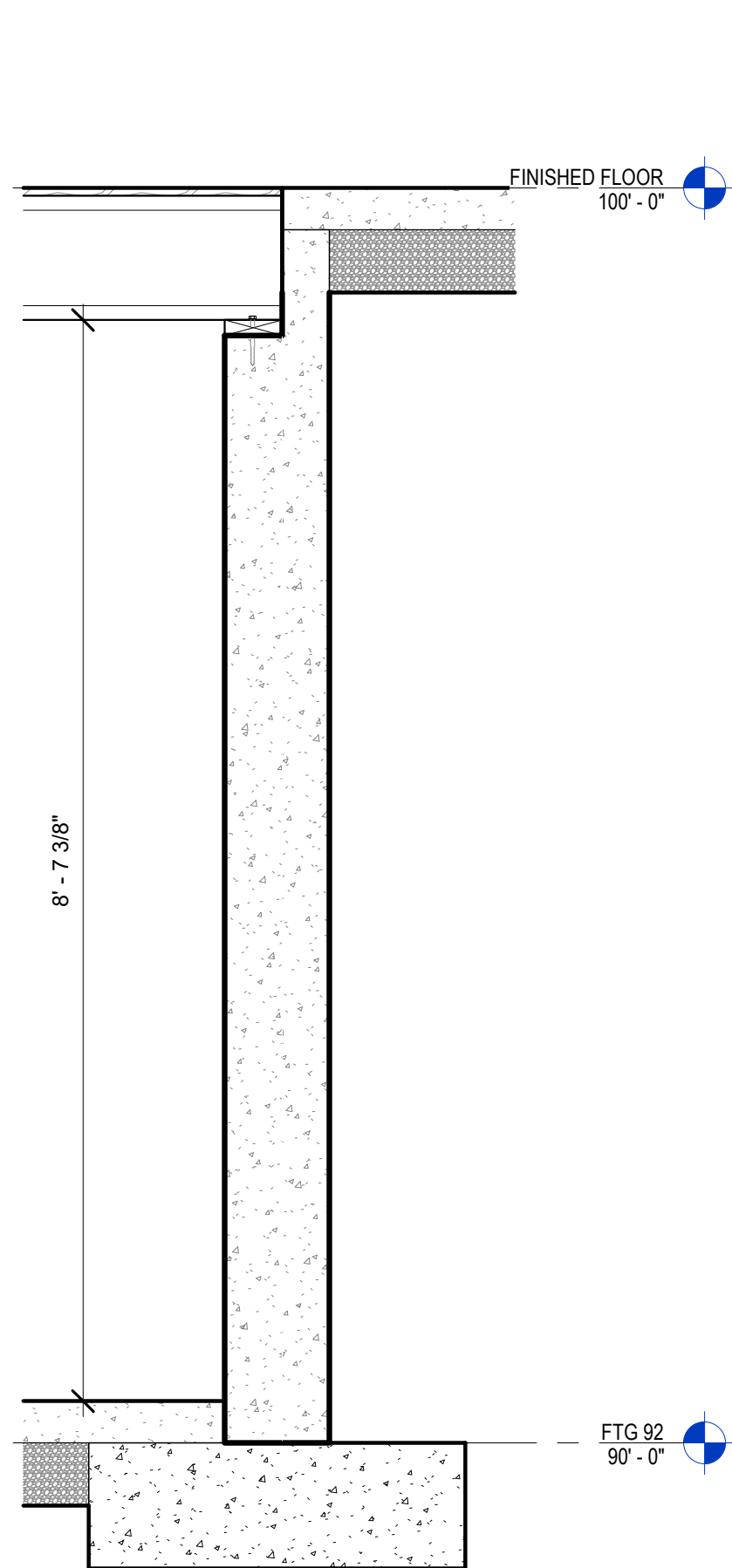
**8 WALL SECTION**  
A5.0 3/4" = 1'-0"  
AS REFERENCED BY:A1.0



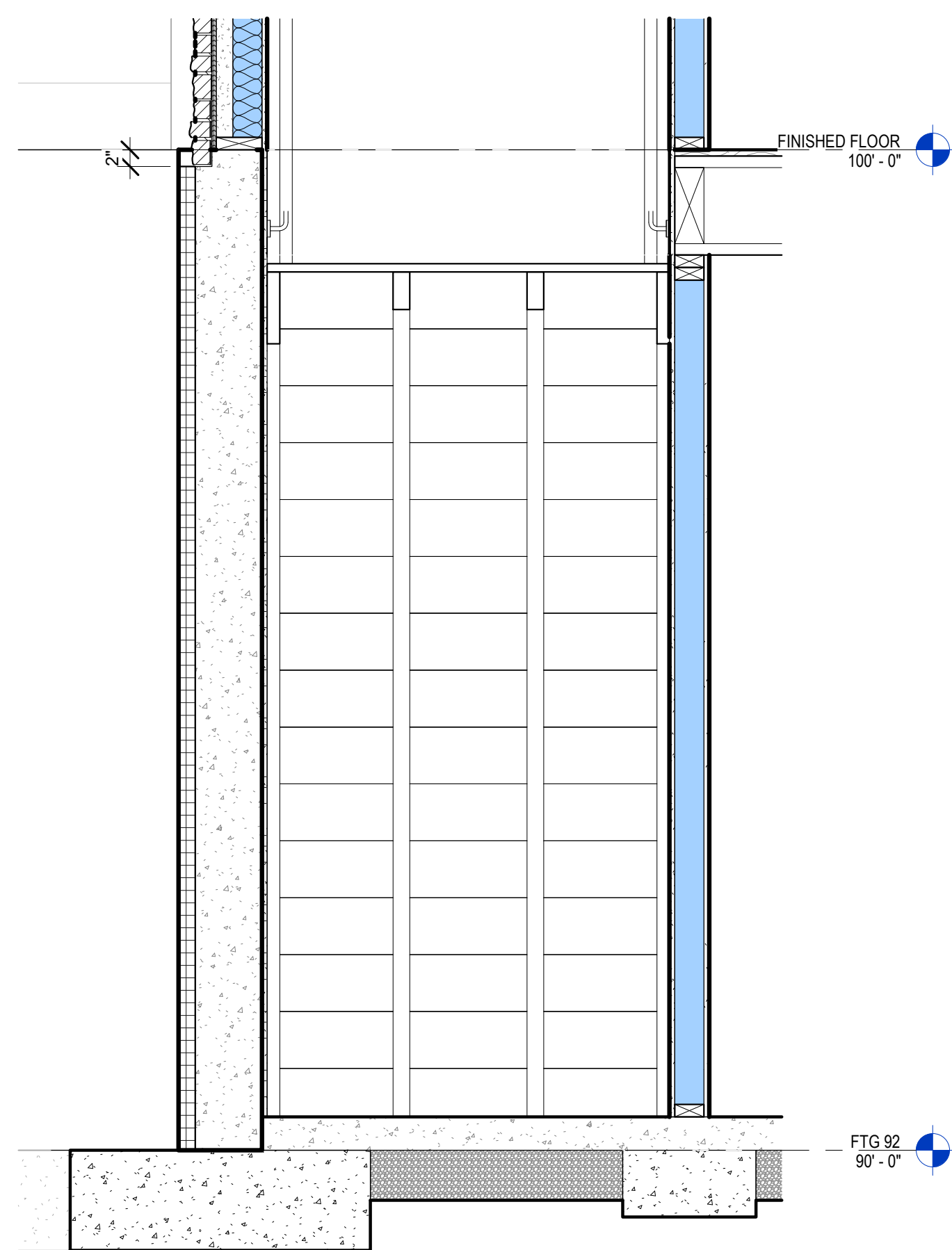
**9 WALL SECTION**  
A5.0 3/4" = 1'-0"



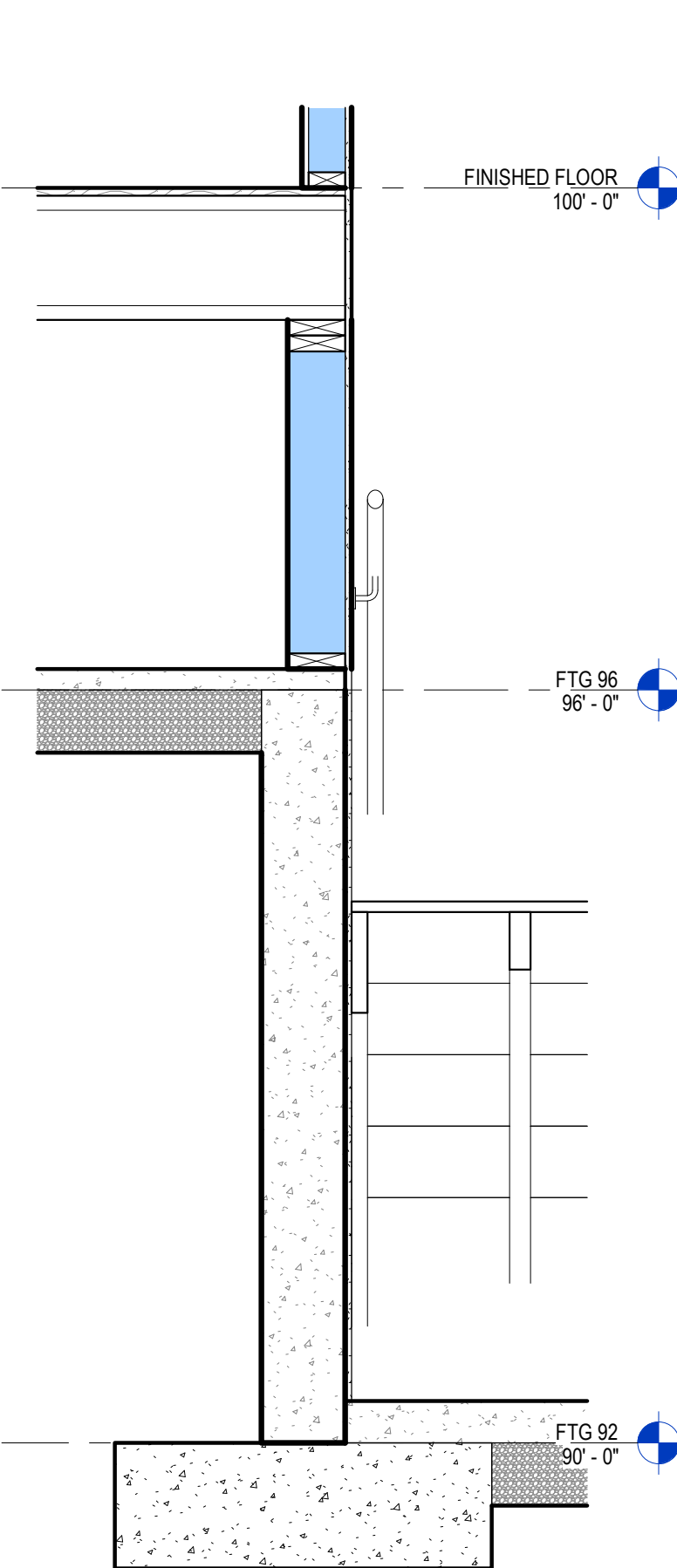
**22 WALL TO FLOOR DETAIL**  
A5.0 3/4" = 1'-0"  
AS REFERENCED BY:A1.0



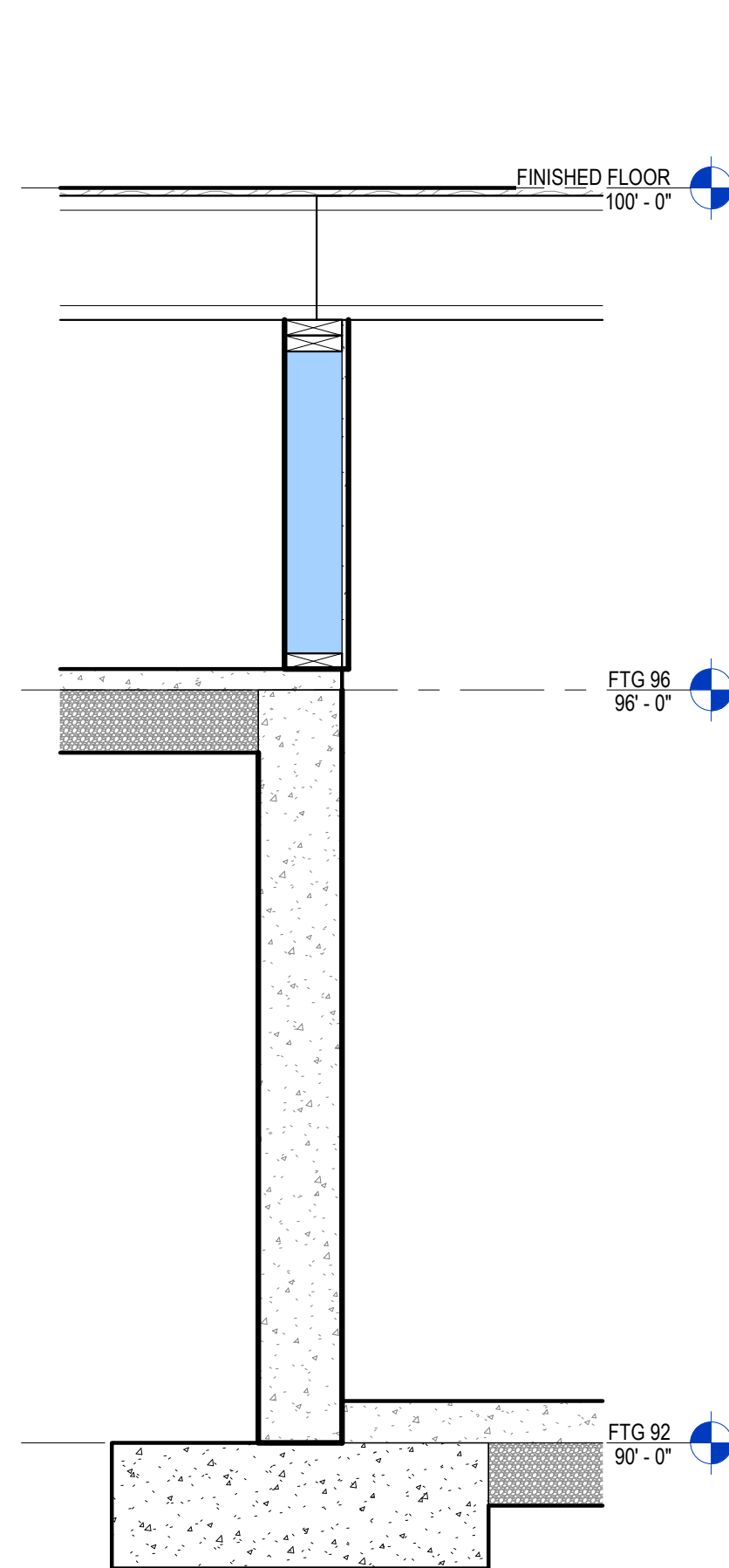
**15 FND Dtl. 6 - Typ.**  
A5.0 3/4" = 1'-0"



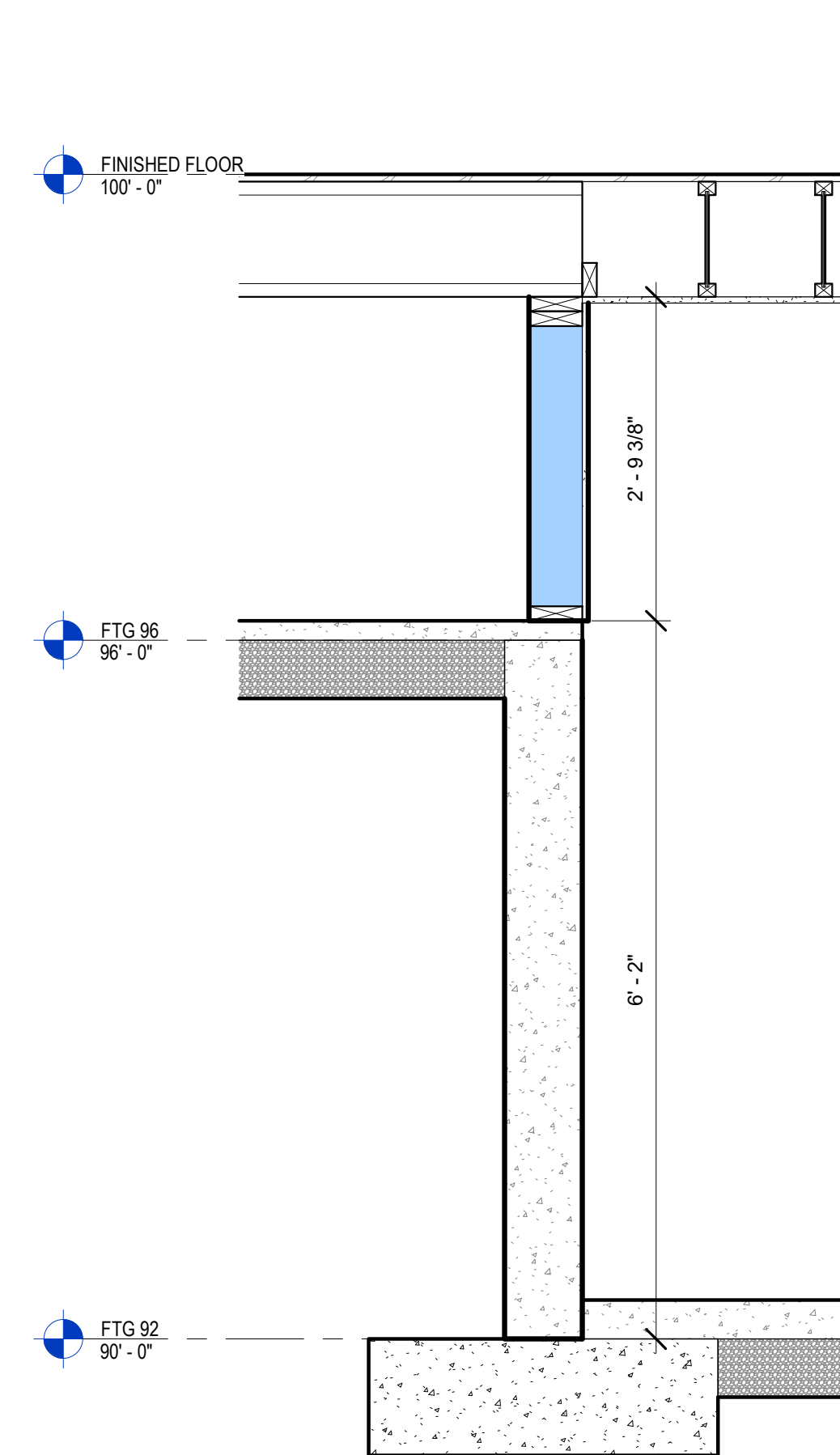
**14 FND Dtl. 5 - Typ.**  
A5.0 3/4" = 1'-0"



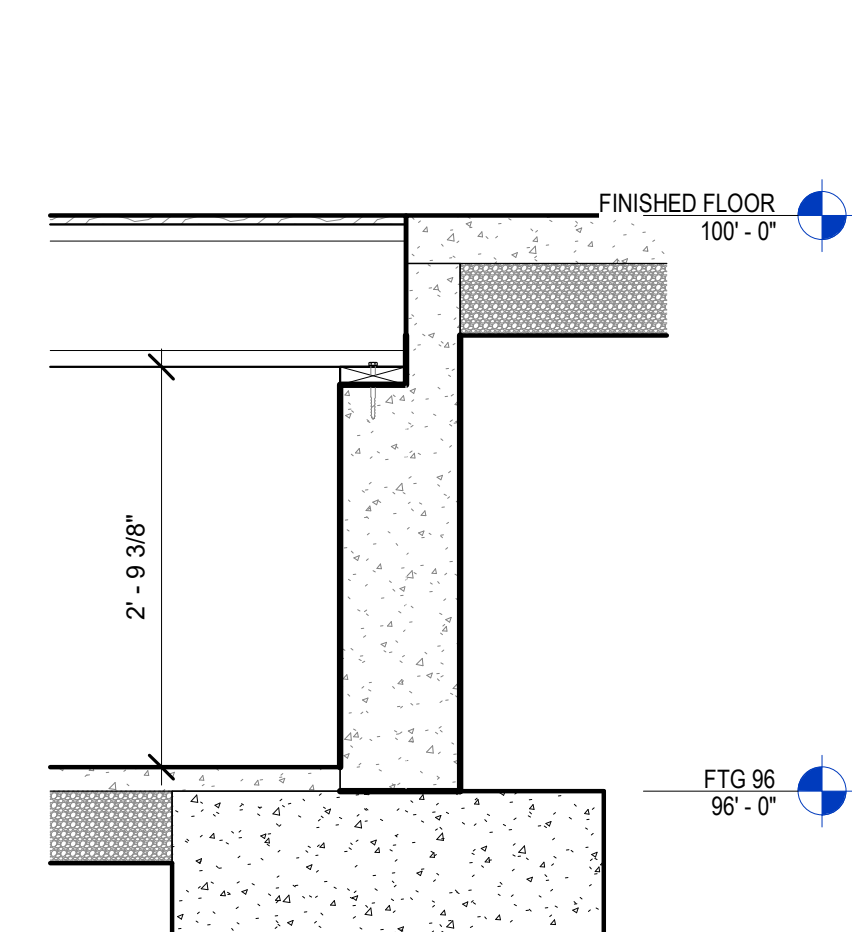
**13 FND Dtl. 4 - Typ.**  
A5.0 3/4" = 1'-0"



**12 FND Dtl. 3 - Typ.**  
A5.0 3/4" = 1'-0"



**11 FND Dtl. 2 - Typ.**  
A5.0 3/4" = 1'-0"



**10 FND Dtl. 1 - Typ.**  
A5.0 3/4" = 1'-0"

PROPOSED NEW BUILDING FOR:

MEADOW VIEW DENTAL

LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI

DETAILS

Description  
Date  
No.

Page Information

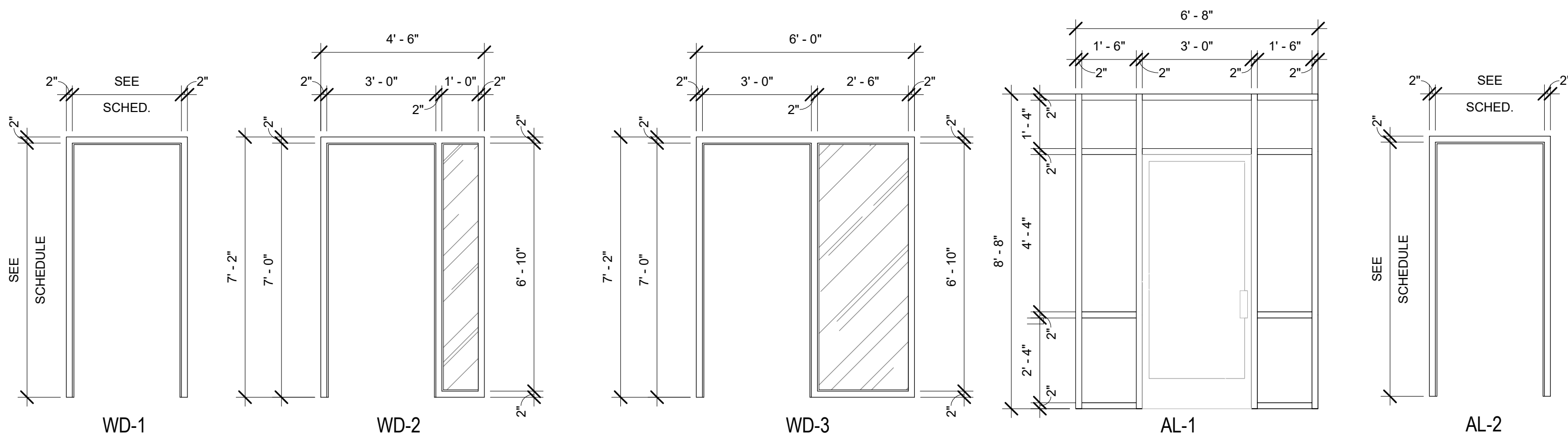
Drawn By: JJW Approved By: JJW  
Project No: 25-0082 Date: 3/19/26  
Sheet No.

A5.0

3/25/2026 8:41:30 AM

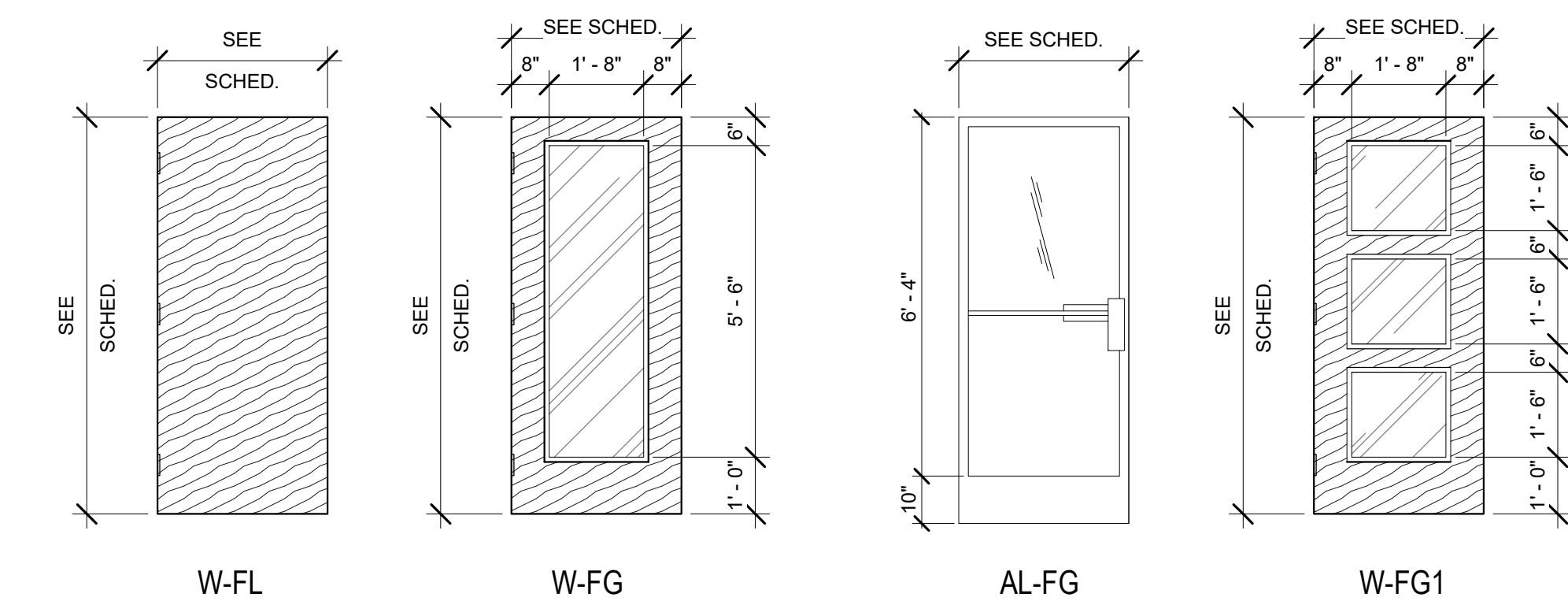
DOOR AND FRAME SCHEDULE																	
MARK	DOOR				FRAME				FIRE RATING LABEL	HDWR GROUP	NOTES						
	SIZE	TYPE	MATL	GLAZING	U-VALUE	TYPE	MATL	DETAIL									
	WD	HGT	THCK						HEAD	JAMB	SILL						
100A	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-1	ALUM								
100B	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-1	ALUM								
101A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
102A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
103	3'-0"	7'-0"	1 3/4"	W-FG1	WD			WD-2	WD								
105A	3'-0"	7'-0"	1 3/4"	W-FG	WD			WD-2	WD								
106A	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-2	ALUM								
107A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
108A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
109A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
110A	3'-2"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
111A	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-2	ALUM								
111B	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
112A	3'-0"	7'-0"	1 3/4"	W-FG1	WD			WD-2	WD								
116A	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-2	ALUM								
116B	3'-0"	7'-0"	1 3/4"	W-FG1	WD			WD-2	WD								
121A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
122A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
123A	3'-0"	7'-0"	1 3/4"	W-FG1	WD			WD-2	WD								
123B	3'-0"	7'-0"	1 3/4"	A-FG	ALUM		0.32	AL-2	ALUM								
124A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
125A	3'-0"	7'-0"	1 3/4"	W-FG	WD			WD-3	WD								
126A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
126B	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
128A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
130A	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
132	2'-4"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
133	2'-4"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
B1	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								
B2	3'-0"	7'-0"	1 3/4"	W-FL	WD			WD-1	WD								

ROOM FINISH SCHEDULE												
MARK	NAME	FLOOR	BASE	WALLS						REMARKS		
				NORTH SURFACE	NORTH FINISH	SOUTH SURFACE	SOUTH FINISH	EAST SURFACE	EAST FINISH		WEST SURFACE	WEST FINISH
001	BASEMENT	SEALED CONC.										
002	BATHROOM	SEALED CONC.	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
003	EQUIP. ROOM	SEALED CONC.										
100	VESTIBULE	WLK-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WALK OFF CARPET TILE
101	CLOSET	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
102	CLOSET	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
103	WAITING	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
104	RECEPTION	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
105	BUSINESS	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
106	CORRIDOR	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WALK OFF CARPET
107	BREAK RM.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
108	EMPL. TLT.	LVP-1	CTB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
109	LAUNDRY	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
110	CHANGING	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
111	STAIRS	WLK-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	EXP. WOOD TREAD & RISERS
112	DR. OP.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
113	DR. OP.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
114	HYGIENE	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
115	HYGIENE	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
116	DR. OP.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
117	DR. OP.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
118	HYGIENE	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
119	HYGIENE	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
120	DR. OP.	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
121	ASSOC. DOCTOR	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
122	DOC. OFFICE	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
123	DOC. LOUNGE	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
124	DOC. TLT.	LVP-1	CTB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
125	CONSULT	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
126	STORAGE	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
127	PAN	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
128	TOILET	LVP-1	CTB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
129	STERILIZATION	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
130	LAB	LVP-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
131	CORRIDOR	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
132	CLOSET	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	
133	CLOSET	CPT-1	VWB-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	WPT-1	



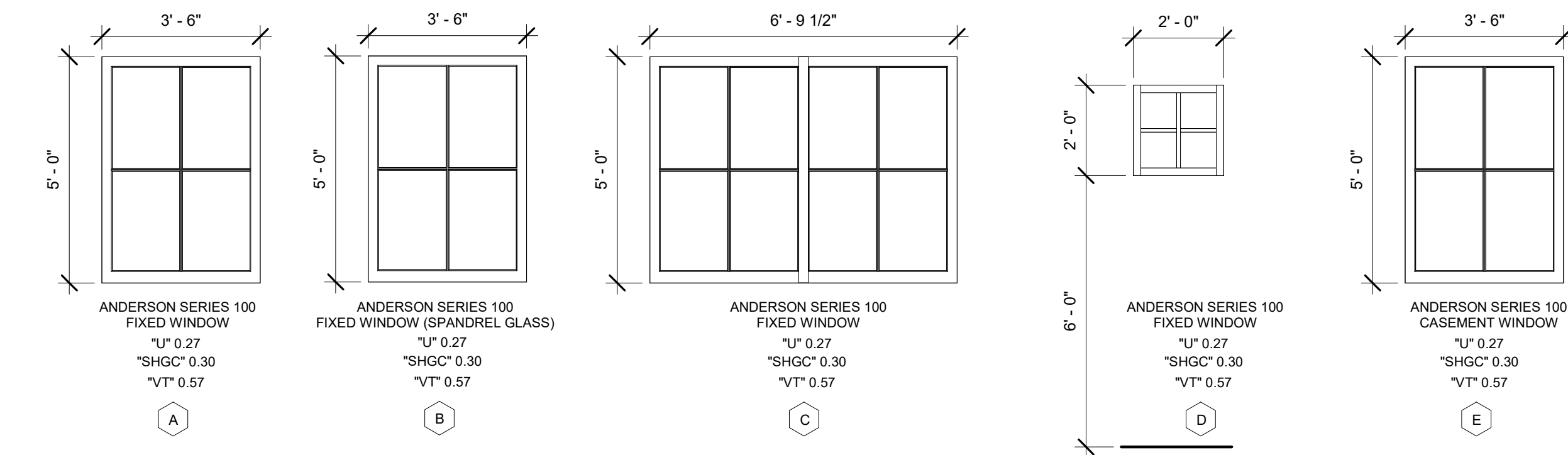
Door Frames

Scale: 3/8" = 1'-0"



Door Elevations

Scale: 3/8" = 1'-0"



Window Elevations

Scale: 3/8" = 1'-0"

DOOR HARDWARE SCHEDULE

DH-1	
3	HINGES IVES 5BB 652 4 1/2\" x 4 1/2\" NRP
1	LOCKSET SCHLAGE AL80PD SAT 626
1	STRIKE SCHLAGE AL 10-025 SAT
1	LATCH SCHLAGE AL 11-096
1	CYLINDER SCHLAGE AL 85 626
1	KICKPLATE IVES 8\" x 34\"
DH-2	
1	FRAME CLOSURE PREP
3	HINGES IVES 5BB 652 4 1/2\" x 4 1/2\" NRP
1	PUSH/PULL IVES 8200/8305 626 4\" x 16\"
1	CLOSURE LCN 4040XP
2	KICKPLATE IVES 8\" x 34\"

DOOR HARDWARE SCHEDULE

SET #1A	
3	HINGES ECBB1103 4.5 x 4.5 US32D HAGER
1	LOCK 20-022 626 CONV. RIM CYLINDER SCHLAGE
1	LOCK 7100-48 632F 630 RIM DEVICE YALE
1	CLOSURE CPS7500 689 SURFACE CLOSER NORTON
1	THRESHOLD 4125 44\" MIL HAGER
1	THRESHOLD 750SN 44\" CLR SWEEP HAGER
1	THRESHOLD 891SN: 1 @ 36\" 2 @ 80\" MIL JAMB WTHRSTRP HAGER
1	THRESHOLD 810S 48\" MIL RAIN DRIP HAGER
SET #4	
3	HINGES ECBB1100 4.5 x 4.5 US26D HAGER
1	LOCK AL80PD SAT 11-096 10-025 626 SCHLAGE
SET #6	
6	HINGES ECBB1100 4.5 x 4.5 US26D HAGER
2	CLOSURE 8501H REG 689 NORTON
2	PUSH 70C 4\" x 16\" US32D PUSH PLATE ROCKWOOD
2	PULL BF111X70C 4\" x 16\" US32D PULL PLATE ROCKWOOD
SET #7	
6	HINGES ECBB1100 4.5 x 4.5 US26D HAGER
2	CLOSURE 8501 PA 689 NORTON
2	ASTRAGAL S771D 7\" ASTRAGAL PEMKO
1	SMOKE SEAL S88BL 20\" SMOKE SEAL PEMKO
2	PUSH 70C 4\" x 16\" US32D PUSH PLATE ROCKWOOD
2	PULL BF111X70C 4\" x 16\" US32D PULL PLATE ROCKWOOD
1	HOLD 2100 US28 MAGNETIC HOLDER ABH
SET #8	
3	HINGES ECBB110 4.5 x 4.5 US26D HAGER
1	LOCKSET AL53PD SAT 11-096 10-025 626 SCHLAGE
1	SMOKE SEAL S88BL 17\" BL SMOKE SEAL PEMKO
1	STOP 409 US32D WALL STOP ROCKWOOD
SET #9	
1	PUSH/PULL 1069 SS POCKET DOOR PULL TRIMCO
SET #10	
1	PUSH/PULL 853 1 3/8 DR US32D WIRE PULL ROCKWOOD
SET #12	
3	HINGES ECBB110 4.5 x 4.5 US26D HAGER
1	LOCKSET AL53PD SAT 11-096 10-025 626 SCHLAGE
1	STOP 409 US32D WALL STOP ROCKWOOD
SET #15	
3	HINGES ECBB110 4.5 x 4.5 US26D HAGER
1	LOCKSET AL70PD SAT 11-096 10-025 626 SCHLAGE
1	CLOSURE 8501 REG 689 NORTON
1	THRESHOLD S88BL 17\" BL SMOKE SEAL PEMKO
1	STOP 409 US32D WALL STOP ROCKWOOD

PROPOSED NEW BUILDING FOR:

MEADOW VIEW DENTAL

LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS. WI

ROOM & DOOR FINISH SCHEDULE



PHONE: 920.757.0999  
FAX: 920.757.1015  
N1040 CRAFTSMEN DRIVE  
GREENVILLE, WI 54942

Description

Date

No.

Page Information

Drawn By: Designer  
Approved By: Checker

Project No.: 25-0082  
Date: 3/19/26

Sheet No.

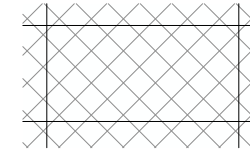
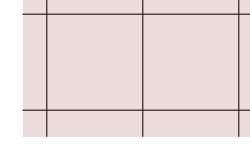
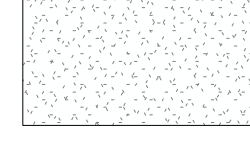

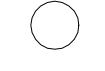


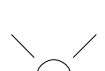
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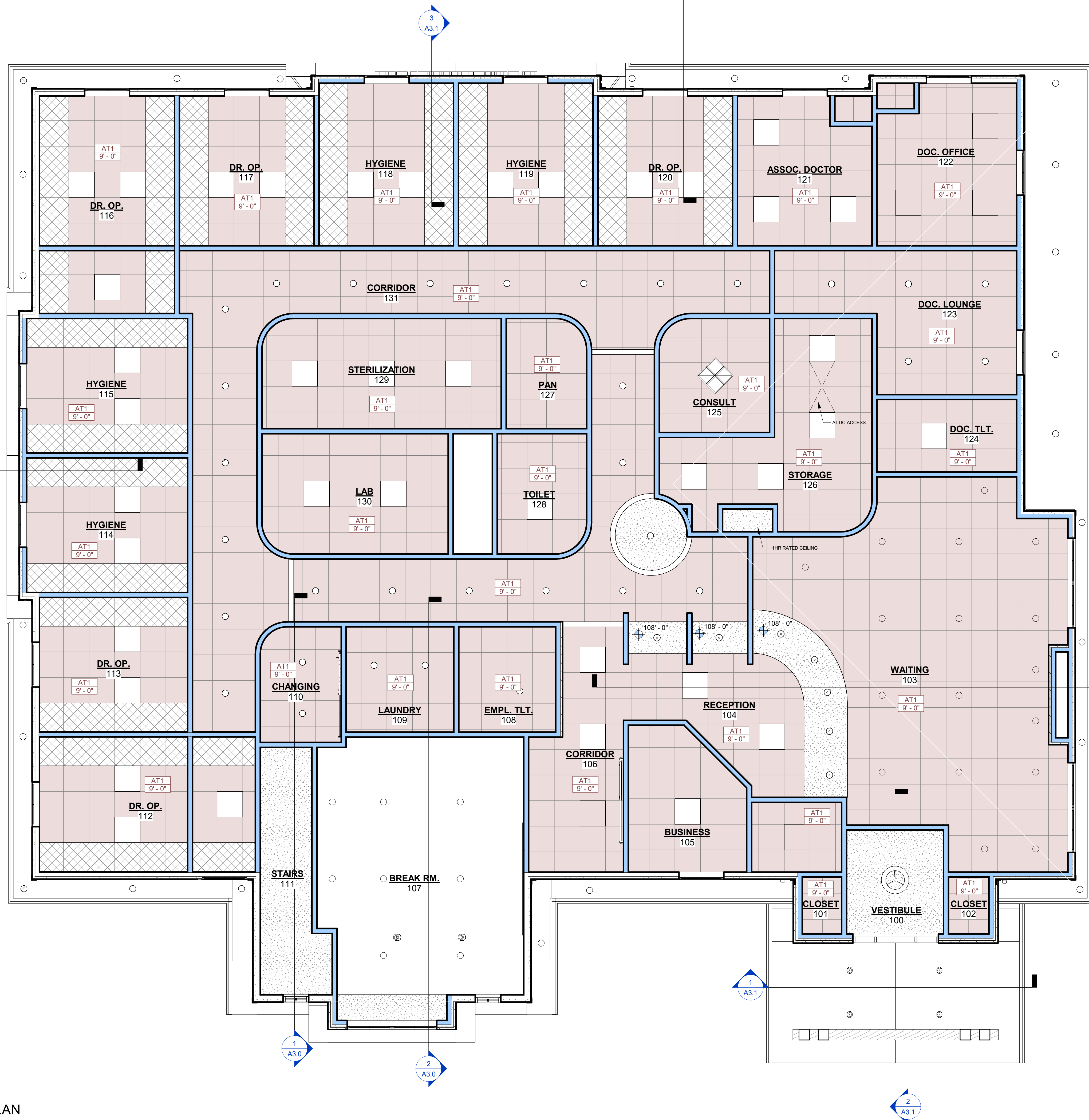
3/25/2026 8:41:31 AM

**REFLECTED CEILING NOTES**

- GRID LAYOUT SHOWN FOR DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY FINAL LAYOUT WITH FIELD CONDITIONS AND OBTAIN OWNER AND ARCHITECT APPROVAL PRIOR TO INSTALLATION.
- ALL INTERIOR FINISHES TO COMPLY WITH STATE/ LOCAL CODES AND ORDINANCES.
- COORDINATE FINAL LAYOUT WITH ELECTRICAL, HVAC AND FIRE PROTECTION CONTRACTOR BEFORE INSTALLATION.
- PROVIDE HOLD DOWN CLIPS AT SUSPENDED CEILING ASSEMBLIES AT EXTERIOR DOORS AS RECOMMENDED BY CEILING MANUFACTURER.
- REFER TO EGRESS PLANS FOR EXIT LIGHT LOCATIONS. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CORRECT PLACEMENT OF ALL EXIT LIGHTS AND MEAN OF EGRESS LIGHTING.

**REFLECTED CEILING PLAN LEGEND**

-  2x4 ACOUSTICAL CEILING GRID SYSTEM  
AT1 - USG - ULTIMA REVEALED EDGE OR APPROVED EQUAL
-  2x2 ACOUSTICAL CEILING GRID SYSTEM  
AT2 - USG - ULTIMA REVEALED EDGE OR APPROVED EQUAL
-  GYP. BD. FINISHED CEILING  
AT3
-  NEW 2x2 LIGHT FIXTURE
-  LIGHT FIXTURE
-  CEILING SUPPLY GRILLE
-  CEILING RETURN GRILLES TO BE LOCATED AS DESIGN/BUILD
-  CEILING MUSIC/ VOICE SPEAKER



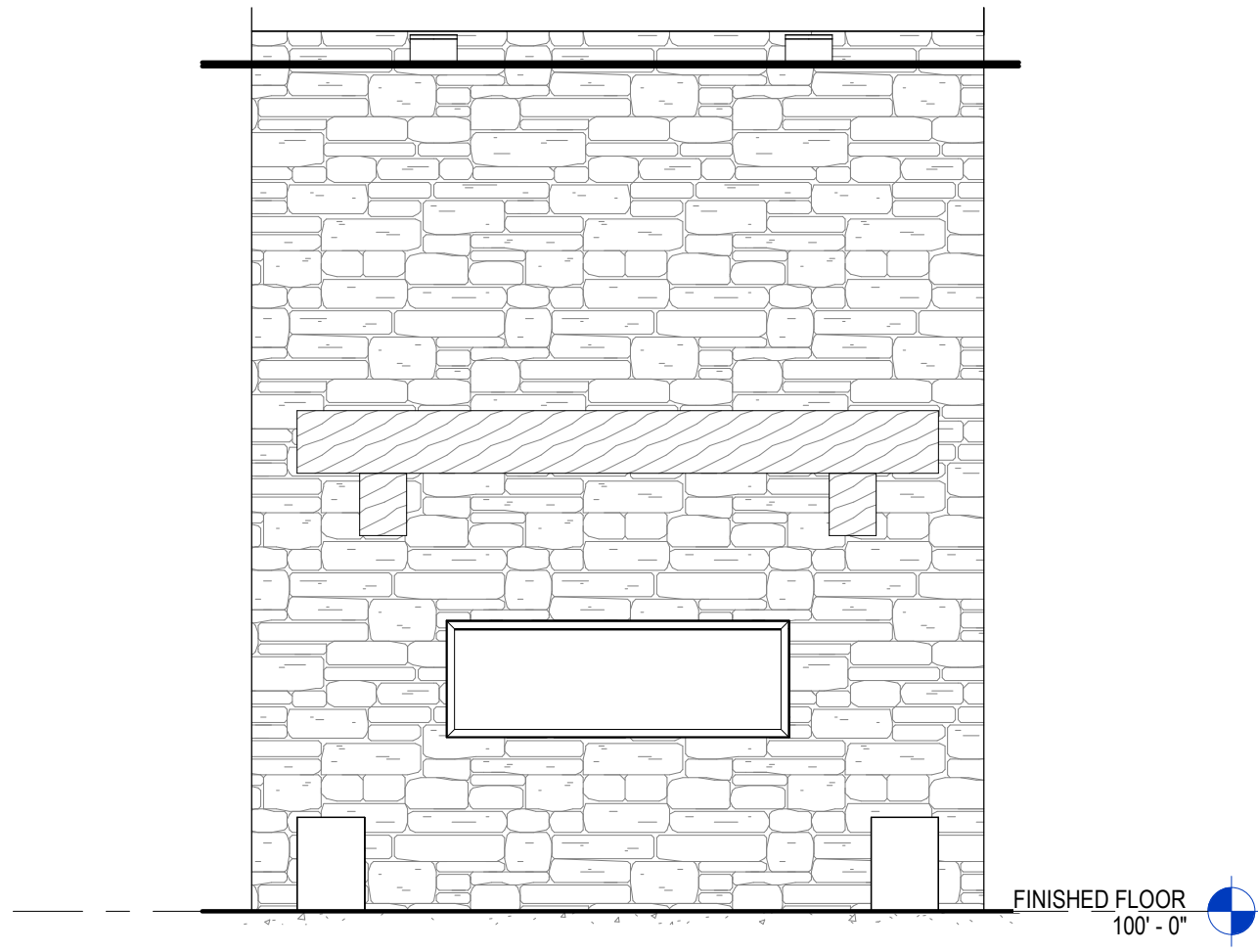
No.	Date	Description

Page Information

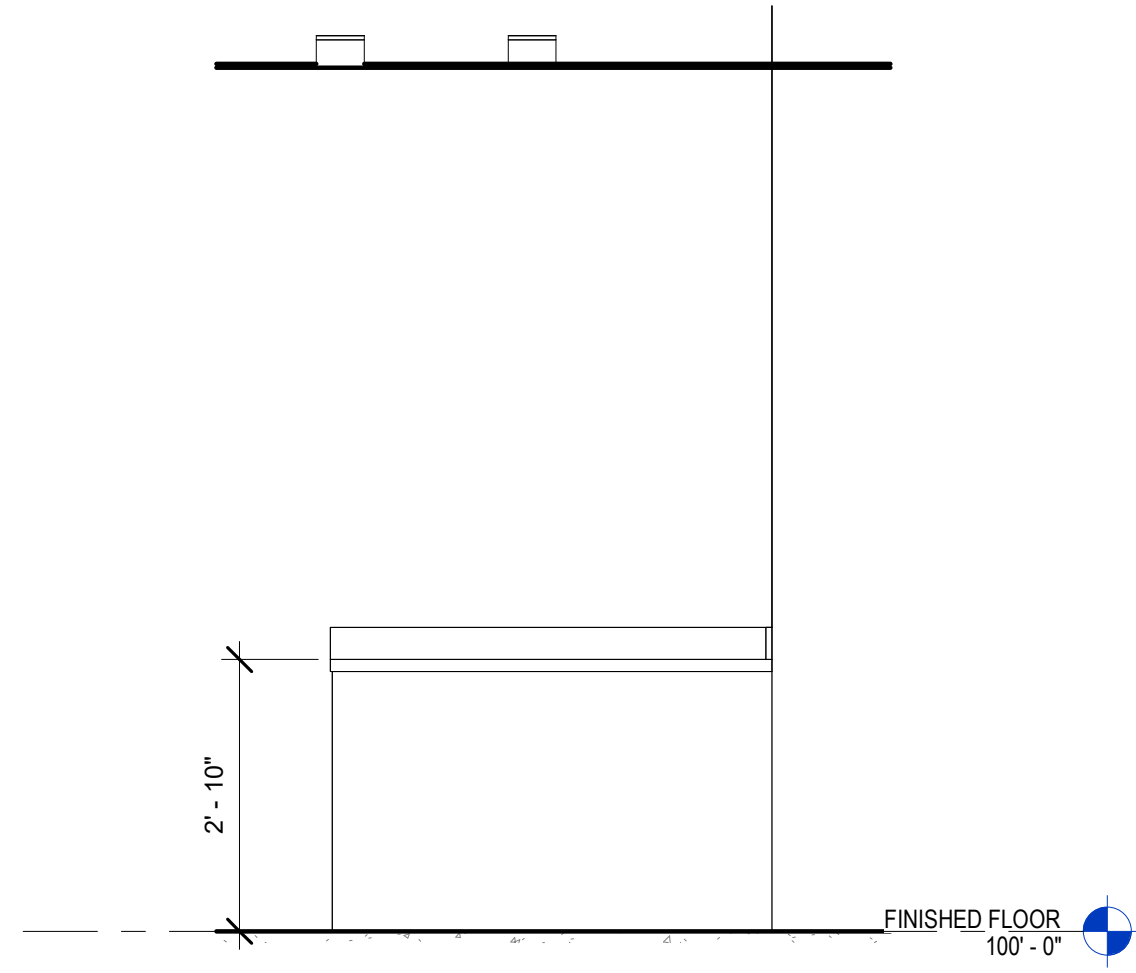
Drawn By JJW	Approved By Checker
Project No. 25-0082	Date 3/19/26
Sheet No.	

**A7.1**

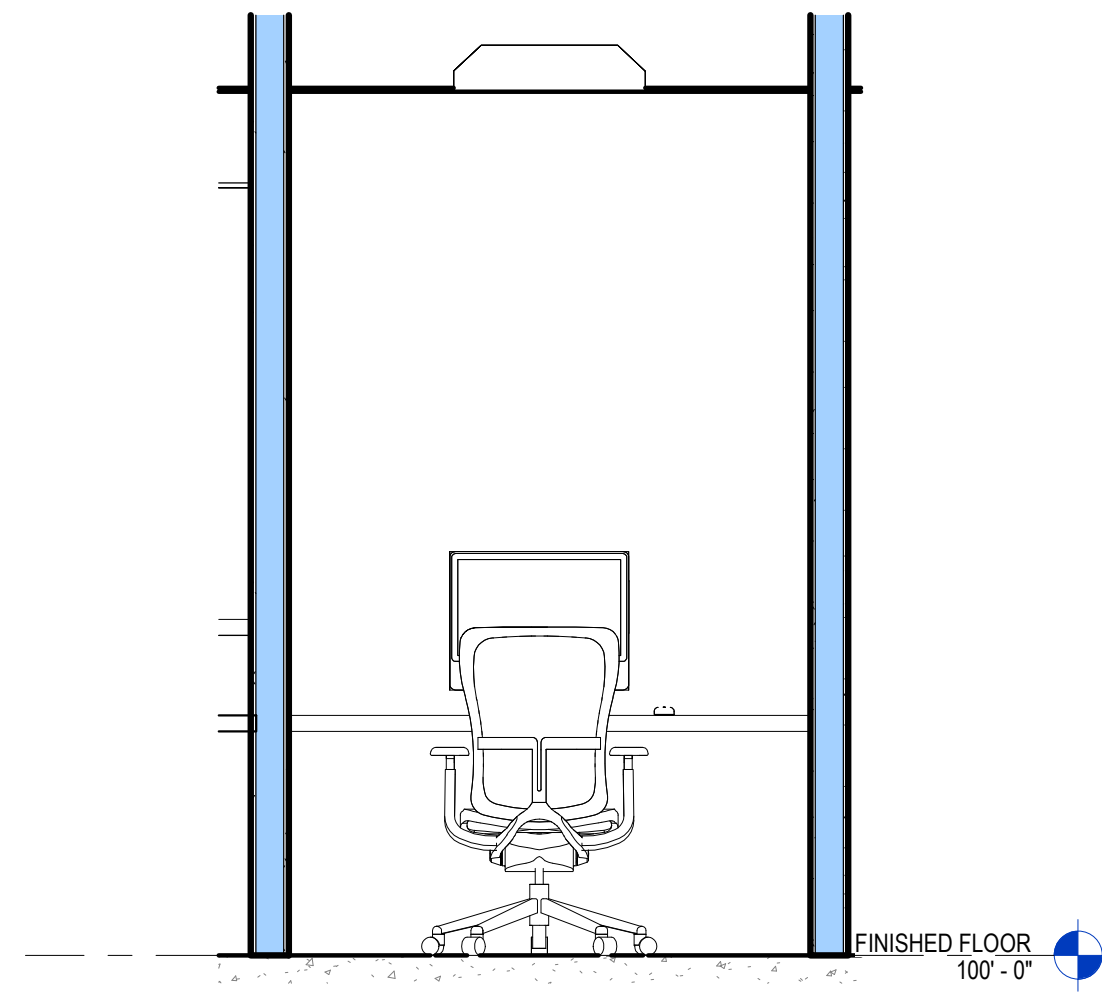
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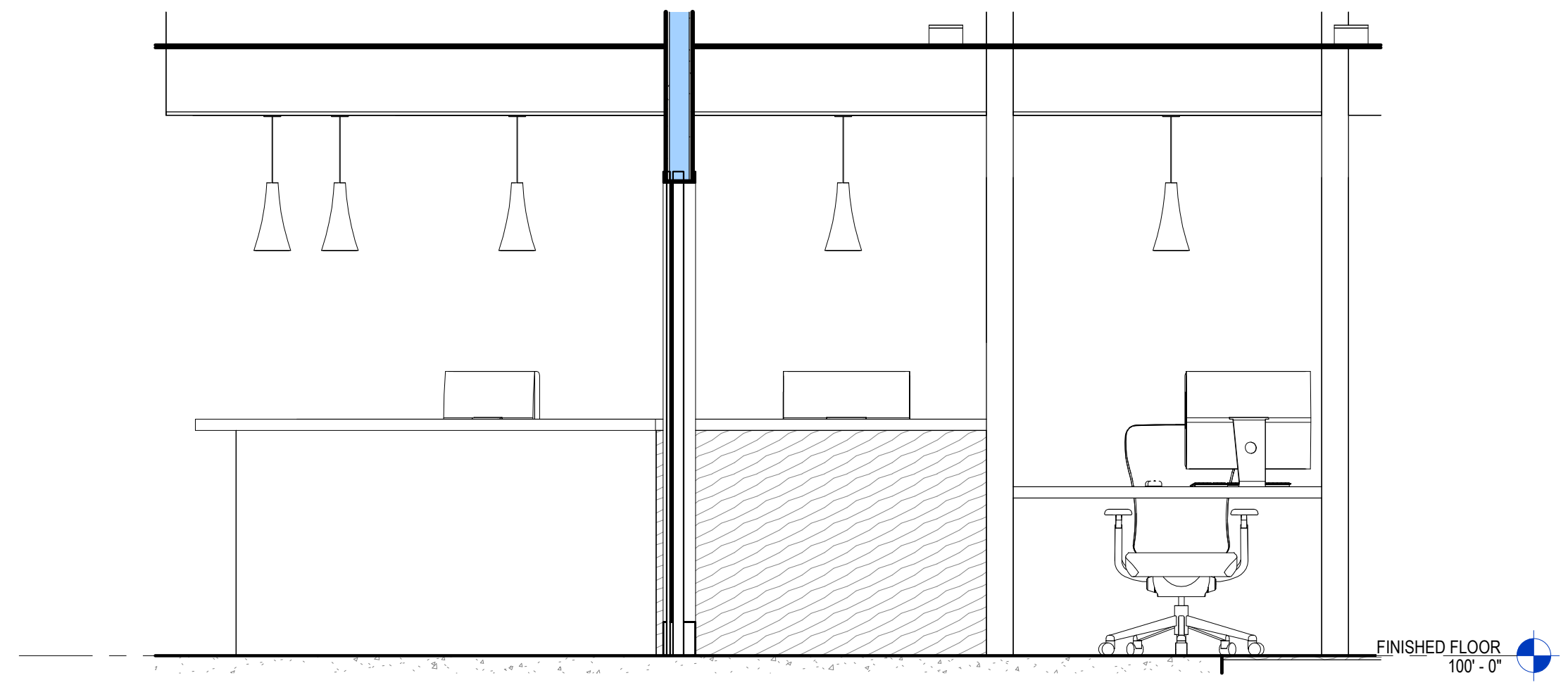
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A7.2 1/2" = 1'-0"



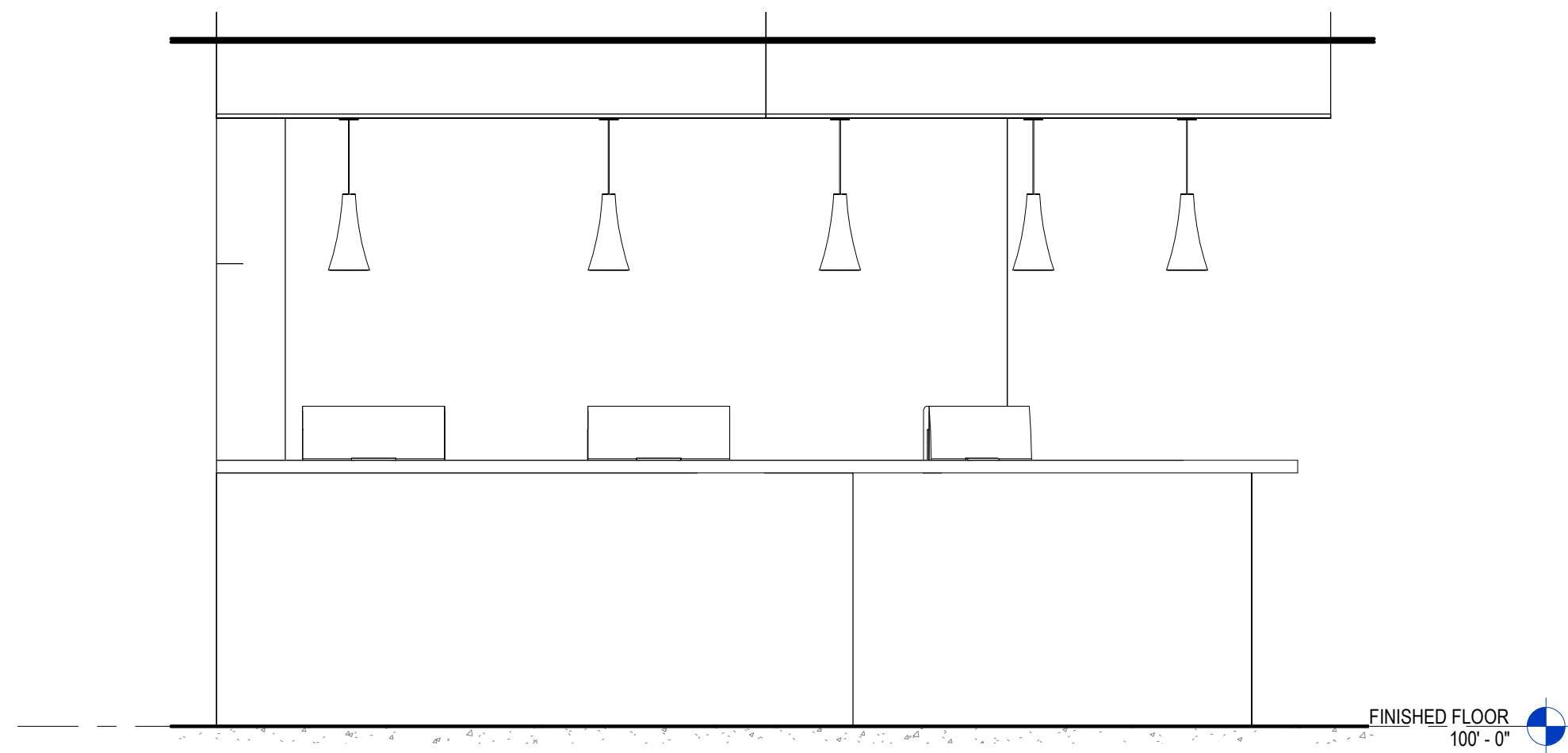
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A7.2 1/2" = 1'-0"



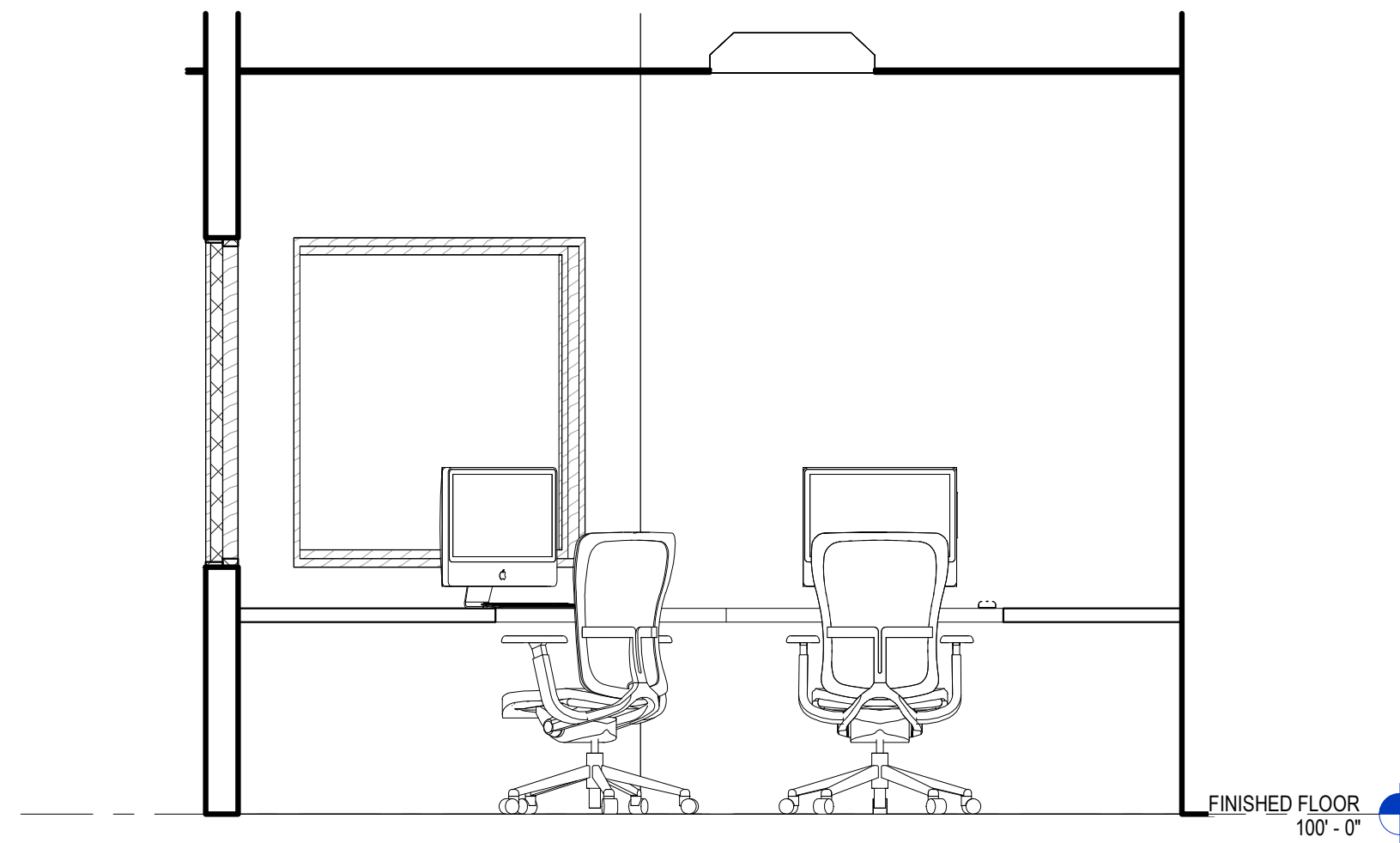
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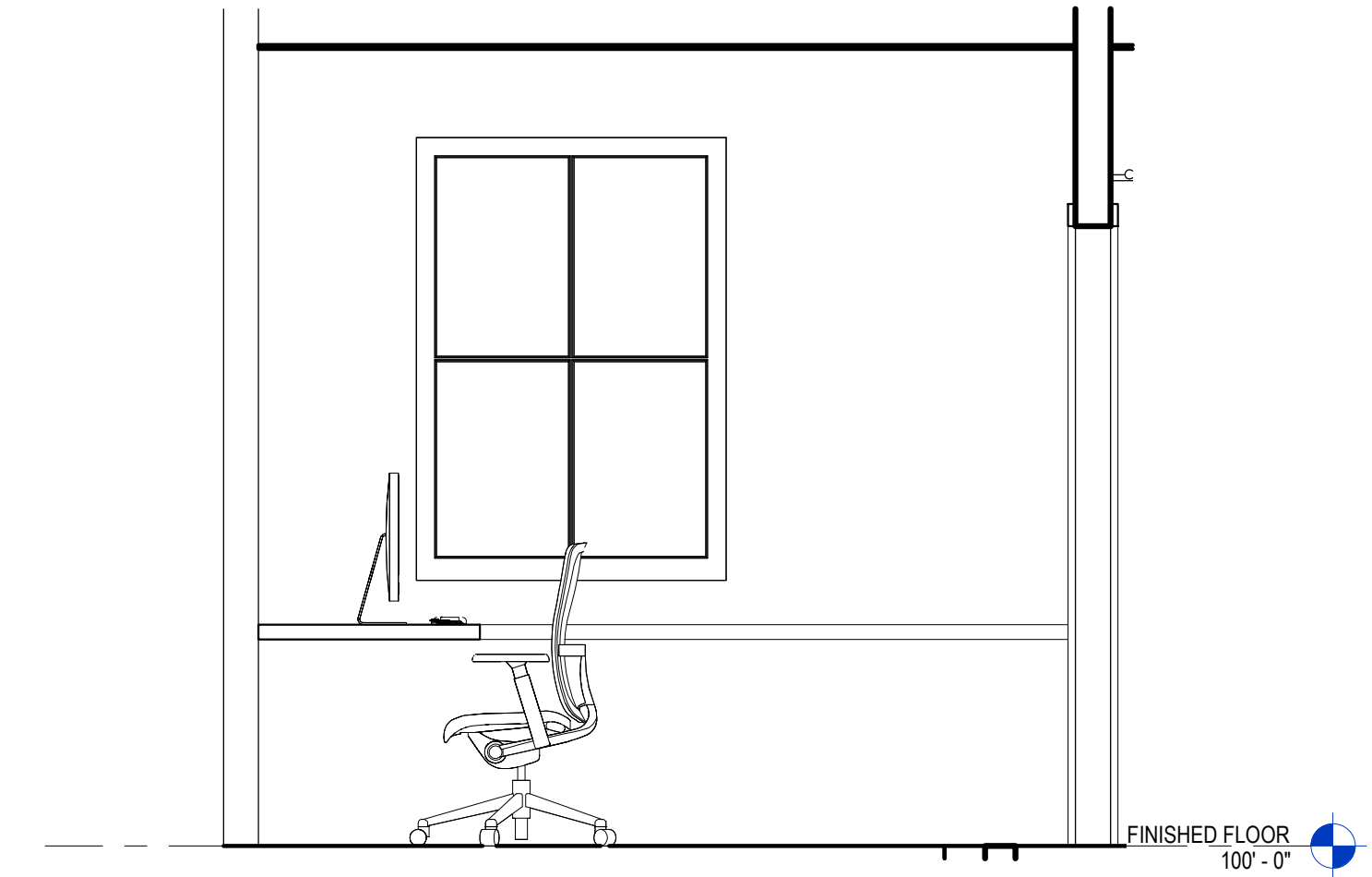
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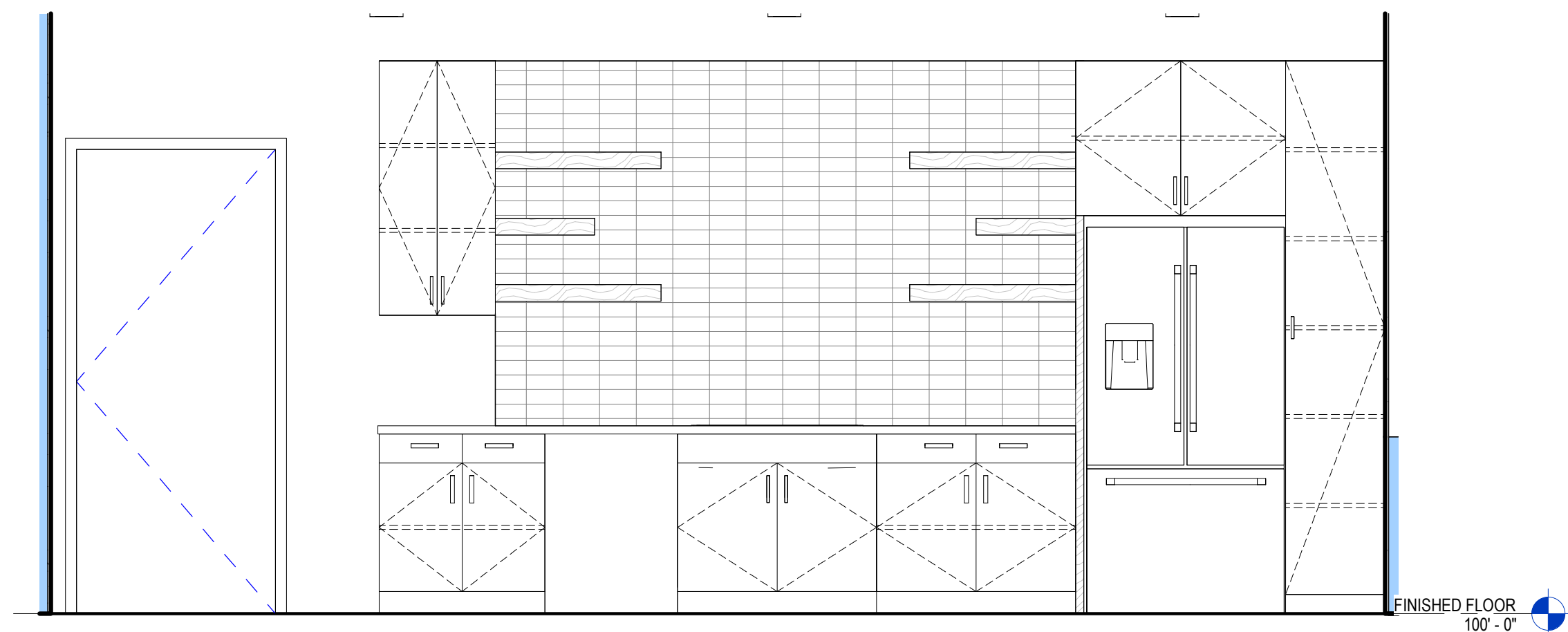
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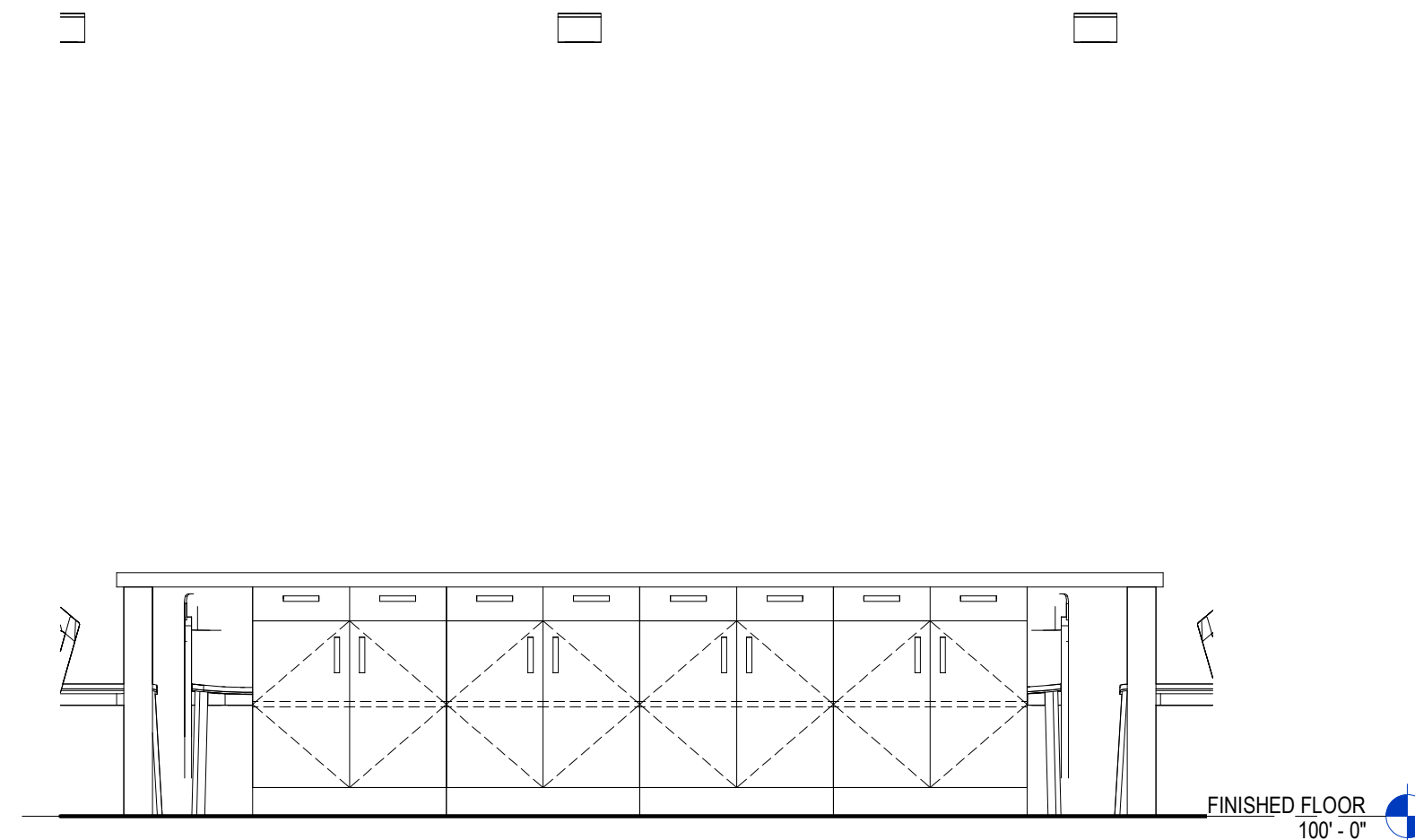
6 BUSINESS 105  
A7.2 1/2" = 1'-0"



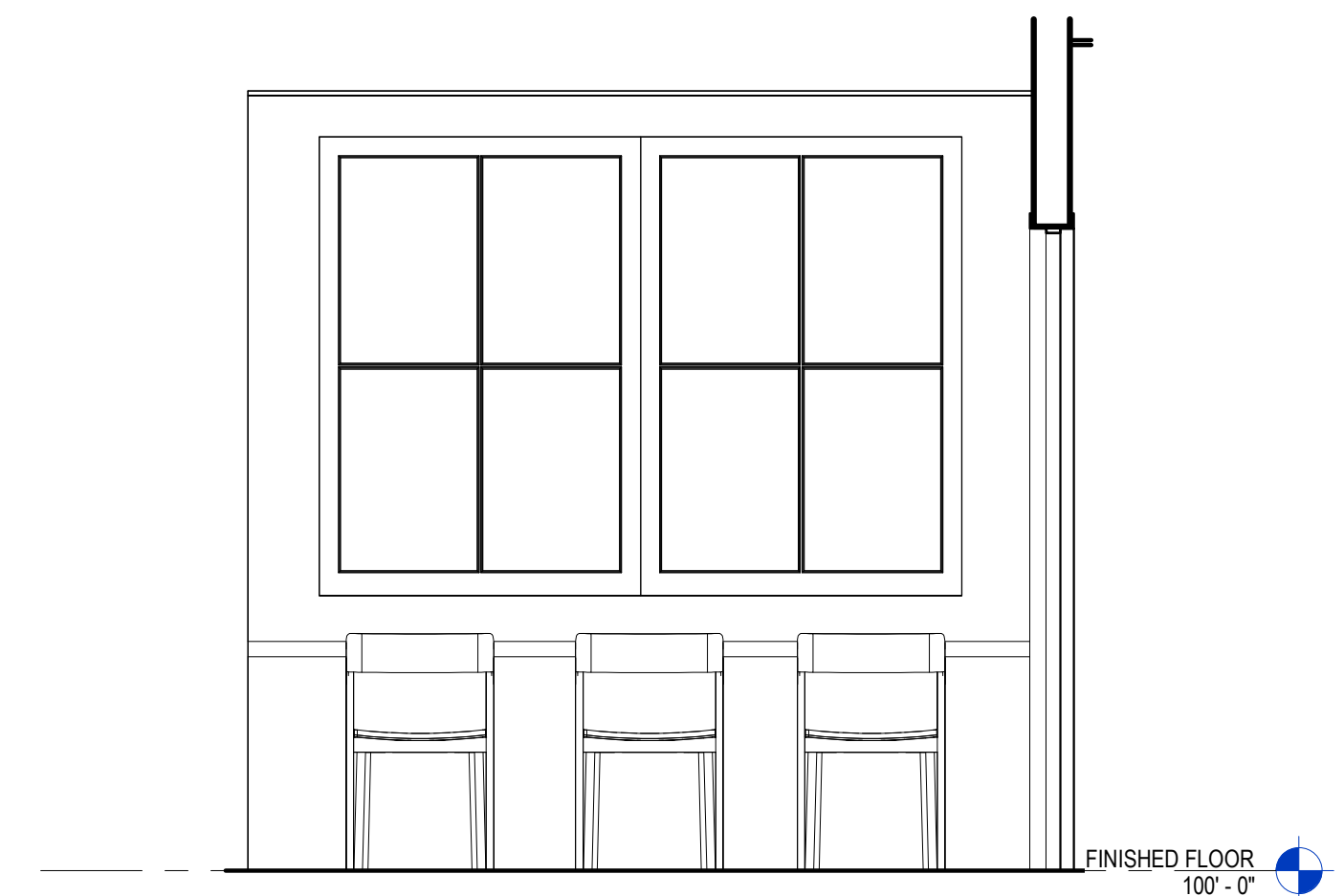
7 BUSINESS 105  
A7.2 1/2" = 1'-0"



9 BREAK 107  
A7.2 1/2" = 1'-0"

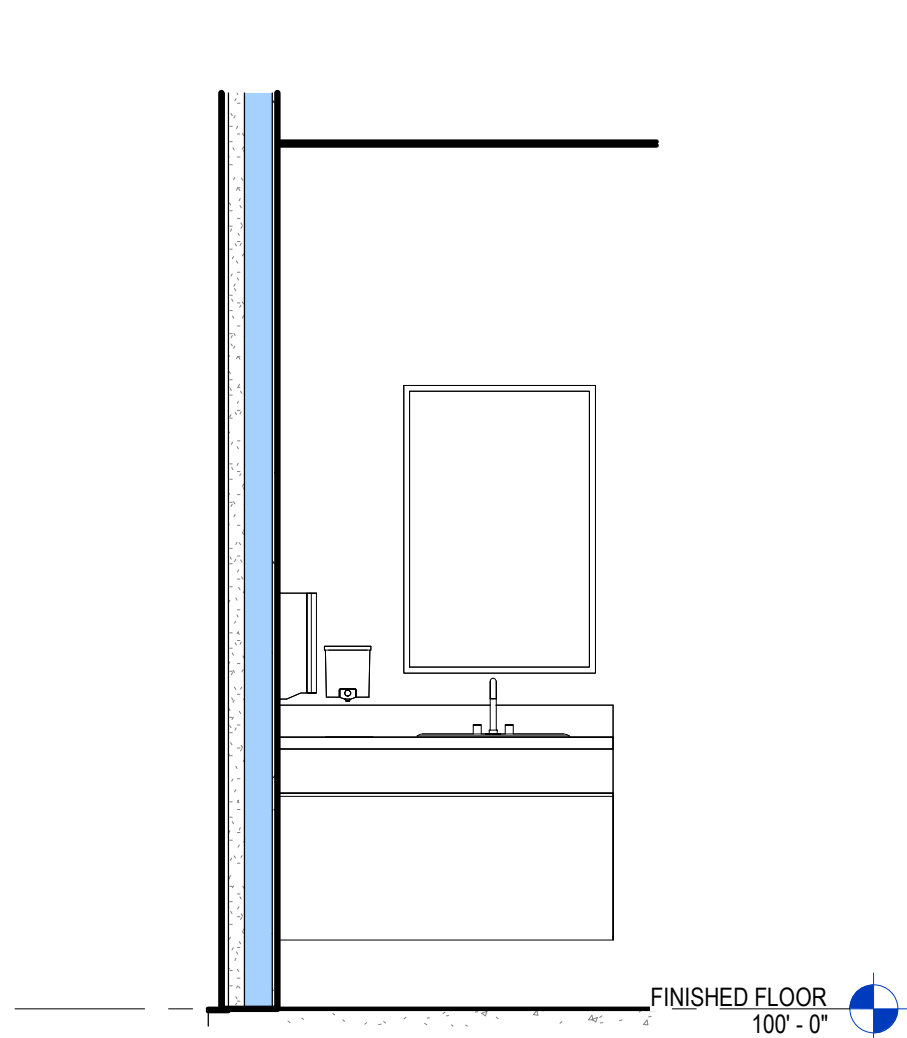


10 BREAK 107  
A7.2 1/2" = 1'-0"

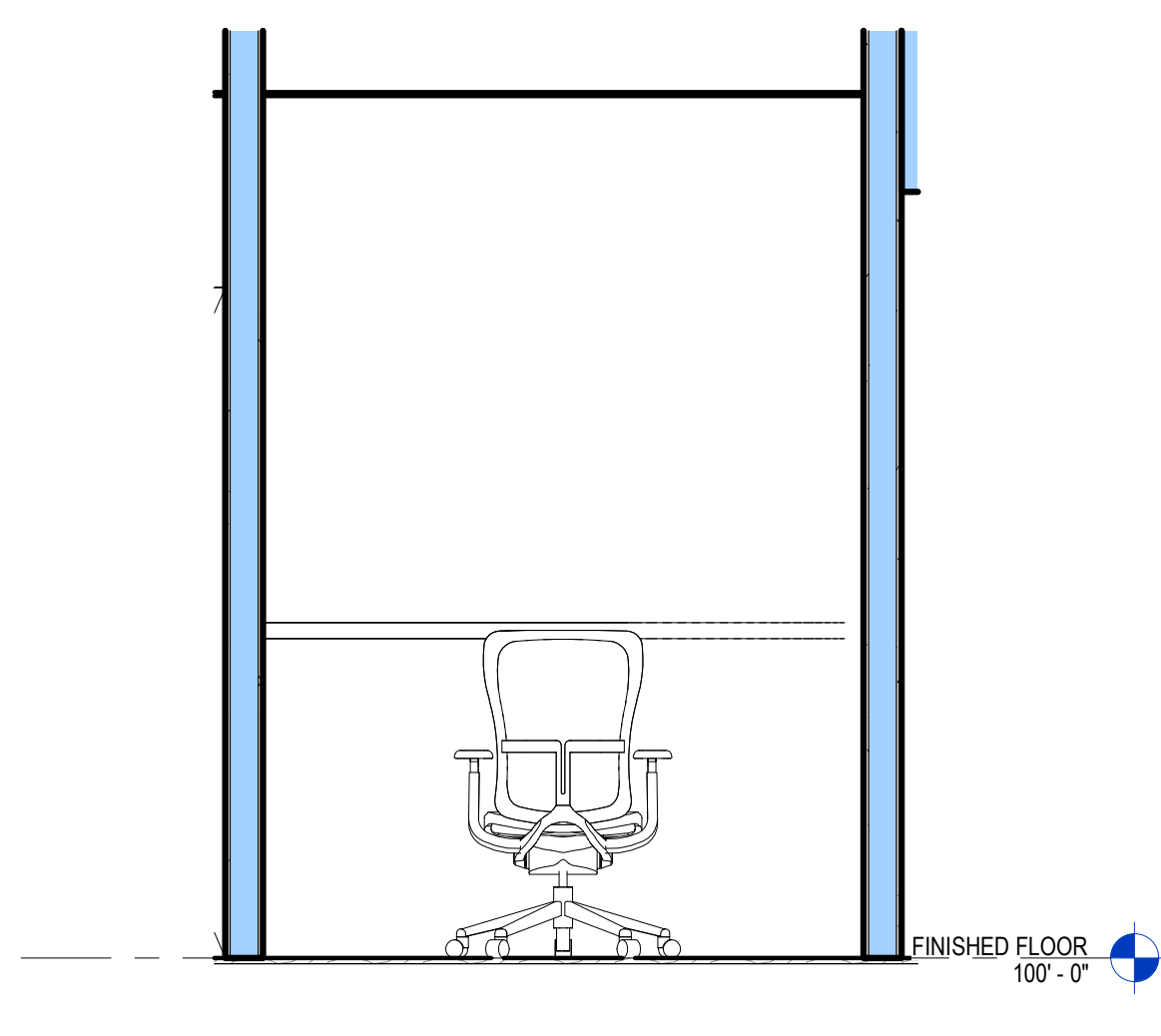


11 BREAK 107  
A7.2 1/2" = 1'-0"

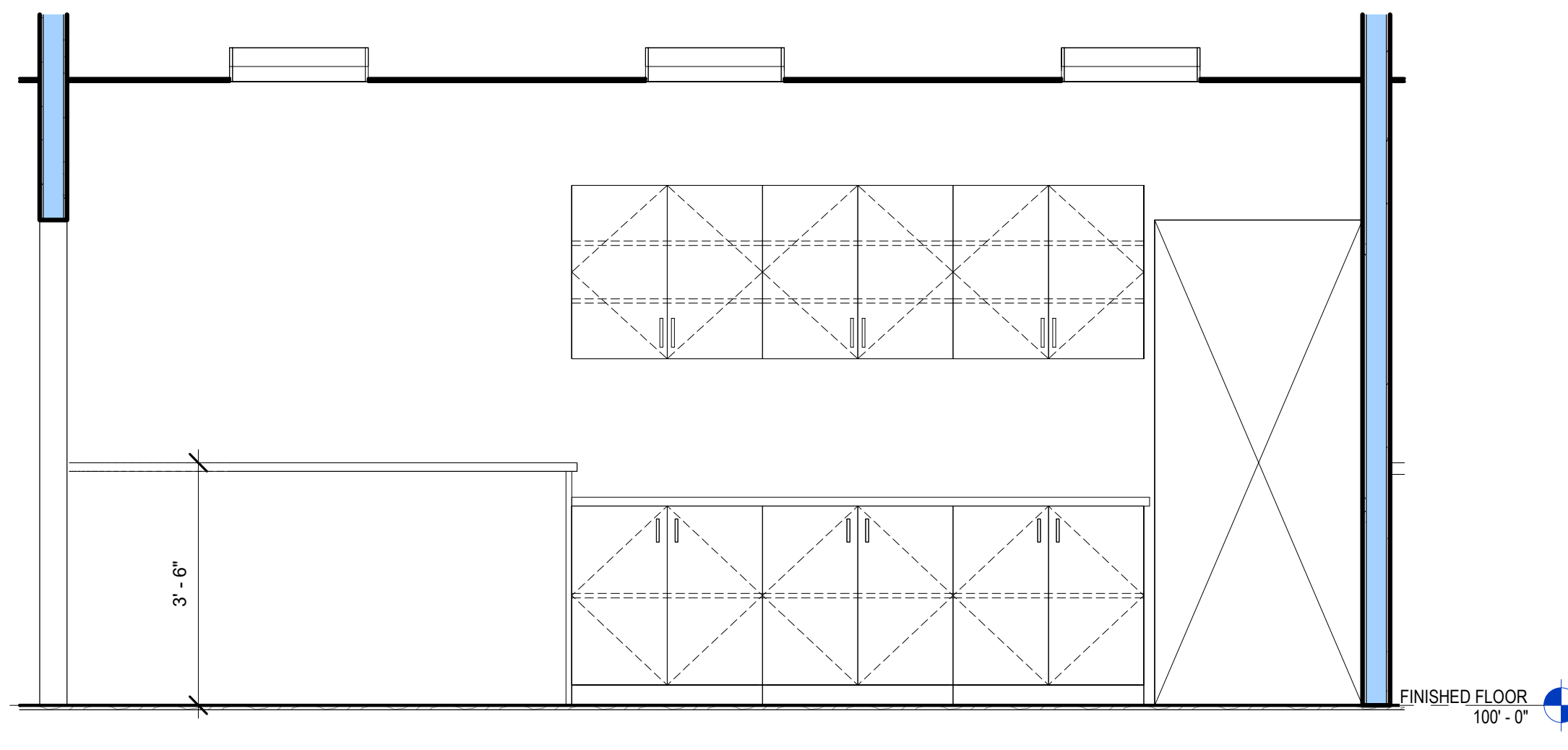
PROPOSED NEW BUILDING FOR:  
**MEADOW VIEW DENTAL**  
 LOT 4 ON MARTINEAU ROAD, COMBINED LOCKS, WI  
**CABINET ELEVATIONS**



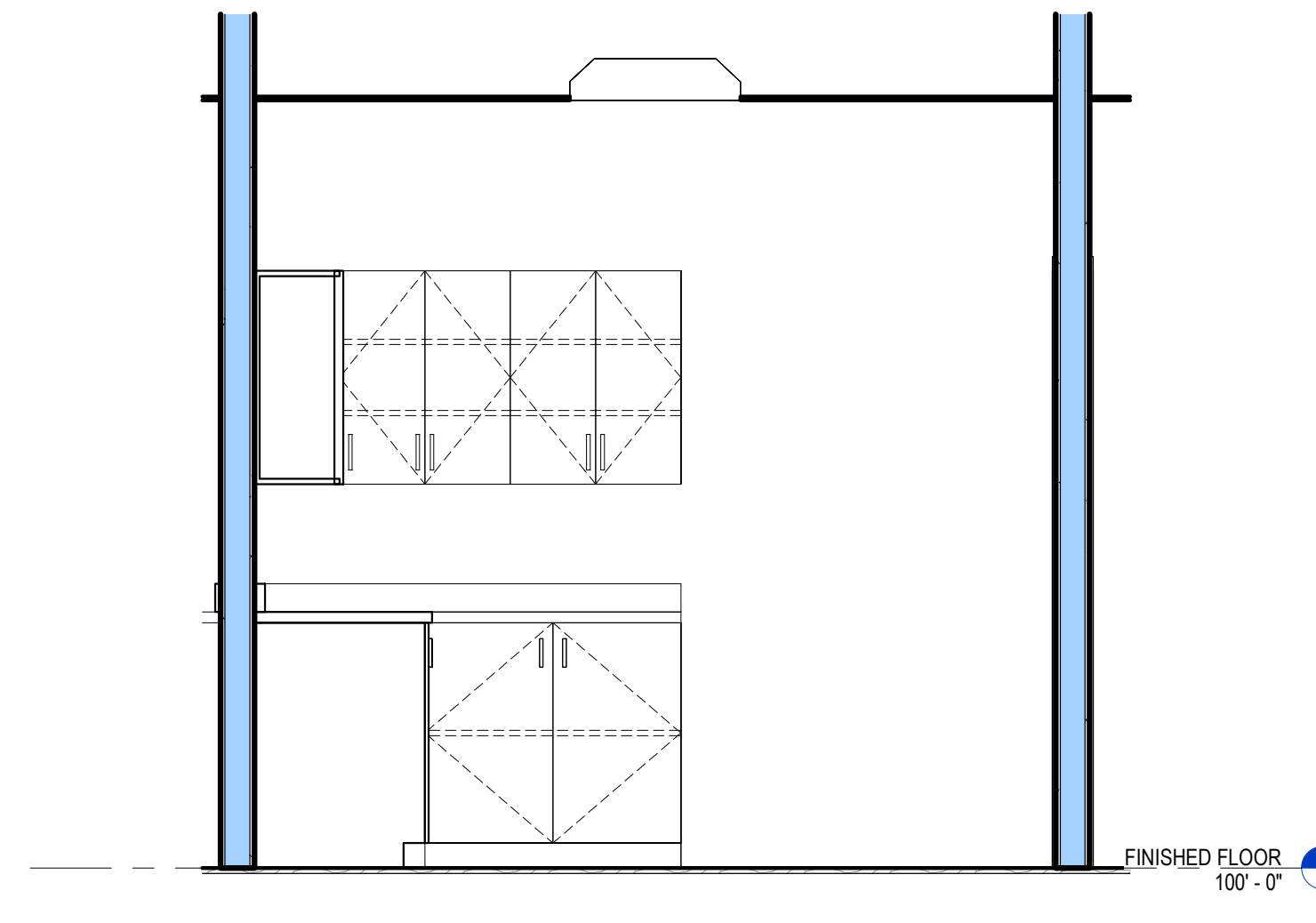
1 **DOC. TLT. 124**  
 A7.3 1/2" = 1'-0"



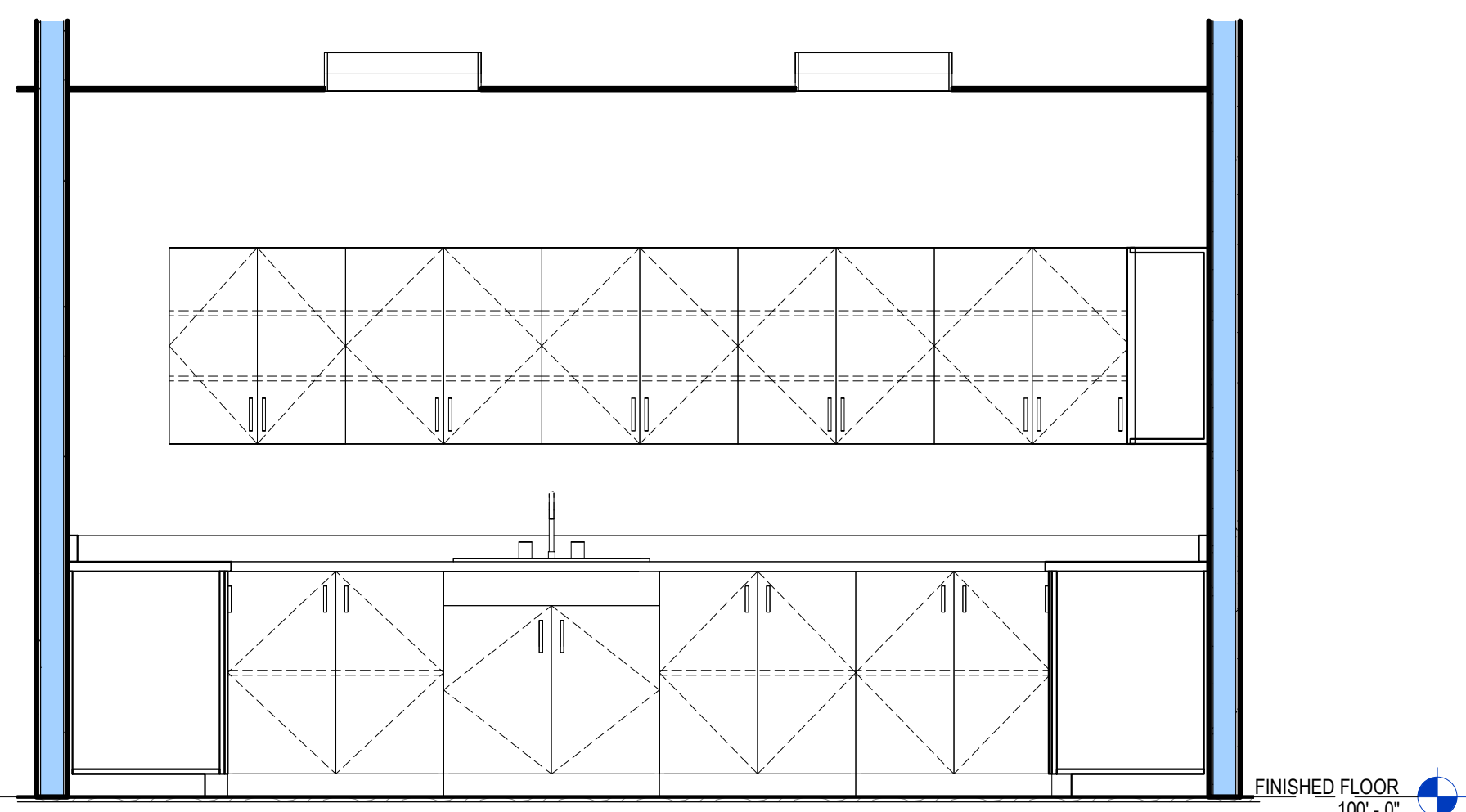
2 **PAN 127**  
 A7.3 1/2" = 1'-0"



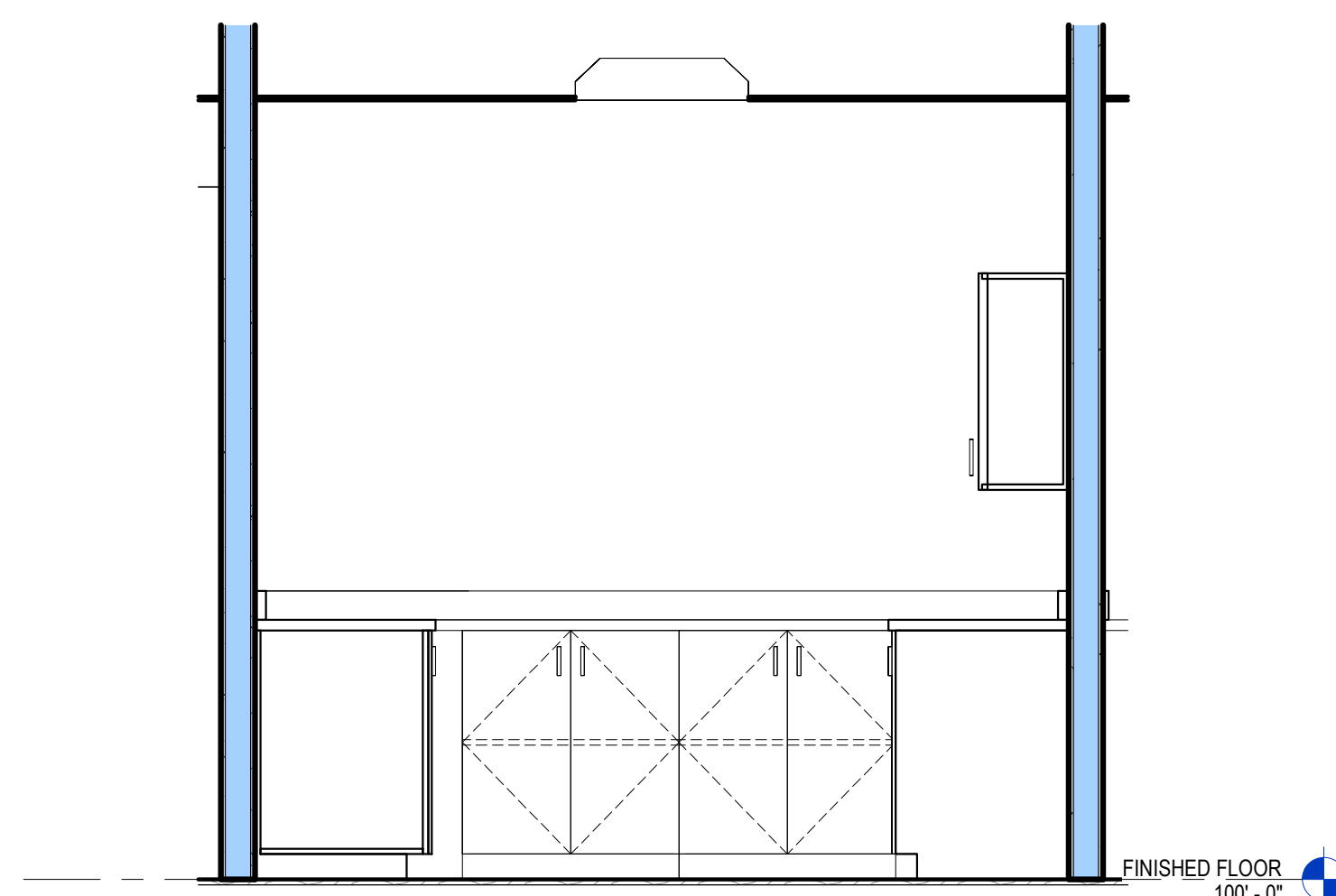
3 **STERIL. 129**  
 A7.3 1/2" = 1'-0"



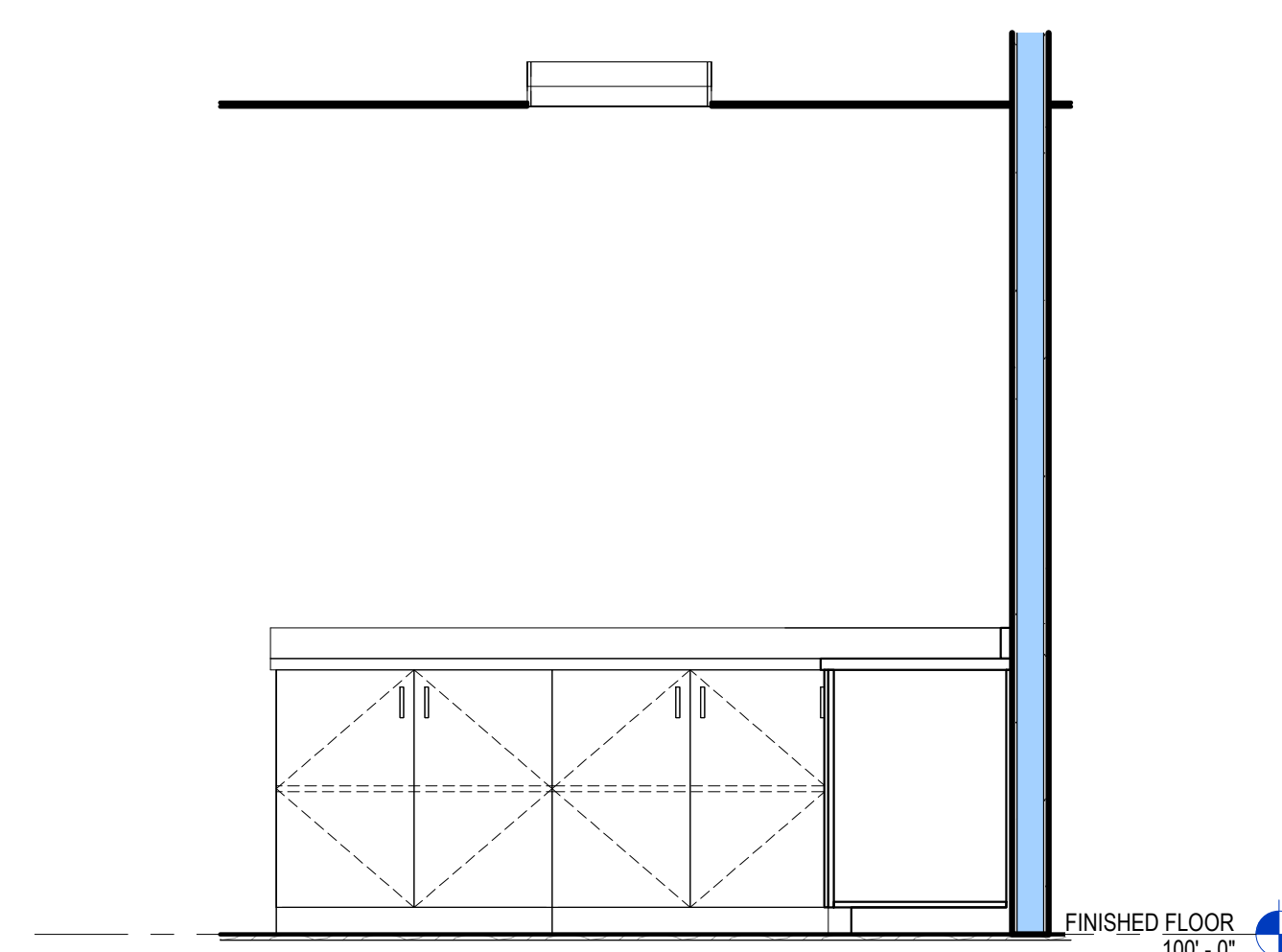
4 **LAB 130**  
 A7.3 1/2" = 1'-0"



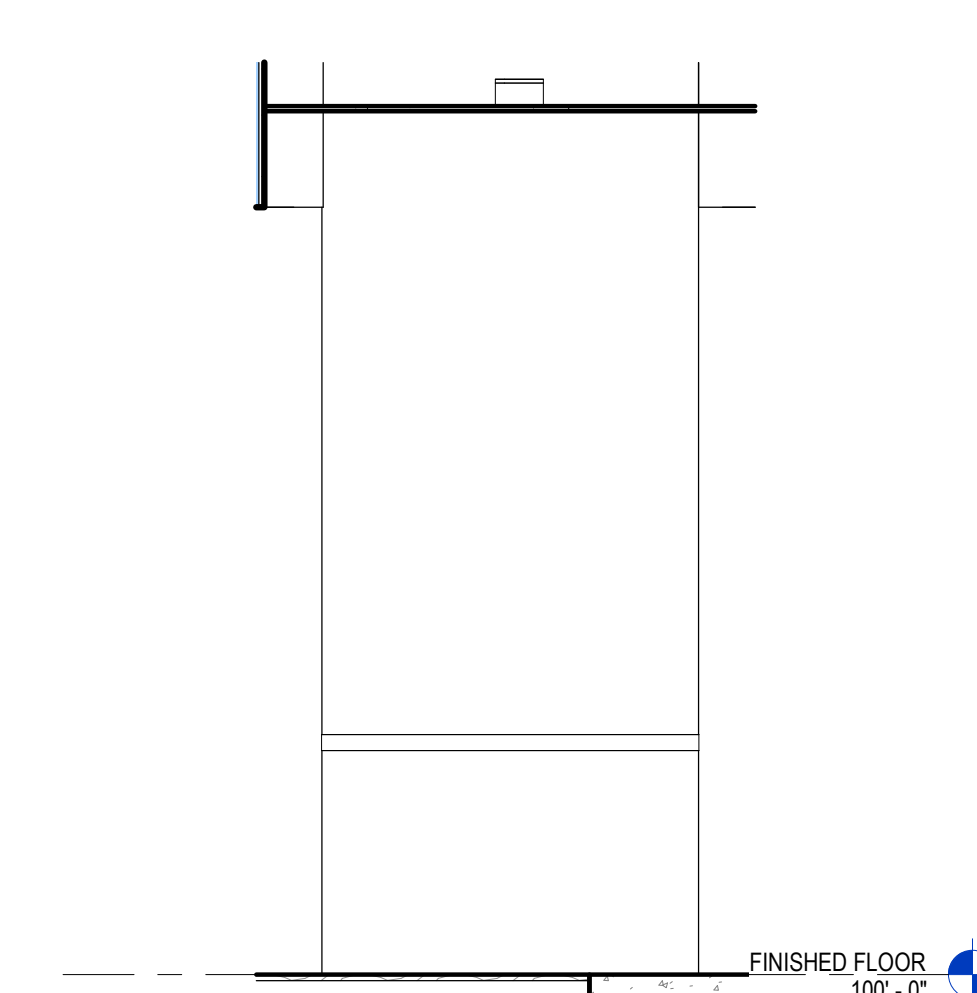
5 **LAB 130**  
 A7.3 1/2" = 1'-0"



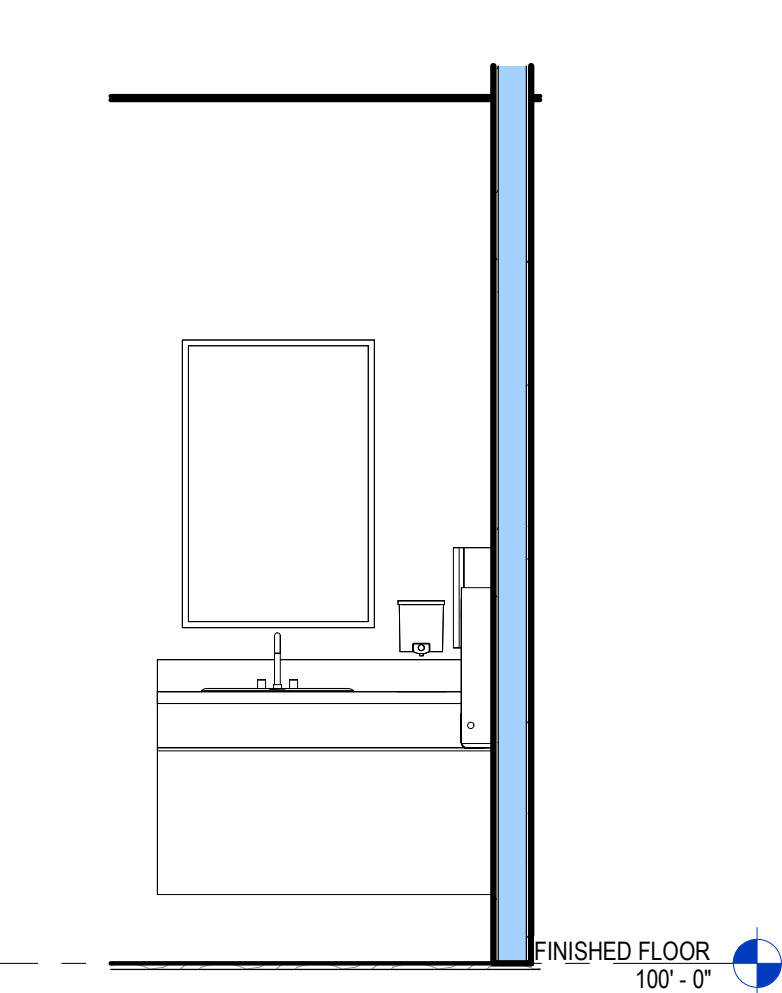
6 **LAB 130**  
 A7.3 1/2" = 1'-0"



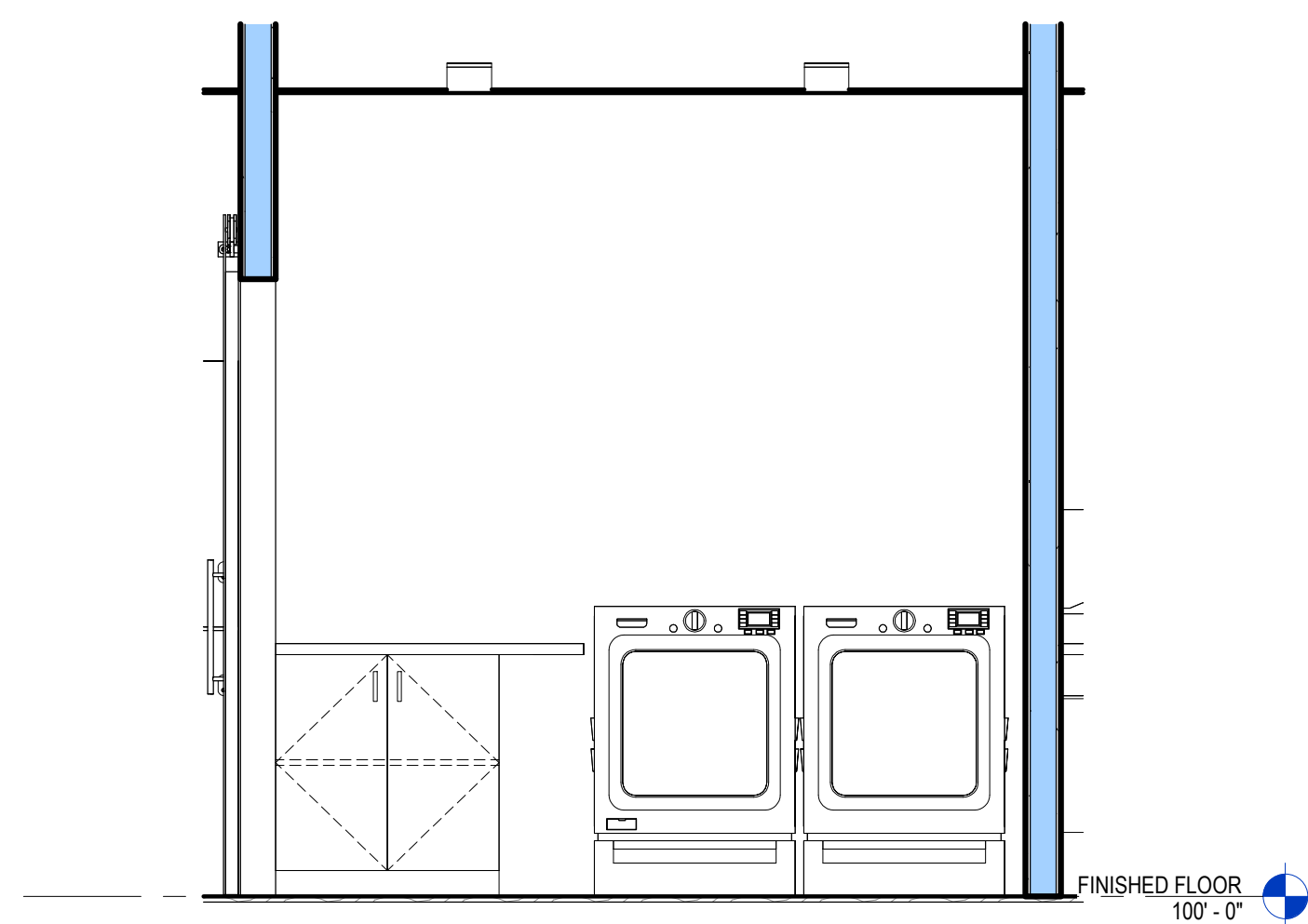
7 **LAB 130**  
 A7.3 1/2" = 1'-0"



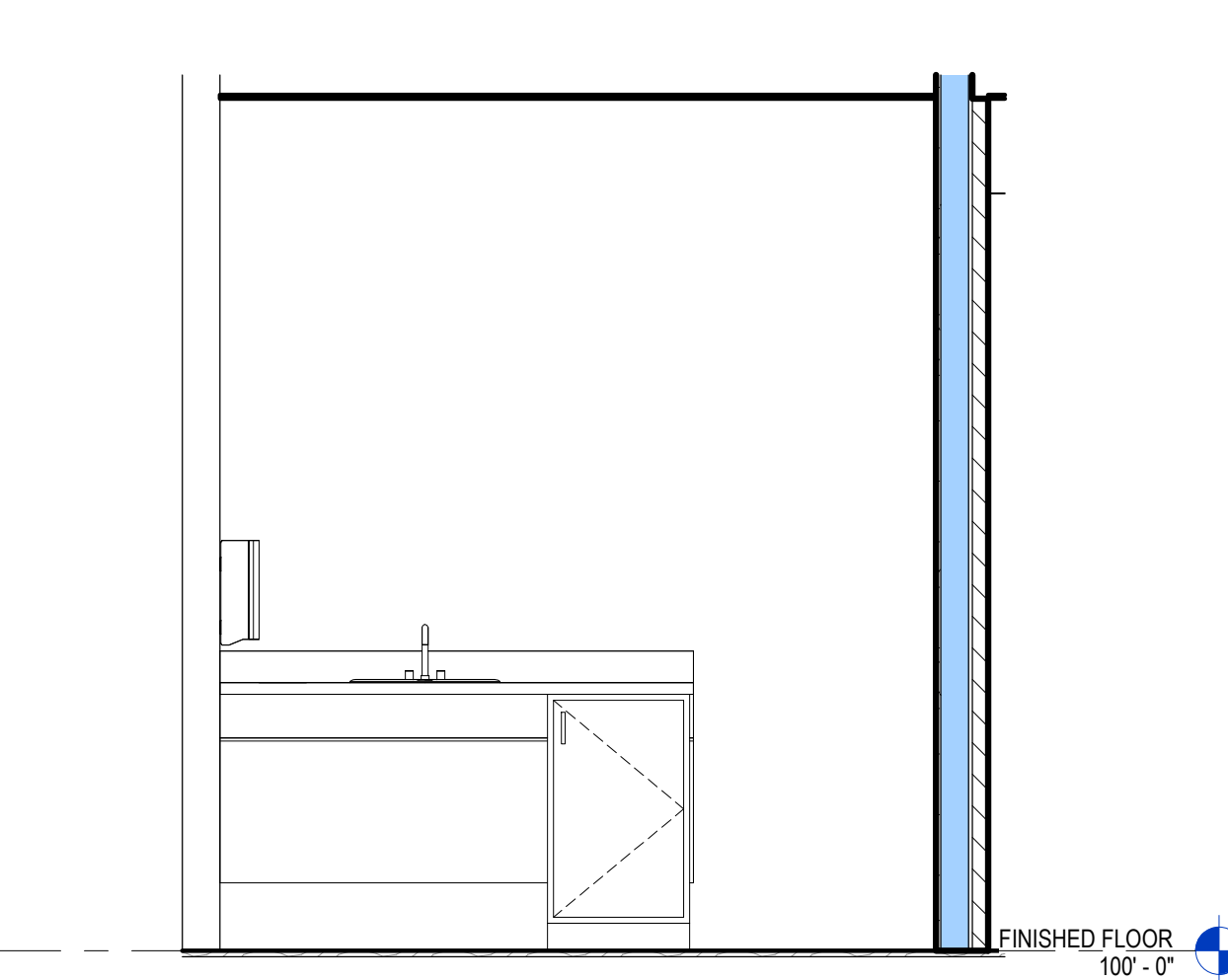
8 **CORR. 36**  
 A7.3 1/2" = 1'-0"



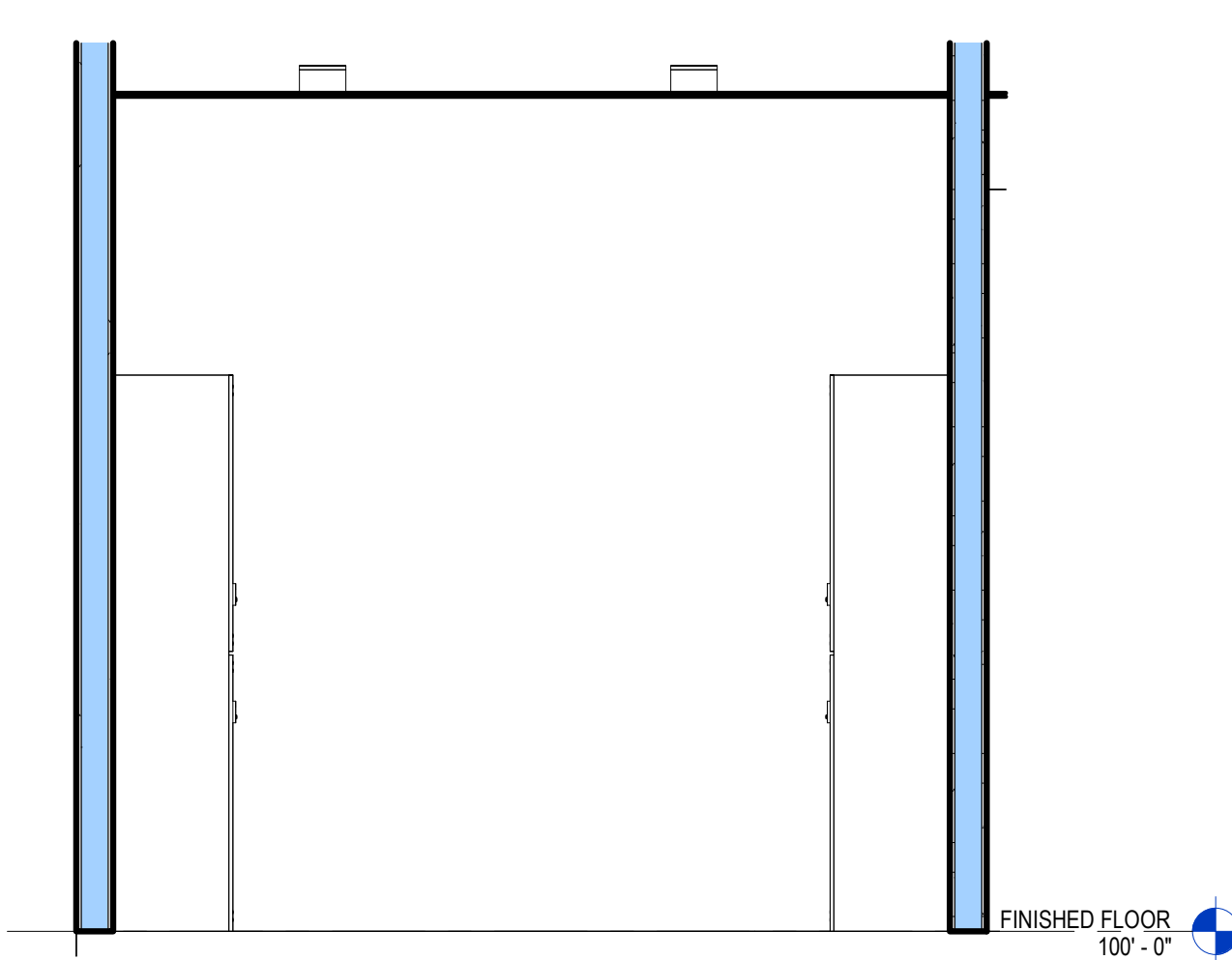
13 **TOILET 124**  
 A7.3 1/2" = 1'-0"



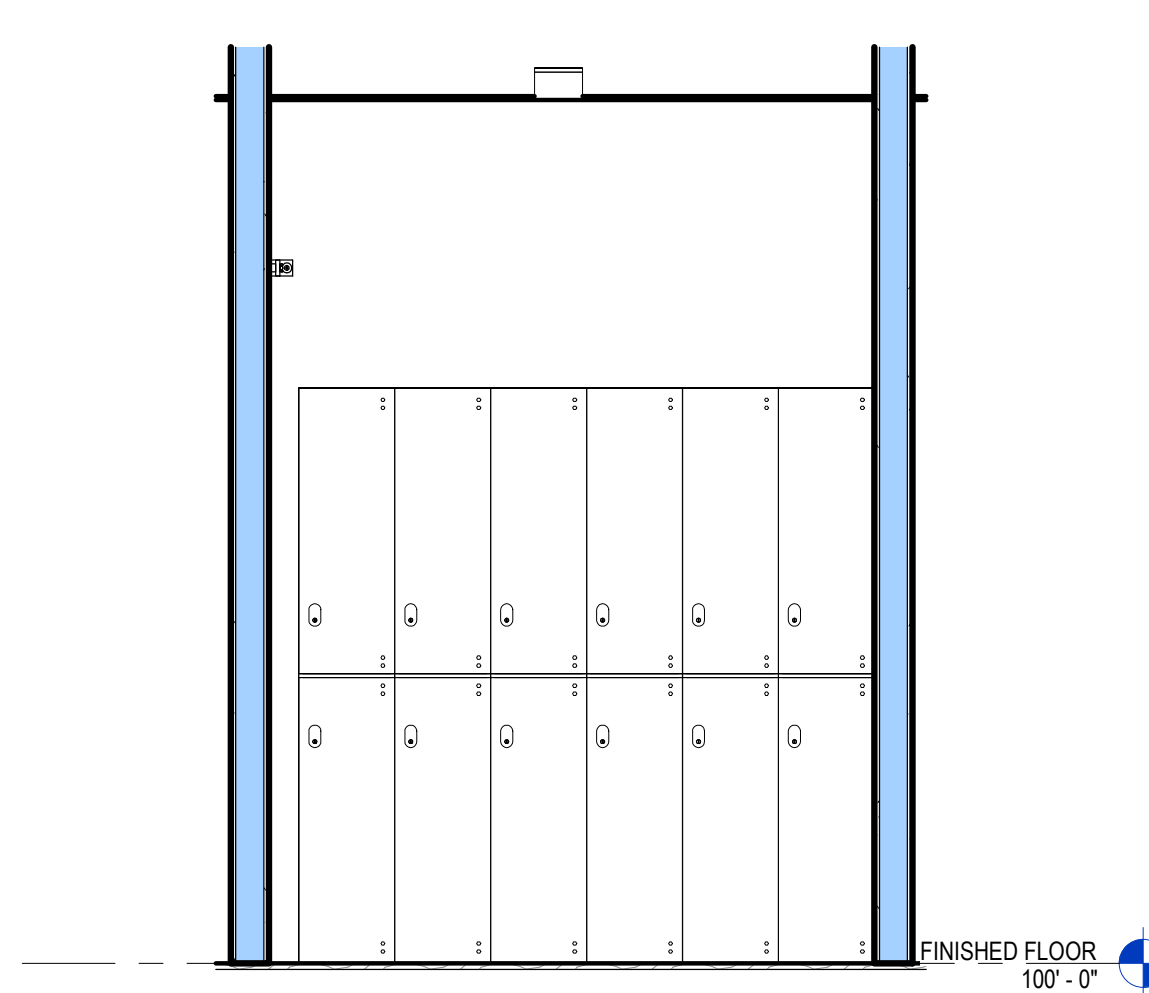
12 **LAUNDRY 109**  
 A7.3 1/2" = 1'-0"



11 **EMPL. TLT. 108**  
 A7.3 1/2" = 1'-0"



10 **CHANGE 110**  
 A7.3 1/2" = 1'-0"



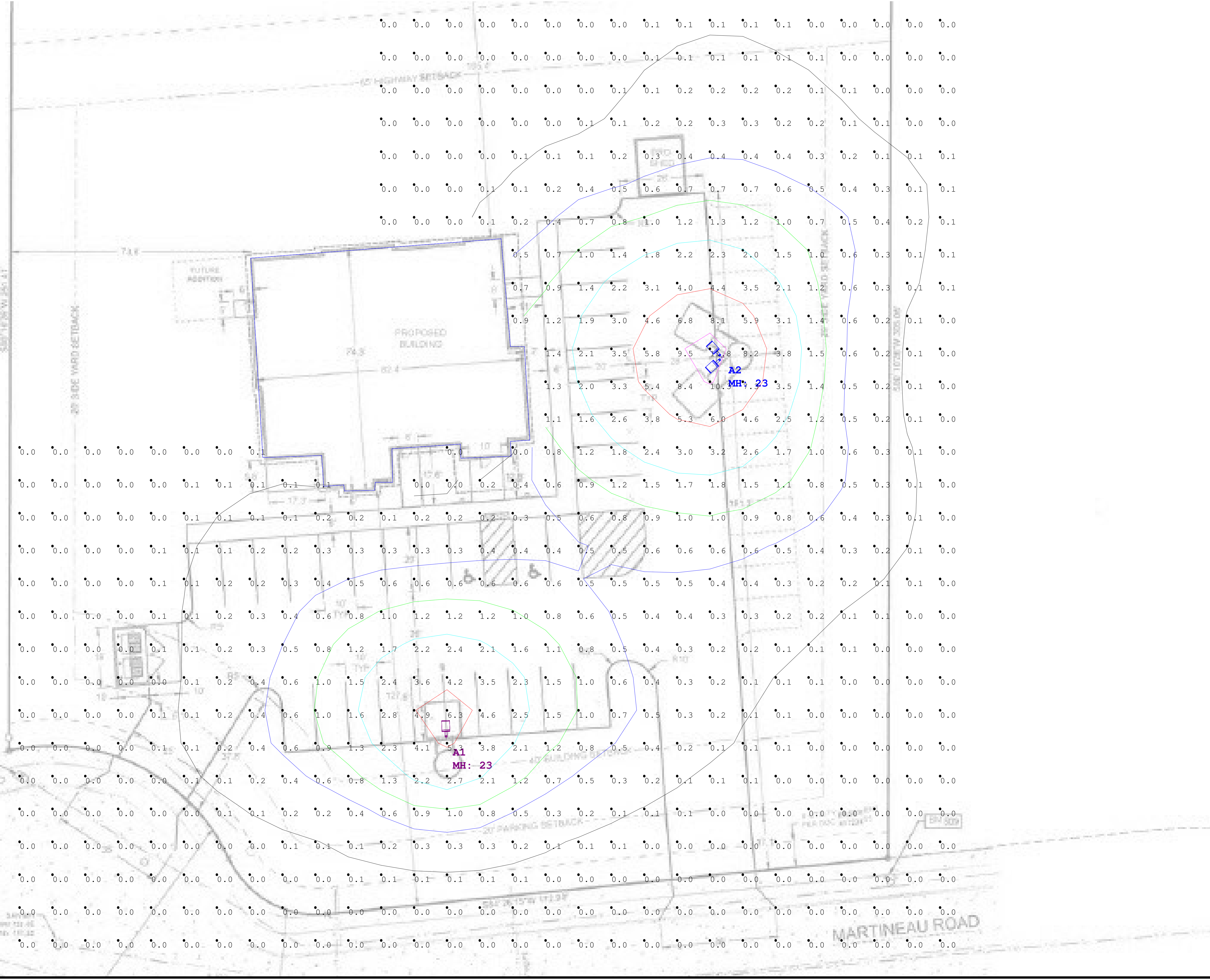
9 **CHANGE 110**  
 A7.3 1/2" = 1'-0"

No.	Date	Description

Page Information

Drawn By \_\_\_\_\_ Approved By \_\_\_\_\_  
 Designer \_\_\_\_\_ Checker \_\_\_\_\_  
 Project No. 25-0082 Date 3/19/26  
 Sheet No. \_\_\_\_\_

03/24/2024 10:27 AM



The light foot-candle values shown in this diagram (lighting design) provided by Bay Electrical Solutions are based on the information provided by others and are not a guarantee of performance. These design parameters and information are provided for informational purposes only. Bay Electrical Solutions does not warrant or represent that the design parameters and information provided herein will result in any specific lighting levels or energy consumption levels as compared to those illustrated by the lighting design. Bay Electrical Solutions is not responsible for any lighting design errors or omissions, or for any lighting design errors or omissions that may result from the use of the lighting design information provided herein. Bay Electrical Solutions is not responsible for any lighting design errors or omissions that may result from the use of the lighting design information provided herein. Bay Electrical Solutions is not responsible for any lighting design errors or omissions that may result from the use of the lighting design information provided herein.

Scale: as noted  
 Date: 4/6/2026  
 Filename: Viking Meadowview Dental Area Lights.AGI  
 Drawn By: Andrew Kuehn

Job Name:  
 Meadowview Dental Area Lights  
 Lighting Layout  
 Version A

Prepared For:  
 Viking  
 Adam Breunig


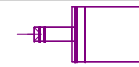


File Name: C:\Users\inside\Sales\Documents\Andrew\AGI\2026\April\Viking Meadowview Dental Area Lights.AGI

**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb
CalcPts_1	Illuminance	Fc	0.60	11.8	0.0	N.A.	N.A.	Readings taken at ground	10	10

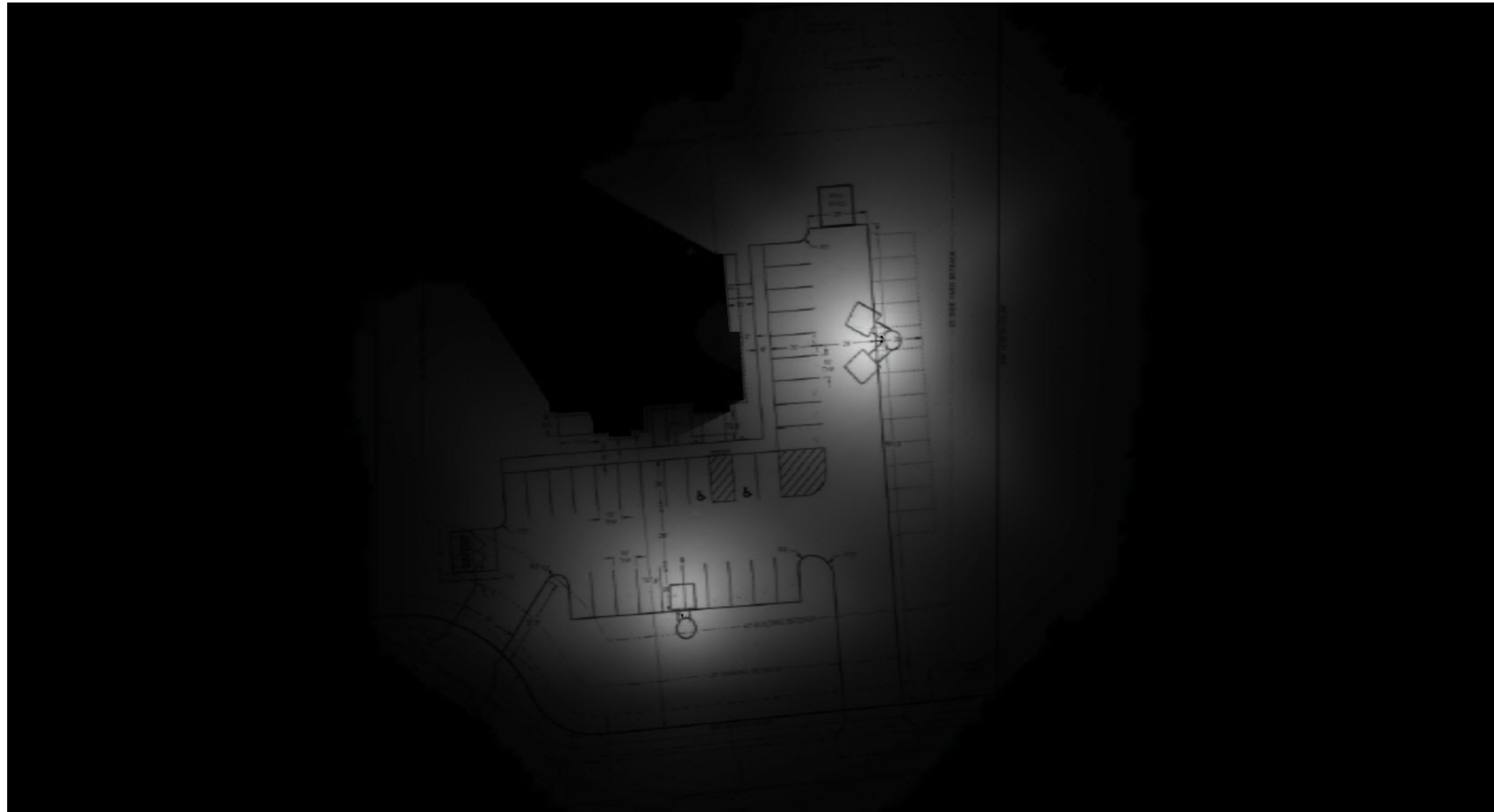
**Luminaire Schedule**

Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts
	1	A2	A22-4T100 x 2	2 @ 90 degrees	14368	28736	1.000	100w, 4000K, Type IV, 2	95.9	191.8
	1	A1	A22-4T100	Single	14368	14368	1.000	100w, 4000K, Type IV	95.9	95.9

**Expanded Luminaire Location Summary**

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	A2	406.676	285.972	23	222.609	0
1	A2	406.691	286.325	23	132.609	0
2	A1	322.975	170.144	23	91.877	0

Total Quantity: 3



**NOTES:**

\* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

\* Illumination values shown (in footcandles) are the predicted results for planes of calculation either to the plane of calculation.

\* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of the designer.

\* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

\* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal. Patents issued or pending apply.

The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications. Illumination values shown (in footcandles) are the predicted results for planes of calculation either to the plane of calculation. The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of the designer. Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations. RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal. Patents issued or pending apply.

Scale: as noted

Date: 4/6/2026

Filename: Viking Meadowview Dental Area Lights.AGI

Drawn By: Andrew Kuehn

Job Name: Meadowview Dental Area Lights Lighting Layout Version A

Prepared For: Viking Adam Breuning

Filename: C:\Users\inside\Sales\Documents\Andrew\AGI\2026\April\Viking Meadowview Dental Area Lights.AGI



ADMINISTRATOR REPORT  
05/05/26 VILLAGE BOARD

April information/projects:

- Close out spring election 971 voters – 42%
- Schedule and complete Board of Review training
- Expect review of dental office plans in The Locks Business Park
- Help Ken Heckner with Centennial Book (CL history)
- Finalize plans for Civic Center remodel & present to VB
- Begin process to close TID 2

May information/projects:

- Baseball/Softball/Teeball season began 05/04/26
- Arbor Day event with Janssen Elementary Student Council
- Finalize 2026 assessment roll = est 88% assessed to fair market value
- Liquor licensing
- Research statutes and other municipal ordinances regarding e-bikes, e-motorcycles, and other similar machines with focus on speeds, use of sidewalks, and use of recreational trails within the Village
- Begin working on details of Civic Center/Fire Department remodel project

# Department of Public Works

## Monthly Report for May 2026

**5/5/26**

- Marcella Ave utility project is well under way. All water main and sewer main have been installed.
- Village overall. We did see substantial flooding through the Garners Creek ravine. We had a few reports of basements flooding, but nothing related to any failing infrastructure.
- The crew removed 32 dead ash trees, most of which were along Edgewood Lane.
- The yard waste site opened back up on April 1<sup>st</sup>. We are contracted with Gene Fredrickson again this year to haul away our yard waste debris. We have loaded out four 40-yard dumpsters this past month.
- Speedy Clean was in and did annual cleaning and televising. This year we did the Green Way, Ravina Meadows and Fairway areas.
- Cleaned debris around all detention ponds. The swans and coyote are back on patrol in the Kwik Trip pond.
- The fire department conducted a controlled burn at the Coonen Park pond and the Haven Ridge pond this year.
- All the backstop and batting cage netting have been installed for the season.
- The baseball and soccer fields were all thatched and rolled.
- All 216 fire hydrants in town were flushed with no issues to report.
- All parks were opened for the season.

### **Anticipated Projects:**

Marcella St utility project should wrap up by end of May or early June

Get quotes for crack filling and sidewalk grinding

Fertilize and spray weeds in all parks

Opening day at the ballpark is May 4th

Summer helps to start mid-May

Item #7

**VILLAGE OF COMBINED LOCKS  
RESOLUTION 2026-5  
NATIONAL POLICE WEEK**

WHEREAS, In 1962, President Kennedy proclaimed May 15<sup>th</sup> as National Peace Officers Memorial Day and the calendar week in which May 15<sup>th</sup> falls, as National Police Week; and

WHEREAS, there are over 800,000 law enforcement officers serving in communities across the United States, including the dedicated members of the Outagamie County Sheriff's Office; and

WHEREAS, the members of the Outagamie County Sheriff's Office play an important role in safeguarding the rights and freedoms of the citizens of our community; and

WHEREAS, it is important that all citizens know and understand the problems, duties and responsibilities of our Deputies and that our Deputies recognize their duty to serve the people by safeguarding life and property and protecting them against violence or disorder; and

WHEREAS, the Village of Combined Locks elected officials and residents are grateful to the Outagamie County Sheriff's Office members for their dedication to the protection of life and property in the community and recognize the vital public service which the Deputies provide to our community and the valor with which that service is rendered; and

NOW, THEREFORE, BE IT RESOLVED, by the Village Board of the Village of Combined Locks that it does wish to recognize the following Outagamie County Sheriff's Office personnel for their exceptional service to our community:

<b>Deputy Brady Boucher</b>	<b>Sergeant Nicole Hambly</b>	<b>Deputy Luis Quezada</b>
<b>Deputy Cody Porath</b>	<b>Deputy Channing Pompa</b>	<b>Deputy Brent Baxter</b>
	<b>Deputy Nathan Htwe</b>	

BE IT FURTHER RESOLVED THAT THE WEEK OF May 11<sup>th</sup> through May 17<sup>th</sup> is recognized as Police Week in the Village of Combined Locks and publicly salutes the service of law enforcement officers in our community and in communities across the nation.

Approved this 5<sup>th</sup> day of May, 2026

---

John Neumeier, Village President

Attest:

---

Racquel Shampo-Giese, Village Administrator/Clerk/Treasurer

**VILLAGE OF COMBINED LOCKS  
RESOLUTION 2026-6  
NATIONAL PUBLIC WORKS WEEK**

WHEREAS, public works professionals focus on infrastructure, facilities, and services that are of vital importance to sustainable and resilient communities and to the public health, high quality of life, and well-being of the people of Combined Locks; and

WHEREAS, these infrastructure, facilities and services could not be provided without the dedicated efforts of public works professionals, who are equipment operators, laborers, utility specialists, and forestry managers; and

WHEREAS, public works professionals are responsible for rebuilding, improving, and protecting our community's roadways, water distribution, public buildings and grounds, and other structures and facilities essential for the health, safety and comfort of the residents of this community; and

WHEREAS, the quality and effectiveness of these facilities, as well as their planning, design and construction, are vitally dependent upon the efforts and skills of public works employees; and

WHEREAS, the efficiency of the qualified and dedicated personnel who staff public works departments is materially influenced by the people's attitude and understanding of the importance of the work they perform;

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village of Combined Locks that it does wish to recognize the following full-time employees for their exceptional service to our community as public works employees and further extend this recognition to the diligent part-time and seasonal employees:

**Keith Weyenberg** – 27 years of service    **Mike King** – 19 years of service    **Kevin Carney** – 16 years of service  
**Dustin Diedrick** – 5 years of service    **Ryan Giese** – 4 years of service

BE IT FURTHER RESOLVED THAT THE Week of May 17<sup>th</sup> through the 23<sup>rd</sup> is declared Public Works Week in the Village of Combined Locks.

Approved this 5<sup>th</sup> day of May, 2026

\_\_\_\_\_  
John Neumeier, Village President

Attest:

\_\_\_\_\_  
Racquel Shampo-Giese, Village Administrator/Clerk/Treasurer